

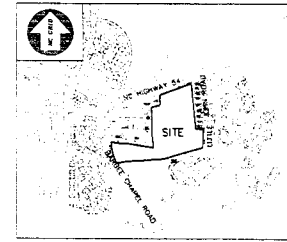
MASTER LAND USE PLAN FOR WOODMONT

CHAPEL HILL, NORTH CAROLINA

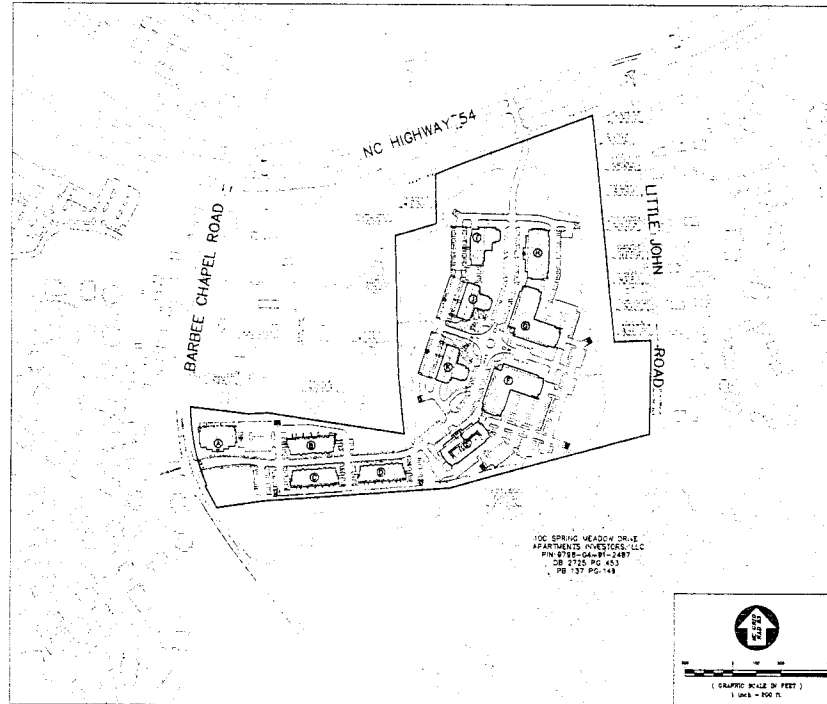
DEVELOPER: CAPITAL ASSOCIATES



1100 Crescent Green • Suite 250 • Cary, NC 27518 • 919/233-9961 • 919/233-9905 (Fax)



LOCATION MAP
1"=100'



100 SPRING MEADOW DRIVE
APARTMENTS INVESTORS, LLC
RW 2725-GAR-87-2487
CB 2725 PG 451
PB 137 PG-148

DRAWING LEGEND		
SYMBOL/ABBREVIATION	PROPOSED	DESCRIPTION
○	□	NON-PARCELS PROPERTY CORNER
○	□	NON-PARCELS SET
○	□	POWER POLE
○	□	LIGHT POLE
○	□	SAVES-BANDED/ALERT
○	□	HARD INLET
○	□	SEWER/SEWER MANHOLE
○	□	ELECTRICAL MANHOLE
○	□	STORM DRAINAGE MANHOLE (UNCTION BOX)
○	□	PAVE CURBOUT
○	□	WATER VALVE
○	□	WATER METER
○	□	ELECTRICAL TRANSFORMER
○	□	IRIGATION CONTROL VALVE
○	□	STORM DRAINAGE PIPE
○	□	WATER LINE
○	□	SEW LINE
○	□	SANITARY SEWER LINE
○	□	SANITARY SEWER FORCE MAIN
○	□	OVERHEAD ELECTRIC LINE
○	□	BURIED ELECTRIC LINE
○	□	CABLE TELEVISION
○	□	FIBER OPTIC CABLE
○	□	DOH
○	□	POSTHOLE SIGN WITH STD. WATER REFERENCE FLAG
○	□	LANDSCAPE CONTROL
○	□	WATER CONTROL
○	□	SPOT ELEVATION

DRAWING LIST

SHEET	DRAWING TITLE
C-1	AREA MAP
C-2	EXISTING CONDITIONS PLAN
C-2.1	DEMOLITION PLAN
C-3	MASTER SITE PLAN
C-4	MASTER PHASING/SUBDIVISION PLAN
C-5	PHASE 1 SITE PLAN
C-6	PHASE 2 SITE PLAN
C-7	PHASE 3 SITE PLAN
C-8	MASTER GRADING CONCEPT
C-9	PHASE 1 GRADING & TREE PROTECTION PLAN
C-10	PHASE 2 GRADING & TREE PROTECTION PLAN
C-11	PHASE 3 GRADING & TREE PROTECTION PLAN
C-12	MASTER WATER AND SEWER PLAN
C-13	PHASE 1 WATER AND SEWER PLAN
C-14	PHASE 2 WATER AND SEWER PLAN
C-15	CONNECTIVITY PLAN
L-1	MASTER LANDSCAPE, RECREATION, AND BUFFER PLAN

121

BALLENTINE ASSOCIATES, P.A.
277 WOODMONT ROAD, CHAPEL HILL, N.C. 27514
(919) 233-9961

WOODMONT
CHAPEL HILL, NC
MASTER LAND USE PLAN

ATTACHMENT 24

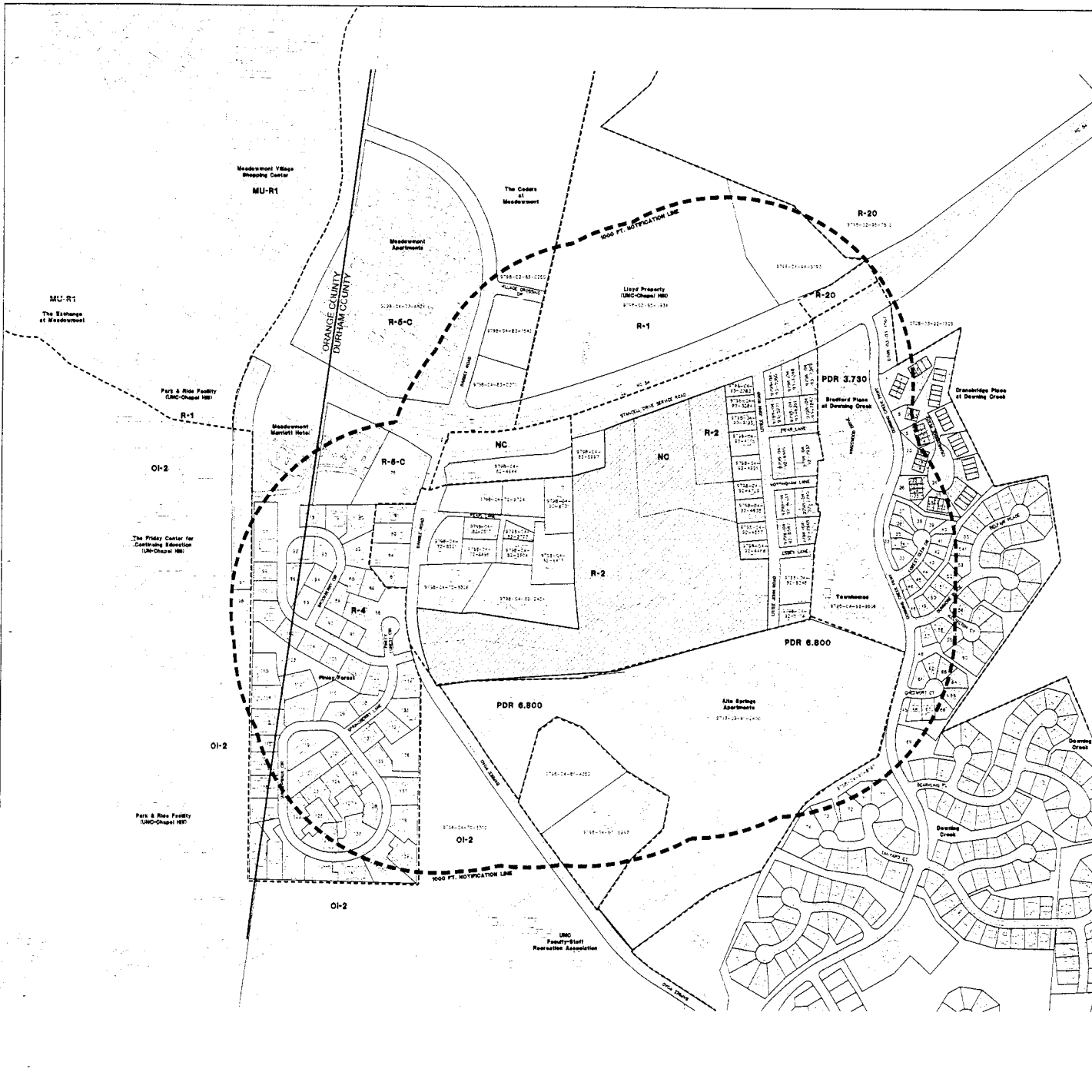
COVER

LITTLE & LITTLE
LANDSCAPE ARCHITECTURE / PLANNING
27 W. HARGETT STREET, SUITE 104
RALEIGH, NC 27607
(919) 871-1941
FAX (919) 871-2329

BALLENTINE ASSOCIATES, P.A.
221 PROSPERITY ROAD, CHAPEL HILL, N.C. 27514
(919) 929-1048 (919) 488-4788

GGA ARCHITECTS
308 West Rosemary Street
Chapel Hill, N.C. 27516
919-929-7595 Fax 919-967-9636

