



TOWN OF CHAPEL HILL
Town Council Business Meeting
Town Hall Council Chamber
405 Martin Luther King Jr. Blvd., Chapel Hill, NC 27514
7:00 P.M., JUNE 22, 2015

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OPENING

1. Approve Agenda. (no attachment)
2. Council Vacancy: Consider Appointment to Council Vacancy.

PETITIONS FROM THE PUBLIC

Petitions will not be acted upon at the time they are presented. It shall take a unanimous vote of the Council members present for a petition to be acted upon immediately upon its presentation. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular meeting of the Council; or referral to another board or committee for study and report; or referral to the Town Manager for investigation and report; or receive for information. (Receiving does not imply approval, agreement, or consent.)

3. Petitions from the Public.
 - a. Kimberly Brewer Regarding the North-South Corridor Study.
 - b. Rickie White Regarding the Farmers Market.
 - c. Nancy Oates Regarding Living Wage.

-

ANNOUNCEMENTS BY COUNCIL MEMBERS

CONSENT

Items of a routine nature will be placed on the Consent Agenda to be voted on in a block. Any item may be removed from the Consent Agenda by request of the Mayor or any Council Member.

4. Approve all Consent Agenda Items. (R-1)
5. Approve Miscellaneous Budget Amendment to Adjust Various Fund Budgets. (O-1:O-5)(R-2:R-6)

6. Establish a Budget Amendment to the Estes Drive (Martin Luther King Jr. Boulevard to Caswell Road) Bicycle and Pedestrian Design Project. (O-6)
7. Establish a Budget for the Old Durham Chapel Hill Road Bicycle and Pedestrian Project. (O-7)
8. Authorize the 2015-2016 Recommended Human Services Performance Agreements. (R-7)
9. Continue the Concept Plan: Amity Station Mixed Use Development, 322 W. Rosemary Street to September 16, 2015. (R-8)
10. Continue the Concept Plan: 1165 Weaver Dairy Office/Retail Development, 1165 Weaver Dairy Road to November 16, 2015. (R-9)

DISCUSSION

11. Public Hearing on November 2015 Bond Referendum and Adoption of Bond Orders. (R-10)

PRESENTER: Kenneth C. Pennoyer, Business Management Director

- a. Conduct public hearings on the bond orders proposed for the November 3, 2015 Referendum
- b. Motion to adopt each of the attached bond orders by separate vote; and
- c. Motion to adopt the resolution regarding publication of bond orders and details of the bond referendum.

RECOMMENDATIONS: *That the Council conduct public hearings; adopt the attached bond orders; and adopt the resolution regarding publication of bond orders and details of the bond referendum.*

12. Consider an Application for Special Use Permit Modification, Grace Church Expansion, 200 Sage Road. (R-11)(R-12)

PRESENTER: Kay Pearlstein, Senior Planner

Swearing of all persons wishing to present evidence

- a. Without objection, the revised report and any other materials submitted at the hearing for consideration by the Council will be entered into the record
- b. Introduction and revised recommendation
- c. Comments and questions from the Mayor and Town Council
- d. Applicant's statement regarding proposed conditions
- e. Motion to adjourn the public hearing
- f. Motion to adopt Revised Resolution A approving the Special Use Permit Modification.

RECOMMENDATIONS: *That the Council approve the Special Use Permit Modification for Grace Church Expansion with the adoption of Revised Resolution A.*

13. Report on Status of Initiating an Economic Development Agreement on Property Proposed for The Edge and Adopt a Resolution Calling a Public Hearing. (R-13)

PRESENTER: Gene Poveromo, Development Manager

RECOMMENDATIONS: *That the Council receive the report, review and offer feedback on the proposed approach and process, and consider adopting a Resolution calling a public hearing.*

14.

CONCEPT PLAN REVIEWS

Concept Plans: Presentations for Concept Plans will be limited to 15 minutes.