REVIEW DRAWING
NOT FOR CONSTRUCTION



CONVERTING ACTUAL REALTY			
1	2708-03-13-2219	38	2708-03-02-2633
2	2708-03-13-2212	39	2708-03-02-2630
3	2708-03-03-2314	40	2708-03-02-4886
4	2708-03-03-2317	41	2708-03-02-4852
5	2708-03-03-2441	42	2708-03-02-4447
6	2708-03-03-2412	43	2708-03-02-4921
7	2708-03-03-2074	44	2708-03-02-3365
8	2708-03-03-2076	45	2708-03-02-3341
9	2708-03-03-2166	46	2708-03-02-2276
10	2708-03-03-2168	47	2708-03-02-4448
11	2708-03-03-2171	48	2708-03-02-3443
12	2708-03-03-2048	49	2708-03-02-3747
13	2708-03-03-2051	50	2708-03-02-4211
14	2708-03-03-2054	51	2708-03-02-4208
15	2708-03-03-2061	52	2708-03-02-4363
16	2708-03-03-2068	53	2708-03-02-4369
17	2708-03-03-2815	54	2708-03-02-5477
18	2708-03-03-2812	55	2708-03-02-5394
19	2708-03-03-2818	56	2708-03-02-5376
20	2708-03-03-2819	57	2708-03-02-5381
21	2708-03-03-2842	58	2708-03-02-5384
22	2708-03-03-2832	59	2708-03-02-5480
23	2708-03-03-2796	60	2708-03-02-3794
24	2708-03-03-2729	61	2708-03-02-4805
25	2708-03-03-2738	62	2708-03-02-4832
26	2708-03-03-2735	63	2708-03-02-4743
27	2708-03-03-2736	64	2708-03-02-4742
28	2708-03-03-2737	65	2708-03-02-4741
29	2708-03-03-2738	66	2708-03-02-4740
30	2708-03-03-2739	67	2708-03-02-4739
31	2708-03-03-2740	68	2708-03-02-4738
32	2708-03-03-2741	69	2708-03-02-4737
33	2708-03-03-2742	70	2708-03-02-4736
34	2708-03-03-2743	71	2708-03-02-4735
35	2708-03-03-2744	72	2708-03-02-4734
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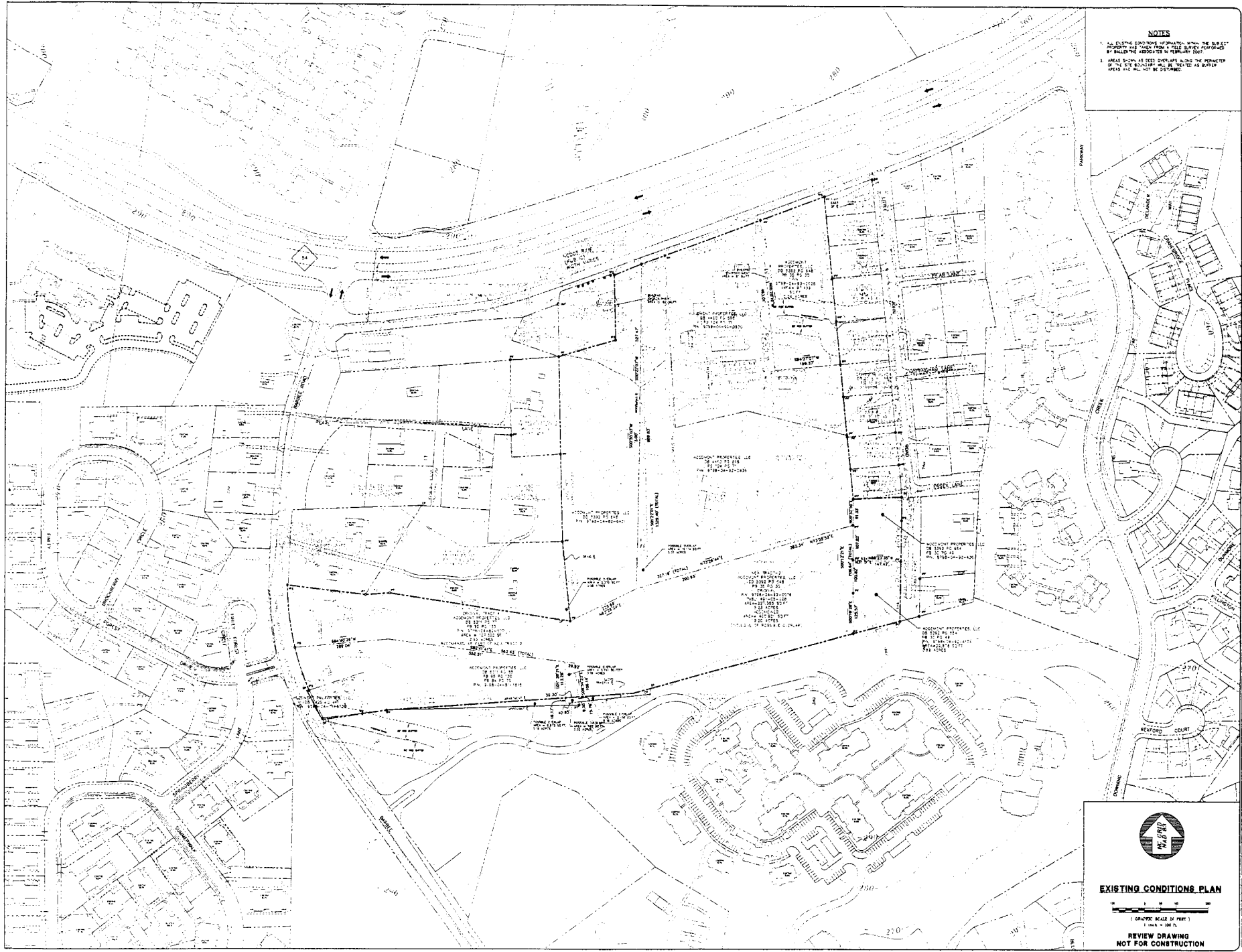
BALLENTINE ASSOCIATES, P.A.
 121 WOODMONT ROAD, CHARLOTTE, N.C. 28214
 (704) 375-1000

WOODMONT
 CHARLOTTE, N.C.
 MASTER LAND USE PLAN

AREA MAP
 (GRAPHIC SCALE OF FEET)
 1" = 500' H.S.

REVIEW FOR CONSTRUCTION NOT FOR DRAWING

C-1



NOTES

1. ALL EXISTING CONDITIONS INFORMATION WITHIN THE SUBJECT PROPERTY HAS BEEN TAKEN FROM A FIELD SURVEY PERFORMED BY BALLENTINE ASSOCIATES IN FEBRUARY 2007.
2. AREAS SHOWN AS EXISTING DEVELOPMENT BEING THE PROPERTY OF AN OTHER ENTITY ARE NOT TO BE CONSIDERED.

BALLENTINE ASSOCIATES PA
 277 WINDMILL DRIVE CHAMPEL HILL, PA 17004
 (717) 327-1000 FAX (717) 327-1001

PROJECT NO. 07-001
 SHEET NO. C-2



NOT FOR CONSTRUCTION

DATE	REVISIONS

OWNER INFORMATION
 WOODMONT PROPERTIES LLC
 1100 CHATELAIN DRIVE
 SUITE 110
 CHAMPEL HILL, PA 17004
 (717) 327-1000
 (717) 327-1001
 WOODMONT PROPERTIES, LLC
 2000 WOODMONT DRIVE
 CHAMPEL HILL, PA 17004
 (717) 327-1000
 (717) 327-1001

NO.	REVISION	DATE

WOODMONT
 CHAMPEL HILL, PA
MASTER LAND USE PLAN

DATE: 06/07/07
 DATE: 03/01/07
 SCALE: AS NOTED
 DRAWN BY: BVA
 REVIEWED BY: CJA

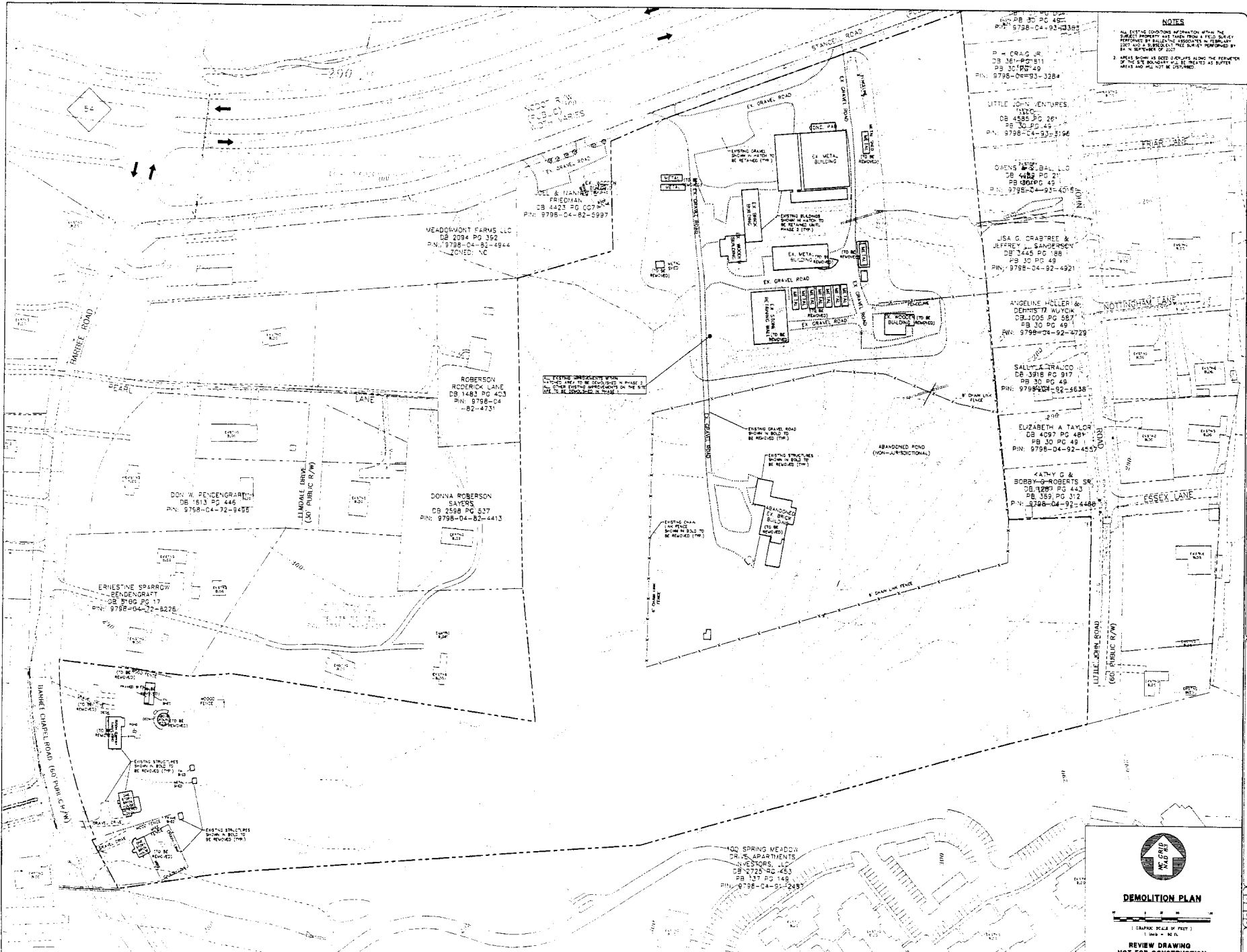
SHEET
C-2



EXISTING CONDITIONS PLAN

(GRAPHIC SCALE IN FEET)
 1" = 100.0'

REVIEW DRAWING
 NOT FOR CONSTRUCTION



NOTES

1. ALL EXISTING CONDITIONS INFORMATION SHOWN ON THIS SHEET IS BASED ON THE FIELD SURVEY CONDUCTED BY BALLENTINE ASSOCIATES IN FEBRUARY 2017. ALL INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE.

2. ALL UTILITIES ARE SHOWN AS NOTED ON THE SURVEY SHEET AND ARE NOT TO BE DISTURBED.

P = CRAIG JR
DB 361 PG 811
PB 30 PG 49
PIN: 9798-04-92-3384

LITTLE JOHN VENTURES
11100
DB 4585 PG 261
PB 30 PG 49
PIN: 9798-04-92-3396

OWENS & BAL, LLC
DB 4482 PG 21
PB 30 PG 49
PIN: 9798-04-92-4016

JISA G. CRABTREE &
JEFFREY J. SANDERSON
DB 3445 PG 88
PB 30 PG 49
PIN: 9798-04-92-4921

ANGELINE WHEELER &
DEHISTIA WALKER
DB 4005 PG 587
PB 30 PG 49
PIN: 9798-04-92-4729

SALVATORE TRALUCCO
DB 3918 PG 917
PB 30 PG 49
PIN: 9798-04-92-5638

ELIZABETH A TAYLOR
DB 4097 PG 481
PB 30 PG 49
PIN: 9798-04-92-4557

KATHY G &
BOBBY G ROBERTS SR
DB 1289 PG 443
PB 30 PG 172
PIN: 9798-04-92-4468

MEADOWMONT FARMS LLC
DB 2294 PG 392
PIN: 9798-04-92-4944
ZONED: NC

ROBERSON
RODRICK LANE
DB 1483 PG 403
PIN: 9798-04-92-4731

DON W. PENDENGRAF
DB 1513 PG 446
PIN: 9798-04-92-9455

DONNA ROBERSON
SAYERS
DB 2588 PG 537
PIN: 9798-04-82-2413

ERNESTINE SPARROW
PENDENGRAF
DB 3168 PG 17
PIN: 9798-04-92-8226

100 SPRING MEADOW
DR. APARTMENTS
INVESTORS, LLC
DB 9728 PG 453
PB 137 PG 146
PIN: 9798-04-92-2493

DEMOLITION PLAN

1" = 40' (GRAPHIC SCALE IN FEET)

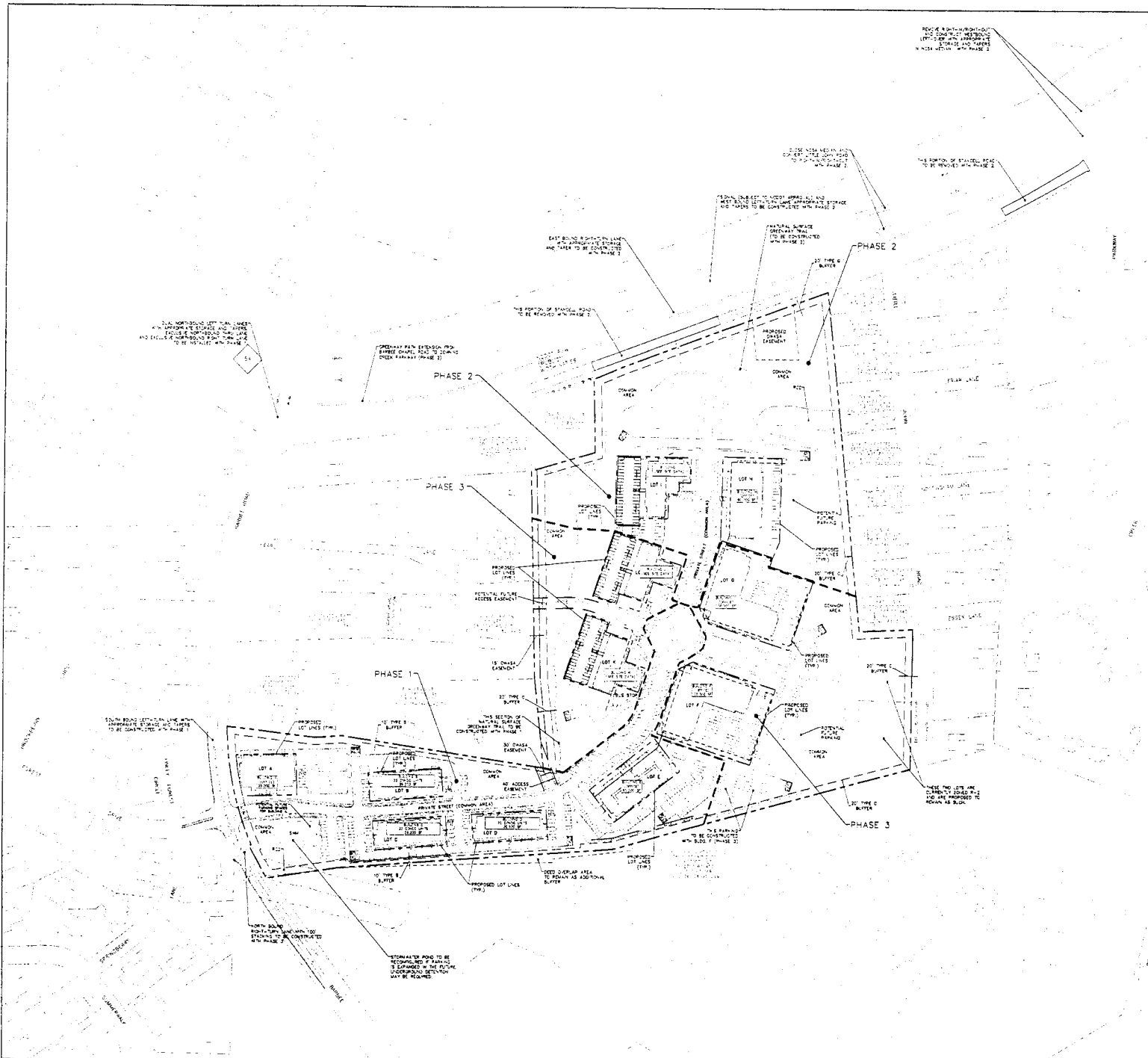
REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES PA
221 PROCTOR ROAD, CHAPEL HILL, NC 27514
(704) 393-0044

WOODMONT CHAPEL HILL, NC MASTER LAND USE PLAN

C-2.1

DATE: 11/20/17
SCALE: AS SHOWN
DRAWN BY: J. H. H.
CHECKED BY: J. H. H.
APPROVED BY: J. H. H.



SITE DATA

ADDRESS 158 STANDEL DRIVE
PARCEL IDENTIFICATION A21001-0510000-001-0001 A21001-0510000-001-0002 A21001-0510000-001-0003 A21001-0510000-001-0004 A21001-0510000-001-0005 A21001-0510000-001-0006 A21001-0510000-001-0007 A21001-0510000-001-0008 A21001-0510000-001-0009 A21001-0510000-001-0010

EXISTING ZONING R-1 E AC 2 WATERBURY PROTECTION DISTRICT
PROPOSED ZONING M-1 U2 (SEE PLAN FOR EXTENTIONS)
NET LAND AREA 28.25 AC / 1,221,975 SF
CREATED STREET AREA (1/3 OF R/W) 2.53 AC / 109,771 SF
GROSS LAND AREA 30.78 AC / 1,331,746 SF
GROSS LAND AREA IN PCD 3.08 AC / 1,337,878 SF
GROSS LAND AREA OUTSIDE PCD 27.70 AC / 1,217,868 SF
EXISTING IMPROVED S. DUA 2.12 AC / 91,478 SF
PROPOSED IMPROVED S. DUA 14.33 AC / 624,275 SF
FUTURE IMPROVED S. DUA 15.61 AC / 679,678 SF

WATER: R = 0.040 GAL WATER PER MIN. PER SQUARE FOOT @ 1.00 GPM PER
FUTURE WATER R = 1.00 GAL WATER PER MIN. PER SQUARE FOOT @ 1.00 GPM PER

TOTAL OFFICE PARKING 1,306 SPACES
FUTURE OFFICE PARKING 1,684 SPACES

DEVELOPMENT PROGRAM

BLDG. NUMBER	ACRES	RESIDENTIAL	DEVELOPMENT
1-1	29,000 SF		
1-2	80,000 SF		
1-3	28,200 SF	20	
1-4	28,200 SF	20	
1-5	28,200 SF	20	
1-6	82,900 SF	20	
PHASE 1 TOTALS	255,000 SF		80
2-1	80,000 SF		
2-2	80,000 SF	20	
2-3	80,000 SF	20	
2-4	27,800 SF	20	
PHASE 2 TOTALS	247,800 SF		80
3-1	158,000 SF		
3-2	126,000 SF		
3-3	27,800 SF		
3-4	27,800 SF		
PHASE 3 TOTALS	349,600 SF		0
OVERALL TOTALS	852,400 SF	140,000 SF	120

OFFICE S. OF TOTAL 70.0 B
RESIDENTIAL S. OF TOTAL 20.0 B
RATIO OVERALL 0.38
RESIDENTIAL AREA 1.0 AC
RESIDENTIAL DENSITY 18.0 DWG/AC

NOTES

1. ALL OFFICES ARE TO BE PRIVATE AND PART OF COMMON AREA.
2. BUILDING FOOTPRINTS AND PARKING LAYOUTS ARE APPROXIMATE AND SUBJECT TO CHANGE.
3. ALL BUILDING SQUARE FOOTAGES SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE.
4. ALL DEVELOPMENT WILL REQUIRE A SPECIAL USE PERMIT.
5. REFER TO SHEET 172-1 FOR BUFFER, RECREATION, AND LANDSCAPE INFORMATION.
6. THE DISTRIBUTION OF RESIDENTIAL DEVELOPMENT BETWEEN THE THREE PHASES WILL BE DETERMINED BY THE OFFICE OF THE ZONING COMMISSION. ONE AS THE OFFICE OF THE ZONING COMMISSION, ONE AS THE OFFICE OF THE ZONING COMMISSION, AND ONE AS THE OFFICE OF THE ZONING COMMISSION. THESE BUILDINGS WILL BE DEVELOPED OVER A PERIOD OF ONE YEAR. BUILDINGS 1 AND 2 WILL BE DEVELOPED FIRST, AND BUILDING 3 WILL BE DEVELOPED LAST.
7. OPEN SPACE WILL BE DEVELOPED 100.00 SF OF NET LAND WITH THE DEVELOPMENT. THE TOTAL OPEN SPACE SHALL BE AT LEAST 10% OF THE TOTAL OFFICE SQUARE FOOTAGE.

OWNER INFORMATION
WOODMONT CHAPEL HILL, NC
172-1
DATE: 05/18/2020
SCALE: AS SHOWN
DRAWN BY: ETR
REVIEWED BY: GJA

MASTER PHASING & SUBDIVISION PLAN
(GRAPHIC SCALE IN FEET)
1" = 100.0 FT.

REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
237 PONDWOOD ROAD CHARLES HILL, A.C. 27314
TEL: 813 338 1041 FAX: 813 338 1040

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

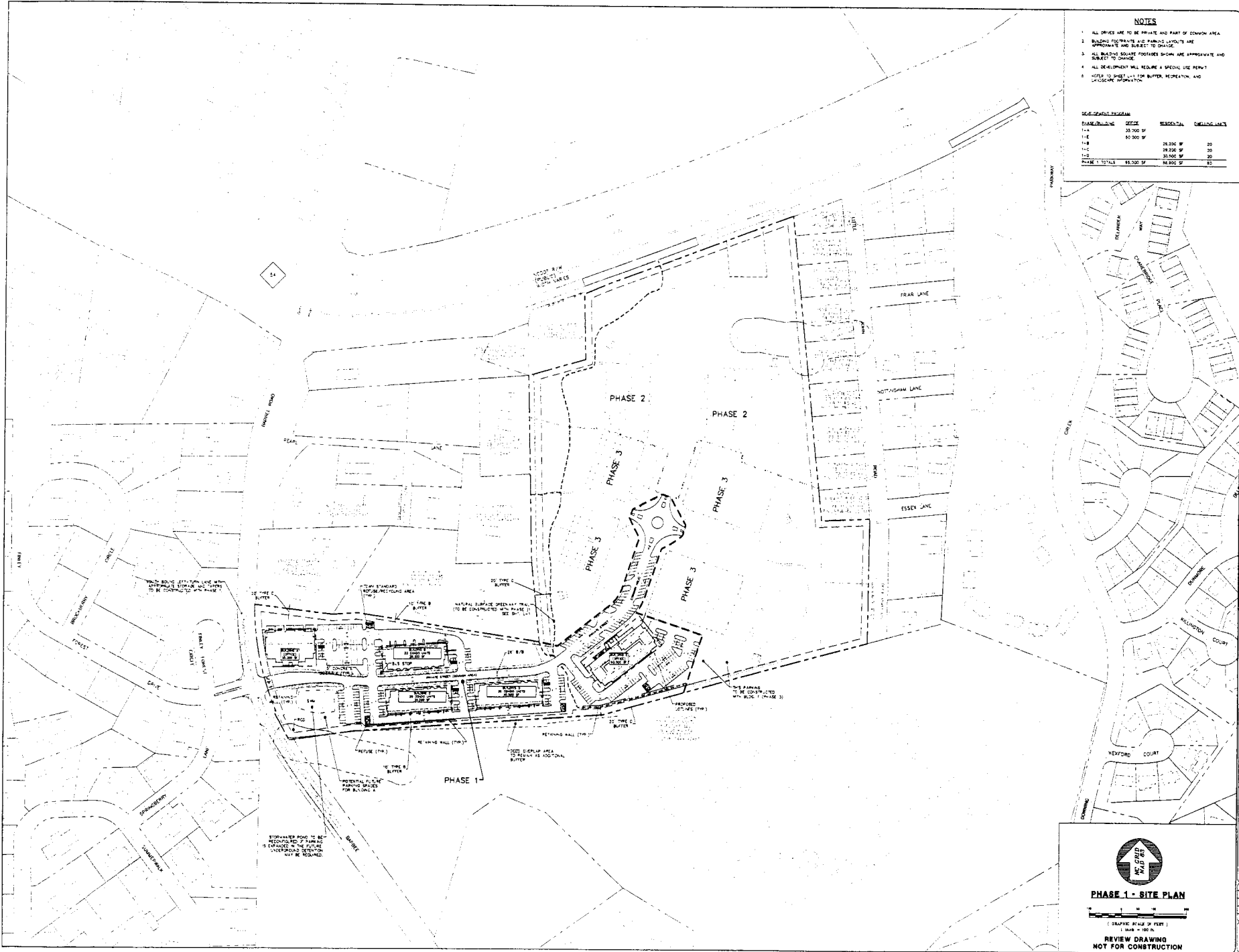
WOODMONT CHAPEL HILL, NC

MASTER LAND USE PLAN

WATER
DATE: 05/18/2020
SCALE: AS SHOWN
DRAWN BY: ETR
REVIEWED BY: GJA

WATER
DATE: 05/18/2020
SCALE: AS SHOWN
DRAWN BY: ETR
REVIEWED BY: GJA

WATER
DATE: 05/18/2020
SCALE: AS SHOWN
DRAWN BY: ETR
REVIEWED BY: GJA



NOTES

1. ALL DRIVES ARE TO BE PRIVATE AND PART OF COMMON AREA.
2. BUILDING FOOTPRINTS AND PARKING LAYOUTS ARE APPROXIMATE AND SUBJECT TO CHANGE.
3. ALL BUILDING SQUARE FOOTAGES SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE.
4. ALL DEVELOPMENT WILL REQUIRE A SPECIAL USE PERMIT.
5. REFER TO SHEET L-1 FOR BUFFER, RECREATION, AND LANDSCAPE RECOMMENDATIONS.

PHASE	BLDG. AREA	PARKING	TOTAL AREA
PHASE 1	28,000 SF	10,000 SF	38,000 SF
PHASE 2	28,000 SF	10,000 SF	38,000 SF
PHASE 3	28,000 SF	10,000 SF	38,000 SF
PHASE 1 TOTALS	28,000 SF	10,000 SF	38,000 SF

BALLENTINE ASSOCIATES P.A.
 1000 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202
 (303) 733-1000

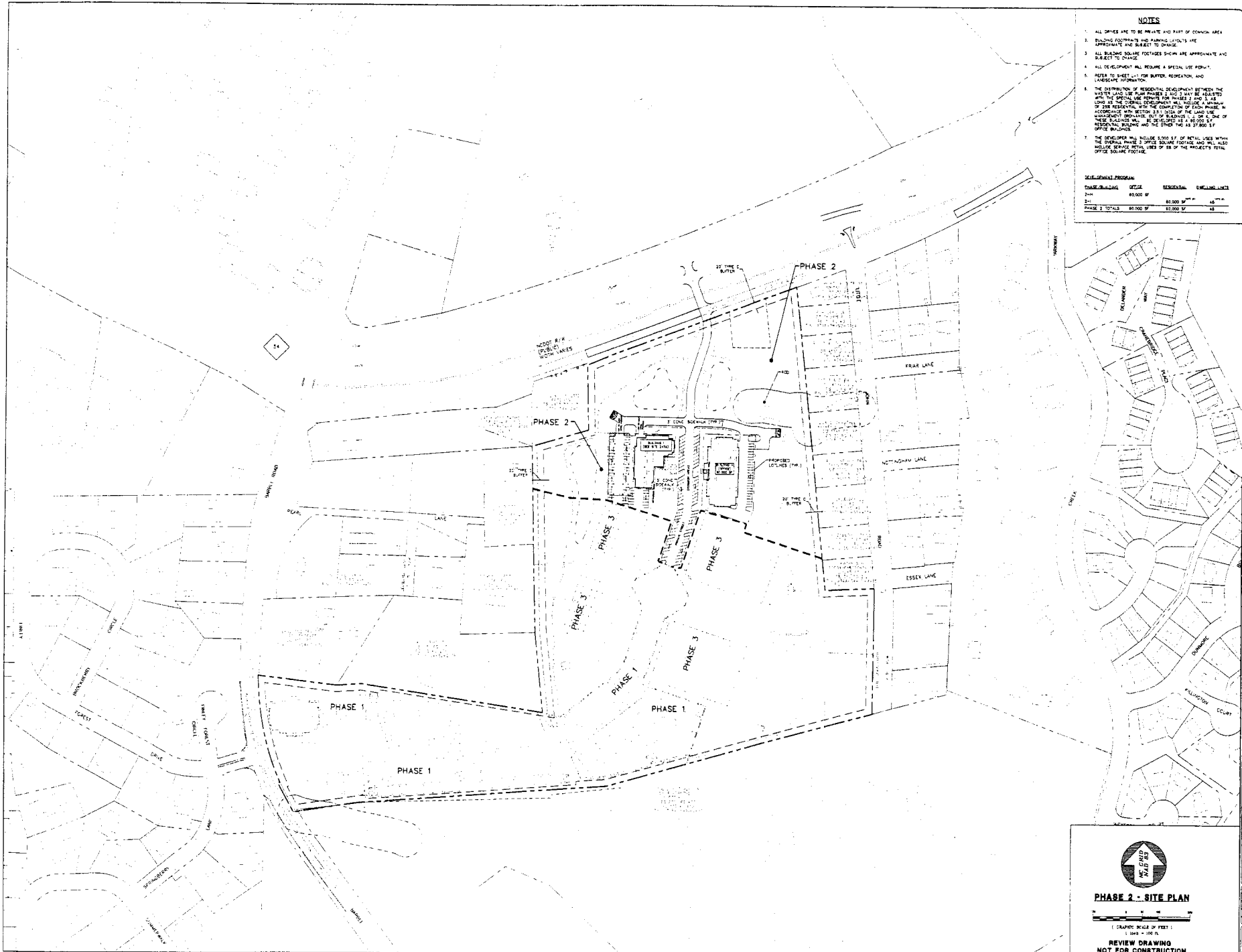
WOODMONT
 CHAMPLIN HILL, NC
 MASTER LAND USE PLAN

PHASE 1 - SITE PLAN
 DATE: 02/11/2009
 SCALE: AS NOTED
 DRAWN BY: S.W.
 CHECKED BY: S.W.

REVIEW DRAWING NOT FOR CONSTRUCTION

C-5

178



NOTES

1. ALL DRIVES ARE TO BE PRIVATE AND PART OF COMMON AREA.
2. BUILDING FOOTPRINTS AND PARKING LAYOUTS ARE APPROXIMATE AND SUBJECT TO CHANGE.
3. ALL BUILDING SQUARE FOOTAGES SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE.
4. ALL DEVELOPMENT WILL REQUIRE A SPECIAL USE PERMIT.
5. REFER TO SHEET 141 FOR WATER, SEWERAGE, AND LANDSCAPE INFORMATION.
6. THE SEPARATION OF RESIDENTIAL DEVELOPMENT BETWEEN THE VARIOUS LAND USE PHASES IS TO BE MAINTAINED AS LONG AS THE CURRENT DEVELOPMENT WILL INCLUDE A PROGRAM OF TREE RETENTION, AND THE COMPLETION OF EACH PHASE IS ACCORDANCE WITH SECTION 2.3.1.1 (A) OF THE LAND USE MANAGEMENT ORDINANCE. THE SEPARATION IS TO BE OF RESIDENTIAL BUILDING AND THE OTHER AS 2,000 SF OFFICE BUILDING.
7. THE DEVELOPER WILL INCLUDE 1,000 SF OF RETAIL USES WITHIN THE OFFICE PHASE. OFFICE SQUARE FOOTAGE AND WILL ALSO INCLUDE RETAIL USES TO BE OF THE PROJECT'S TOTAL OFFICE SQUARE FOOTAGE.

DEVELOPMENT PROGRAM

PHASE	OFFICE	RETAIL	RESIDENTIAL	OFFICE/RETAIL
PHASE 1	80,000 SF			
PHASE 2	80,000 SF	40,000 SF		40,000 SF
PHASE 3	80,000 SF		40,000 SF	
TOTAL	240,000 SF	40,000 SF	40,000 SF	40,000 SF

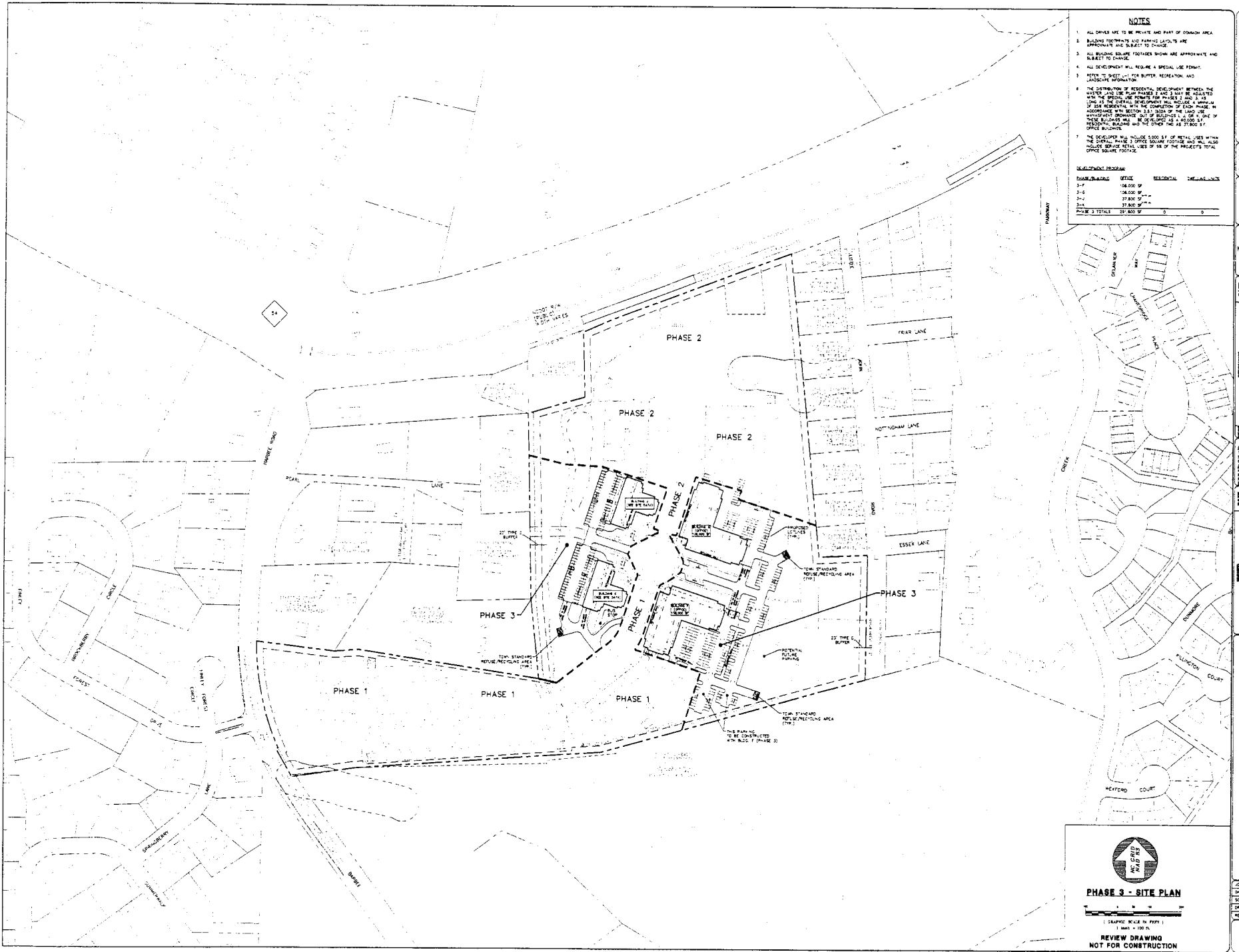
BALLENTINE ASSOCIATES, P.A.
 1000 WOODMONT DRIVE, SUITE 100, WOODMONT, IL 60090
 (708) 441-1111

WOODMONT
 CHAMPEL HILL, ILL. INC.
 MASTER LAND USE PLAN

PHASE 2 - SITE PLAN
 (GRAPHIC SCALE OF FEET)
 1" = 100'-0"

REVIEW DRAWING
NOT FOR CONSTRUCTION

C-6



- NOTES**
1. ALL DRIVES ARE TO BE PRIVATE AND PART OF COMMON AREA.
 2. BUILDING FOOTPRINTS AND PARKING LAYOUTS ARE APPROXIMATE AND SUBJECT TO CHANGE.
 3. ALL BUILDING SQUARE FOOTAGES SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE.
 4. ALL DEVELOPMENT WILL REQUIRE A SPECIAL USE PERMIT.
 5. REFER TO SHEET C-1 FOR BUFFER, RECREATION, AND LANDSCAPE INFORMATION.
 6. THE DISTRIBUTION OF RESIDENTIAL DEVELOPMENT BETWEEN THE PHASES IS THE PROPERTY OF THE OWNER AND IS NOT TO BE RELATED TO THE SPECIAL USE PERMITS FOR PHASES 1 AND 2 AS SET FORTH IN THE OVERALL DEVELOPMENT PLAN. A SUMMARY OF 15% RESIDENTIAL WITH THE COMPLETION OF EACH PHASE IS PROVIDED HEREIN. HOWEVER, THE EXACT PERCENTAGE OF 15% RESIDENTIAL WILL BE DETERMINED BY THE OWNER AT THE TIME OF THE SPECIAL USE PERMIT APPLICATION FOR EACH PHASE. THE TOTAL SQUARE FOOTAGE OF OFFICE BUILDINGS IS 1,000,000 SF AND THE TOTAL SQUARE FOOTAGE OF RETAIL BUILDINGS IS 200,000 SF.
 7. THE DEVELOPER WILL PROVIDE 5000 SF OF RETAIL USES WITHIN THE OFFICE BUILDINGS. THE TOTAL SQUARE FOOTAGE AND ALSO INCLUDE THE OFFICE BUILDINGS OF 15% OF THE PROJECT'S TOTAL OFFICE SQUARE FOOTAGE.

DEVELOPMENT PROGRAM

DEVELOPMENT PROGRAM	OFFICE	RETAIL	TOTAL AREA
PHASE 1	1,000,000 SF	200,000 SF	1,200,000 SF
PHASE 2	1,000,000 SF	200,000 SF	1,200,000 SF
PHASE 3	1,000,000 SF	200,000 SF	1,200,000 SF
PHASE 3 TOTALS	1,000,000 SF	200,000 SF	1,200,000 SF

BALLENTINE ASSOCIATES PA
 277 WINDSOR ROAD, CHAPEL HILL, NC 27514
 (919) 286-1000

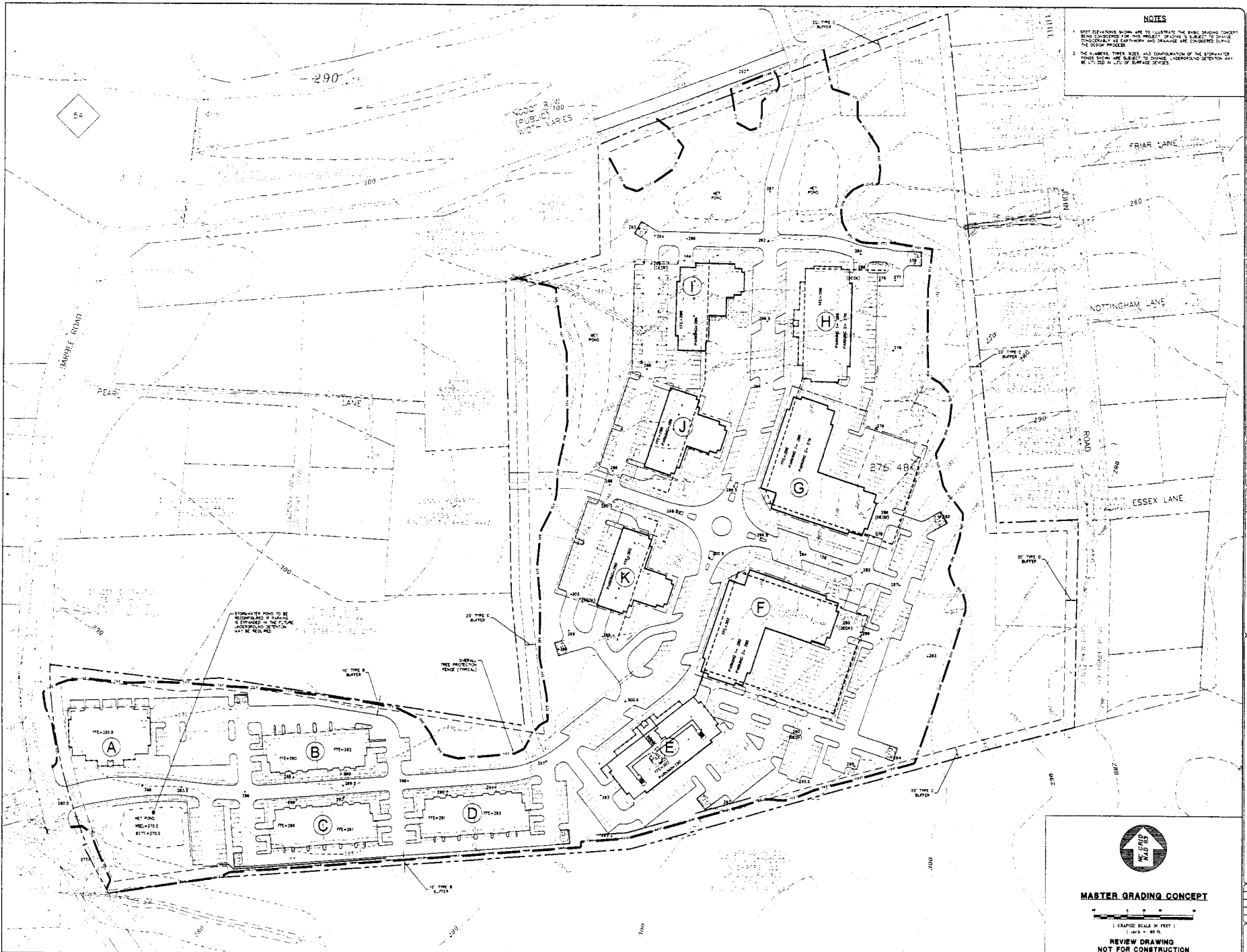
WOODMONT CHAPEL HILL, NC MASTER LAND USE PLAN

PHASE 3 - SITE PLAN

DATE: 11/11/11
 SCALE: AS SHOWN
 DRAWN BY: S.S.
 CHECKED BY: S.S.

REVIEW DRAWING NOT FOR CONSTRUCTION

SHEET C-7



NOTES

1. SPOT ELEVATIONS SHOWN ARE TO ILLUSTRATE THE BASIC DESIGN CONCEPT. ANY CHANGES TO THIS PROJECT WILL BE SHOWN IN SUBSEQUENT DRAWINGS TO SHOW A DESIGN WITH CONSTRUCTION AND FINISHING LINE CONSTRUCTION.
2. THE LINES, THEIR SIZE AND CONTOUR OF THE STORMWATER POND SHOWN ARE SUBJECT TO CHANGE. OVERHUNG DETENTION WALL IS NOTED IN LIST OF SURFACE FINISHES.

BALLENTINE ASSOCIATES, P.A.
227 HARRISON ROAD
LEWISTOWN, PA 17033
(717) 397-1100




NOT FOR CONSTRUCTION

DATE	BY	REVISION

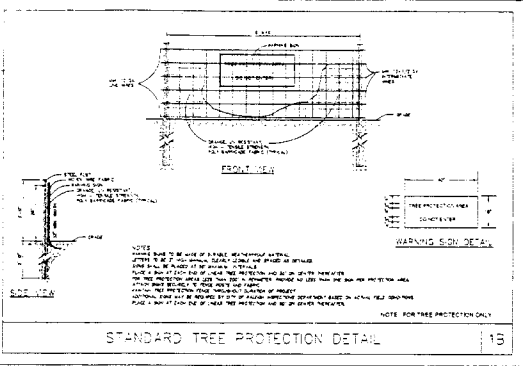
WOODMONT
CHAPEL HILL, NC

MASTER LAND USE PLAN


MASTER GRADING CONCEPT
GRAPHIC SCALE IN FEET: 1" = 40'
REVIEW DRAWING NOT FOR CONSTRUCTION

SHEET **C-8**
DATE: 11/14/21
SCALE: AS SHOWN
DRAWN BY: J.S.
REVIEWED BY: S.L.A.

176



NOTES

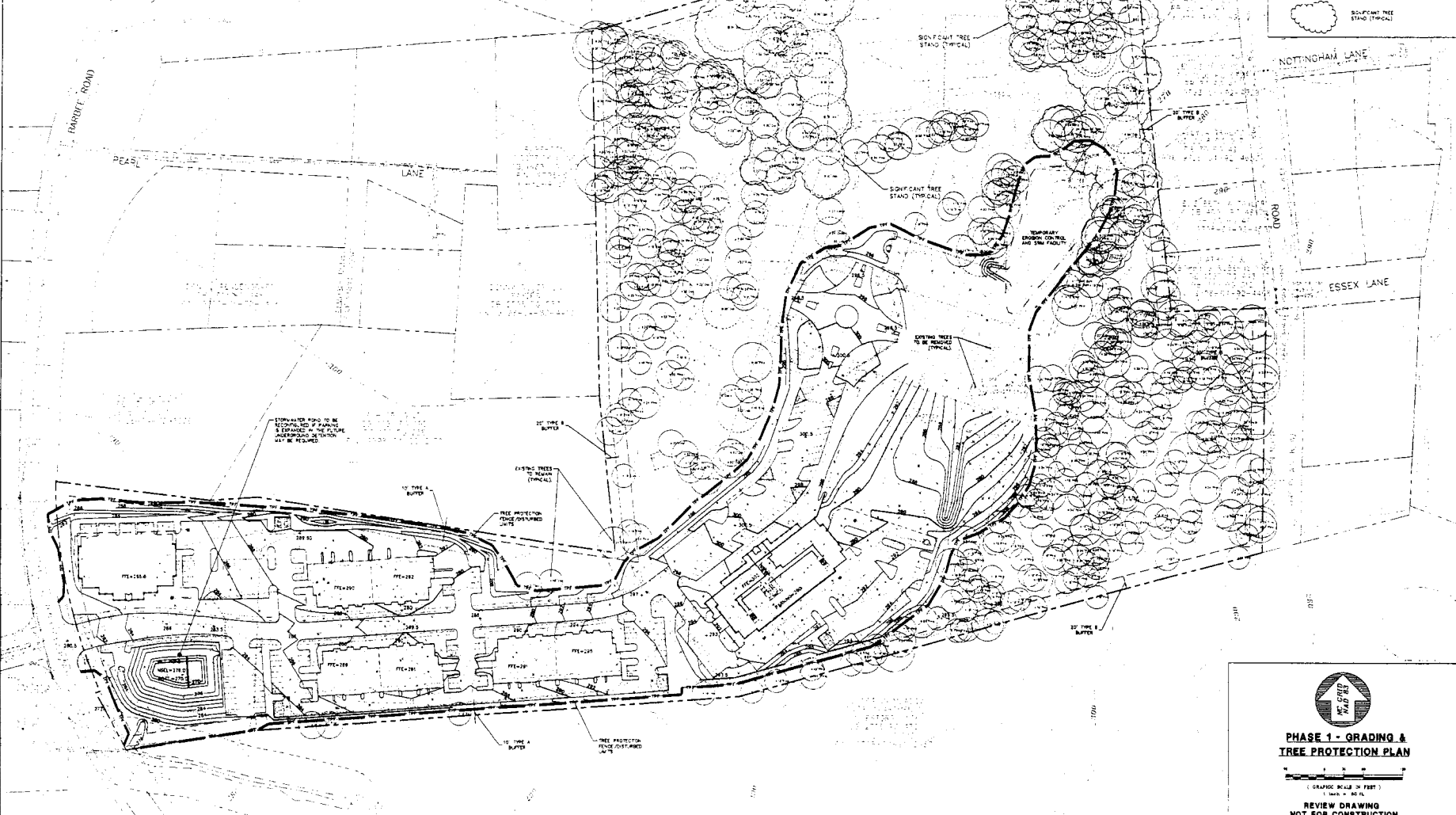
- SPOT ELEVATIONS SHOWN ARE TO ILLUSTRATE THE BASIC GRADING CONCEPTS CONSIDERED FOR THIS PROJECT. GRADES TO BE SET TO CORRESPOND TO THE CONSTRUCTION AND FINISHED SURFACE SHALL BE DETERMINED DURING THE DESIGN PROCESS.
- THE NUMBER, TYPE, SIZE AND COMPOSITION OF THE STRUCTURES SHOWN ARE SUBJECT TO OBTAINING APPROVED DESIGN AND BE SUBJECT TO ALL OF SURFACE DEVICES.

PHASE 1 - TREE SUMMARY

EXISTING TREES	RARE	SPECIMEN	TOTAL
57	1,072	1,127	
21	160	176	

TREE LEGEND:

- SPECIMEN TREE SHOWING CRITICAL ROOT ZONE
- RARE TREE SHOWING CRITICAL ROOT ZONE
- RARE/SPECIMEN TREE TO BE REMOVED
- SOULICANT TREE STAND (TYPICAL)



PHASE 1 - GRADING & TREE PROTECTION PLAN

REVIEW DRAWING
NOT FOR CONSTRUCTION

(GRAPHIC SCALE IN FEET)
1" = 100'

DATE: 03/14/17
SCALE: AS NOTED
DRAWN BY: [REDACTED]
REVISED BY: [REDACTED]

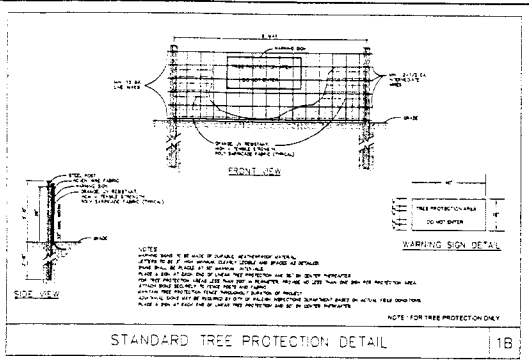
BALLENTINE ASSOCIATES PA.
275 WOODMONT ROAD, CHARLOTTE, NC 28204
TEL: 704.552.2200 FAX: 704.552.2201

OWNER INFORMATION:
BALLENTINE ASSOCIATES
1100 KENNESAW DR.
SUITE 400
DURHAM, NC 27711
TEL: 919.286.1200
FAX: 919.286.1201
WWW.BALLENTINE.COM

DATE: 03/14/17
PROJECT: [REDACTED]
SHEET: [REDACTED]

WOODMONT
CHARTER HILL, NC
MASTER LAND USE PLAN

SHEET
C-9



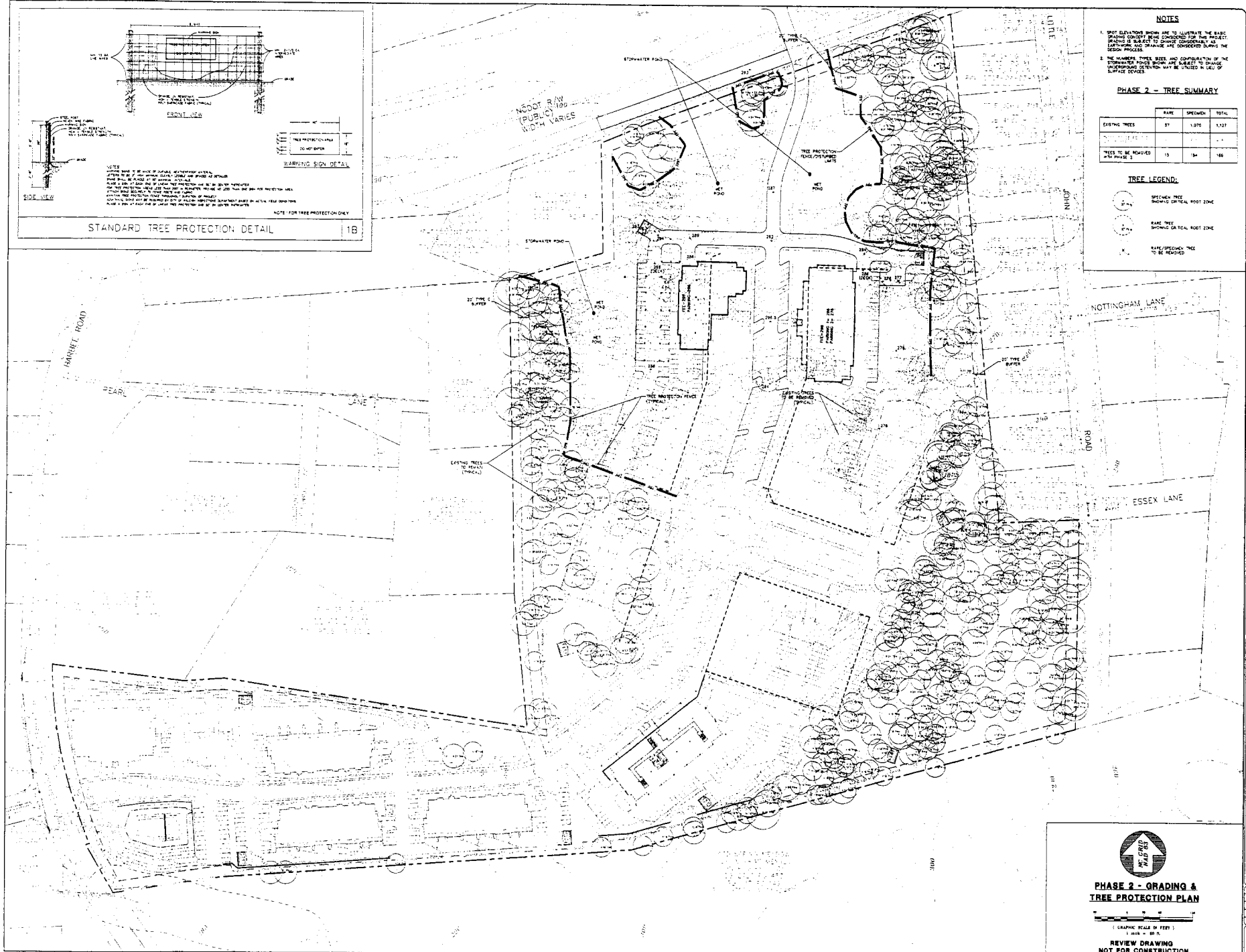
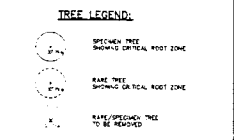
STANDARD TREE PROTECTION DETAIL | 18

NOTES

- SPOT ELEVATIONS SHOWN ARE TO ILLUSTRATE THE BASIC GRADING CONCEPTS. FINAL GRADING SHALL BE SUBJECT TO CHANGE CONSIDERING AS-FOUND CONDITIONS AND CHANGE ARE CONSIDERED DURING THE DESIGN PROCESS.
- THE NUMBER, TREE SIZE AND COMPOSITION OF THE STORMWATER POND SHALL BE SUBJECT TO CHANGE. MODIFICATIONS OF DESIGN WILL BE MADE AS NECESSARY TO MEET SURFACE DEVICES.

PHASE 2 - TREE SUMMARY

	BASE	SPRINCH	TOTAL
EXISTING TREES	87	1,076	1,163
TREES TO BE REMOVED	13	14	27
TREES TO BE PLANTED	0	0	0



PHASE 2 - GRADING & TREE PROTECTION PLAN

WOODMONT CHAPEL, ILL., INC.

MASTER LAND USE PLAN

DATE: 10/15/07
 DATE: 10/15/07
 DRAWN BY: M.K.
 CHECKED BY: C.P.

REVIEW DRAWING NOT FOR CONSTRUCTION

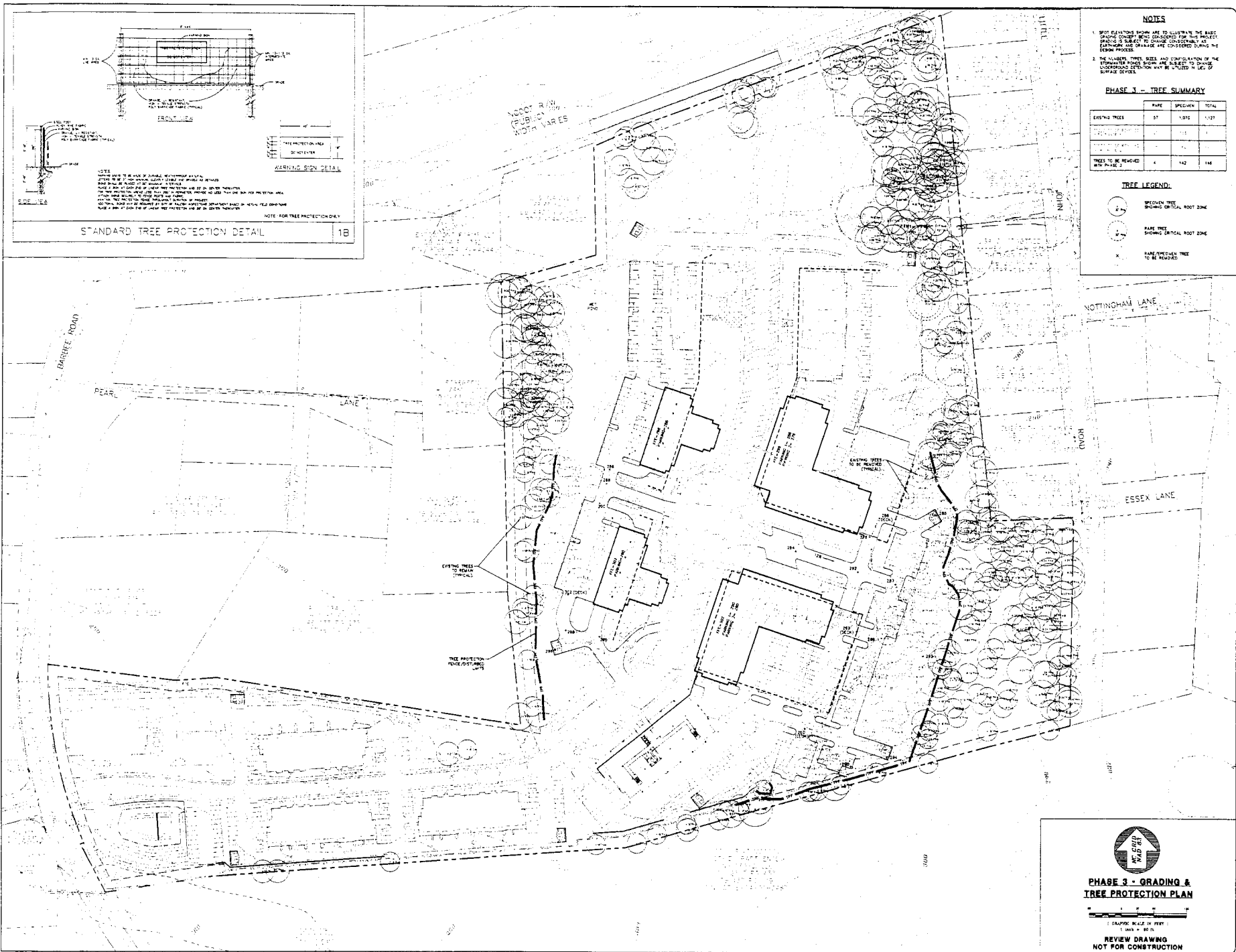
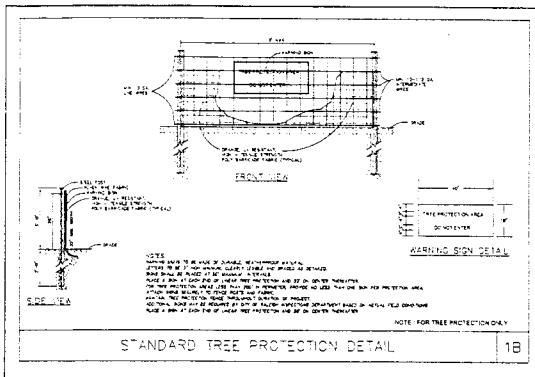
BALLENTINE ASSOCIATES, P.A.
 221 PROGRESS ROAD, CHAPEL HILL, NC 27614
 (704) 972-1000 FAX: (704) 972-1001

OWNER INFORMATION:
 WOODMONT CHAPEL, ILL., INC.
 100 PROGRESS ROAD
 CHAPEL HILL, NC 27614
 (704) 972-1000
 (704) 972-1001

DATE: 10/15/07

SCALE: 1" = 40'

SHEET C-10



NOTES

SPOT ELEVATIONS SHOWN ARE TO ILLUSTRATE THE BASIC GRADING CONCEPTS. THESE CONCEPTS FOR THE PROJECT GRADING IS SUBJECT TO CHANGE CONSIDERING AS EARTHWORK AND DRAINAGE ARE CONSIDERED DURING THE DESIGN PROCESS.

IF THE CHANGING TREE SIZE AND CONFIGURATION OF THE EXISTING TREES SHOWN ARE SUBJECT TO CHANGE, CORRESPONDING ELEVATIONS MAY BE ADJUSTED IN LIGHT OF SURFACE DEVICES.

PHASE 3 - TREE SUMMARY

EXISTING TREES	REMOVE	SPECIMEN	TOTAL
57	1,010	1,127	
TREES TO BE REMOVED WITH PHASE 2	4	142	146

TREE LEGEND:

- SPECIMEN TREE SHOWING CRITICAL ROOT ZONE
- PARE TREE SHOWING CRITICAL ROOT ZONE
- X REMOVE TREE TO BE REMOVED

BALLENTINE ASSOCIATES PA
 1215 PRODUCE ROAD, CHAPEL HILL, NC 27514
 (704) 949-1000

NOT FOR CONSTRUCTION

OWNER INFORMATION

WOODMONT
 CHAPEL HILL, NC

MASTER LAND USE PLAN

1B

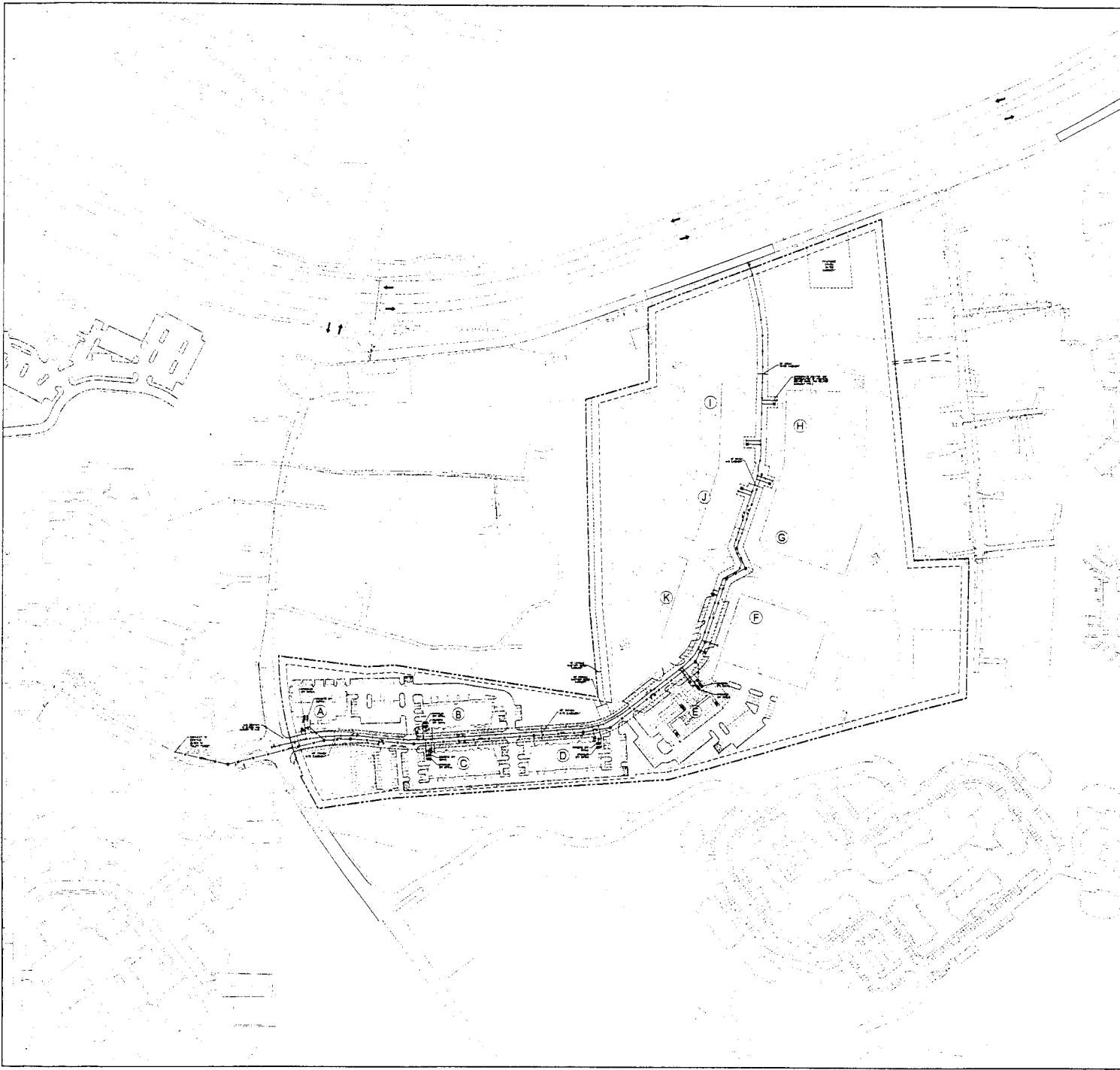
DATE: 11/11/09
 DRAWN BY: M.A.
 CHECKED BY: C.T.
 SCALE: AS NOTED
 SHEET: C-11

PHASE 3 - GRADING & TREE PROTECTION PLAN

1" = 40' HORIZONTAL
 1" = 4' VERTICAL

REVIEW DRAWING
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UTILITY NOTES

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH OREGON STANDARDS AND SPECIFICATIONS.
2. THIS PLAN IS DIAGNOSTIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY INDICATED.

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
(Symbol)	(Symbol)	WATER LINE
(Symbol)	(Symbol)	SANITARY SEWER LINE

WOODMONT
CHAPEL HILL, NC
MASTER LAND USE PLAN

MASTER WATER & SEWER PLAN

(GRAPHIC SCALE IN FEET)
1" = 80' = 100 FT.

REVIEW DRAWING
NOT FOR CONSTRUCTION

DATE: [] [] []

DESCRIPTION: []

DRAWER INFORMATION:
SABRAL ASSOCIATES
110 S. CECIL ST. SUITE 115
CHAPEL HILL, NC 27511
PHONE: 336-838-8500
FAX: 336-838-8505
WWW: WWW.SABRAL.COM

JOB # 10007 00
DATE: 03/20/07
SCALE AS NOTED
DRAWN BY: M.K.
REVIEWED BY: G.J.B.

SHEET C-12

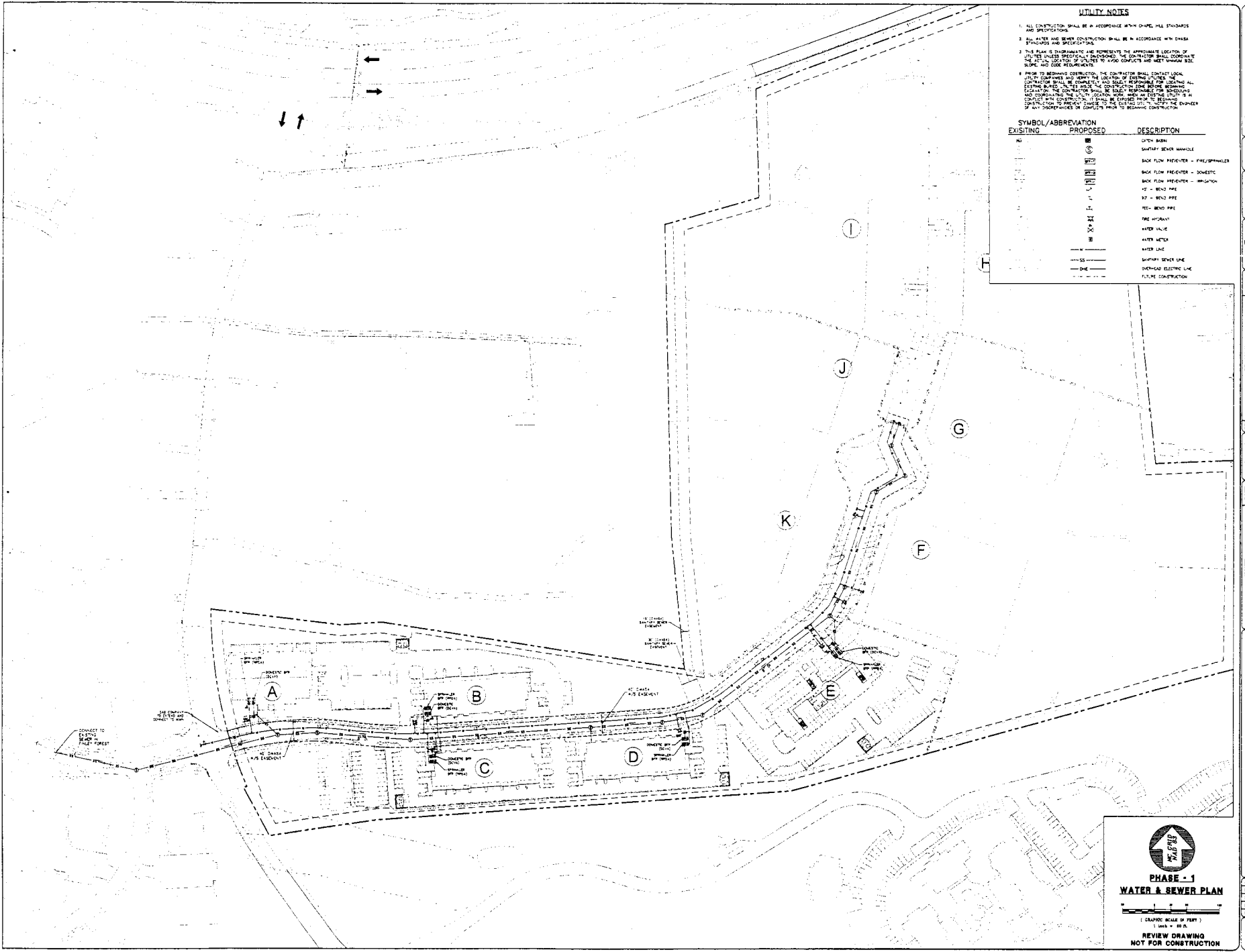
BALLENTINE ASSOCIATES PA
221 BRIDGE ROAD, CHAPEL HILL, NC 27514
(704) 927-7200 FAX (704) 927-7201

(Professional Seal)

NOT FOR CONSTRUCTION
(Professional Seal)


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- UTILITY NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHAPEL HILL STANDARDS AND SPECIFICATIONS.
 2. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHESA STANDARDS AND SPECIFICATIONS.
 3. THIS PLAN IS DIAGNOSTIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY NOTED. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO VERIFY CONTACTS AND DEPT. NUMBER SIZE.
 4. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANIES AND OBTAIN THE LOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES. ALL UTILITIES ON THE CONSTRUCTION SHALL BE EXACTLY REPRODUCED FOR RECORDING AND COORDINATING THE UTILITY LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE UTILITY LOCATION. IT SHALL BE FORGED FROM THE ENGINEER IF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
—	—	UTILITY MAIN
—	—	SEWER SERVICE MAINLINE
—	—	SEWER FLOW PREVENTER - PRESSURIZED
—	—	SEWER FLOW PREVENTER - SOLIDITY
—	—	SEWER FLOW PREVENTER - IMPOSITION
—	—	45° BEND PIPE
—	—	90° BEND PIPE
—	—	TEE BEND PIPE
—	—	FIRE HYDRANT
—	—	WATER VALVE
—	—	WATER METER
—	—	WATER LINE
—	—	SEWER SERVICE LINE
—	—	OVERHEAD ELECTRIC LINE
—	—	FUTURE CONSTRUCTION


PHASE - 1
WATER & SEWER PLAN
 (GRAPHIC SCALE IN FEET)
 1" = 40'

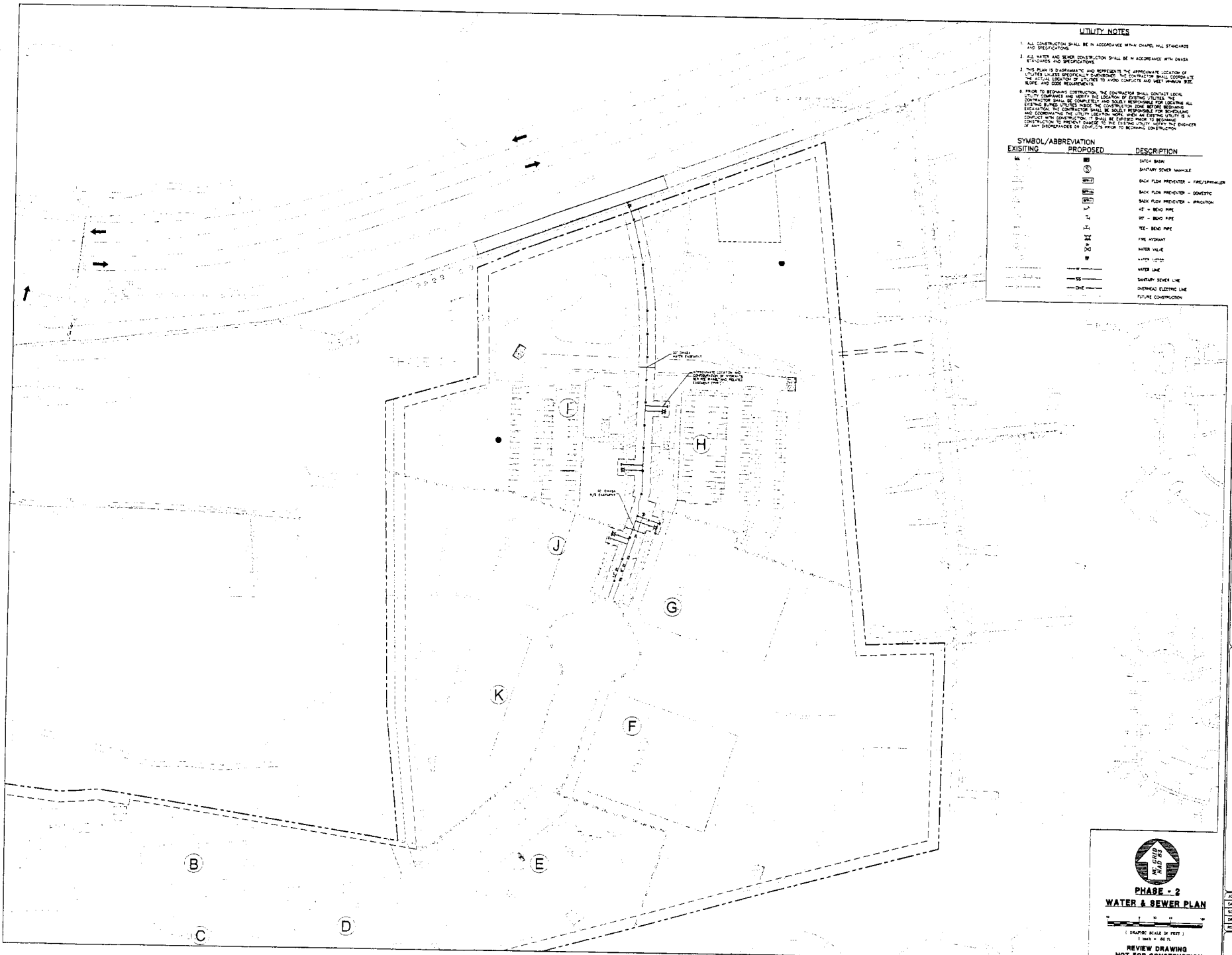
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NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
 277 HUNTERS HILL ROAD, CHAPEL HILL, NC 27514
 (704) 943-7070 FAX (704) 943-7076

WOODMONT
 CHESTER HILL, NC
 MASTER LAND USE PLAN

C-13

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UTILITY NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHAMPEL HILL STANDARDS AND SPECIFICATIONS.
2. ALL WATER AND SEWER COLLECTION SHALL BE IN ACCORDANCE WITH CHESAPEAKE DIVISION SPECIFICATIONS.
3. THIS PLAN IS GRAPHICALLY AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY COMMENTED. THE CONTRACTOR SHALL CORROBORATE THE LOCATION AND DEPTH OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SITE REQUIREMENTS.
4. PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANIES AND VERIFY THE LOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE COMPLETELY AND SOLELY RESPONSIBLE FOR LOCATING ALL UTILITIES AND UTILITIES HAVING THE CONSTRUCTION. THE CONTRACTOR SHALL BE COMPLETELY AND SOLELY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING THE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING THE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING THE UTILITIES.

EXISTING	PROPOSED	DESCRIPTION
MB	MB	DATCH BASIN
MS	MS	SAWTRAY SEWER MANHOLE
MF	MF	BACK FLOW PREVENTER - FIRE/SPRINKLER
MD	MD	BACK FLOW PREVENTER - DOMESTIC
ME	ME	BACK FLOW PREVENTER - WASHINGTON
MP	MP	4" - 8" BOND PIPE
MR	MR	12" - 36" BOND PIPE
MS	MS	FIRE HYDRANT
MT	MT	WATER VALVE
MU	MU	WATER METER
MS	MS	WATER LINE
MS	MS	SAWTRAY SEWER LINE
MS	MS	OVERHEAD ELECTRIC LINE
MS	MS	FUTURE CONSTRUCTION

PHASE - 2
WATER & SEWER PLAN
 (GRAPHIC SCALE IN FEET)
 1" = 10'-0"

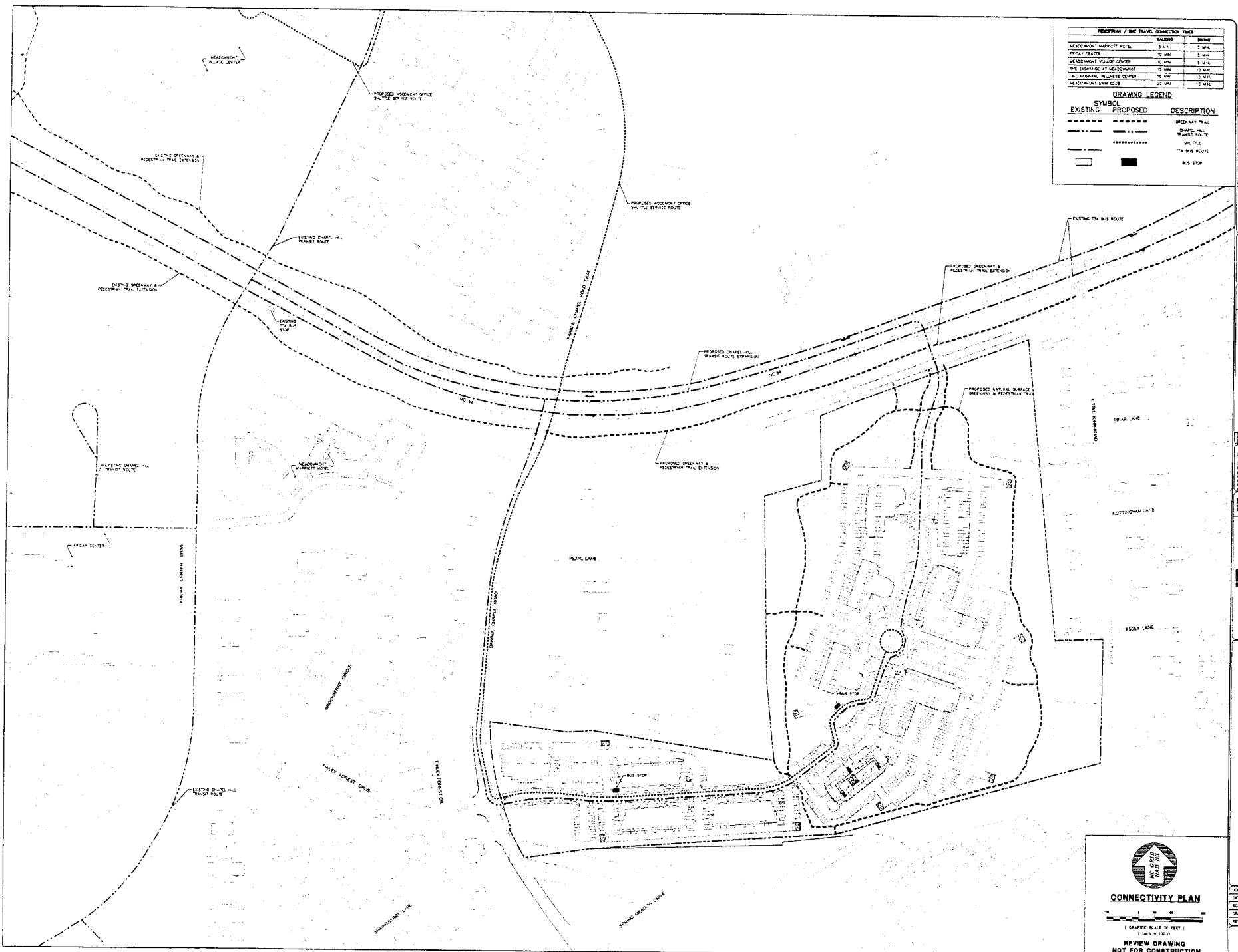
REVIEW DRAWING
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BALENTINE ASSOCIATES PA
 2774 PRODUCE ROAD, CHAMPEL HILL, N.C. 27014
 (919) 327-0381 FAX (919) 327-0382

WOODMONT
 CHAMPEL HILL, NC
 MASTER LAND USE PLAN

DATE 11/21/07
SCALE AS NOTED
DRAWN BY B.M.
REVIEWED BY C.L.V.

SHEET
C-14



PEDESTRIAN / BIKE TRAVEL CONNECTION TABLE		
	TRAILING	BIKING
WOODMONT WARRIOR HOTEL	3 MIN	5 MIN
PEAK CENTER	10 MIN	5 MIN
WOODMONT WARRIOR CENTER	12 MIN	10 MIN
THE EXCHANGE AT WOODMONT	15 MIN	10 MIN
ONE HOSPITAL WOODMONT CENTER	15 MIN	10 MIN
WOODMONT SHUTTLE	22 MIN	10 MIN

DRAWING LEGEND			
SYMBOL	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PEDESTRIAN TRAIL
---	---	---	BIKING TRAIL
---	---	---	SHUTTLE ROUTE
---	---	---	TPA BUS ROUTE
---	---	---	BUS STOP

BALLENTINE ASSOCIATES PA
 ARCHITECTS & PLANNERS
 2710 PENNSYLVANIA AVE., SUITE 200
 PITTSBURGH, PA 15201
 (412) 325-1000

NOT FOR CONSTRUCTION

DATE	REVISIONS

OWNER INFORMATION
 WOODMONT ASSOCIATES
 1100 EXETER DRIVE
 SUITE 115
 WOODMONT, PA 15387
 (412) 261-1100

WOODMONT CHAPEL HILL, NC MASTER LAND USE PLAN

CONNECTIVITY PLAN
 (GRAPHIC SCALE OF FEET)
 1" = 100' 0"

REVIEW DRAWING NOT FOR CONSTRUCTION

JOB # 10000106
 DATE 23 MAY 07
 SCALE AS NOTED
 DRAWN BY G. H.
 CHECKED BY G. H.
 SHEET
C-15