Concept Plan review affords Council members the opportunity to provide individual reactions to the overall concept of the development which is being contemplated for future application. Nothing stated by individual Council members this evening can be construed as an official position or commitment on the part of a Council member with respect to the position they may take when and if a formal application for development is subsequently submitted and comes before the Council for formal consideration.

As a courtesy to others, a citizen speaking on an agenda item is normally limited to three minutes. Persons who are organizing a group presentation and who wish to speak beyond the three minute limit are requested to make prior arrangements through the Mayor's Office by calling 968-2714.

Concept Plan: Siena Hotel Expansion, 1505 East Franklin Street. (R-14)

PRESENTER: Gene Poveromo, Development Manager

- a. Review of process
- b. Presentation by the applicant
- c. Comments from the Community Design Commission
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Adopt a Resolution transmitting Council comments to the applicant.

RECOMMENDATIONS: *That the Council review the Concept Plan and provide the applicant with feedback.*

APPOINTMENTS

15. Appointment to the Cemeteries Advisory Board.
16. Appointments to the Justice in Action Committee.
17. Appointment to the Parks, Greenways and Recreation Commission.

18. Designate a Delegate to the National League of Cities Annual Business Meeting. (R-15)

**RESERVED FOR DISCUSSION OF CONSENT AGENDA ITEMS IF
NECESSARY**

**REQUEST FOR CLOSED SESSION TO DISCUSS PROPERTY ACQUISITION,
PERSONNEL, AND LITIGATION MATTERS**



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #2

TO: Mayor and Town Council

FROM: Sabrina Oliver, Communications & Public Affairs Director/Town Clerk
Ralph D. Karpinos, Town Attorney

SUBJECT: Council Vacancy: Consider Appointment to Council Vacancy.

Recommended Council Action

- That the Council continue the process for considering appointing a person to fill the current vacancy on the Town Council.
- Ballots are provided for the Council's use.

Context with Key Issues

Pursuant to Town Charter, the Council adopted a process for filling the vacancy at the April 8, 2015 Work Session. The Council adopted a resolution setting a deadline of April 22, 2015 for accepting applications from interested persons and inviting the applicants to attend the April 27, 2015 Special Meeting to make comments regarding their interest in serving on the Council.

Applications have been received from the following persons and all have been determined to be eligible. On April 27, 2015, the Council nominated all of the applicants.

- ~~[Kevin Hicks](#)~~¹
- [Adam Jones](#)²
- [Paul Neebe](#)³
- [Michael Parker](#)⁴
- [Amy Ryan](#)⁵
- [Gary Shaw](#)⁶

¹ <http://chapelhillpublic.novusagenda.com/AttachmentViewer.aspx?AttachmentID=15275&ItemID=3251>

² <http://chapelhillpublic.novusagenda.com/AttachmentViewer.aspx?AttachmentID=15276&ItemID=3251>

³ <http://chapelhillpublic.novusagenda.com/AttachmentViewer.aspx?AttachmentID=15277&ItemID=3251>

⁴ <http://chapelhillpublic.novusagenda.com/AttachmentViewer.aspx?AttachmentID=15278&ItemID=3251>

⁵ <http://chapelhillpublic.novusagenda.com/AttachmentViewer.aspx?AttachmentID=15279&ItemID=3251>

⁶ <http://chapelhillpublic.novusagenda.com/AttachmentViewer.aspx?AttachmentID=15280&ItemID=3251>

On April 27, the Council indicated its interest in providing an opportunity for the public to provide comment on the applicants before the Council entertained a motion to consider the action of voting.

On May 4 and May 11, the Council received public comment, but did not take action to fill the vacancy. On May 18 the Council voted 4-4 on a motion to consider filling the vacancy. On May 27, June 8, 2015, and on June 15, 2015 the Council took no action on this matter.

On June 11, Kevin Hicks submitted an email (copy attached) withdrawing his name for consideration for the vacancy.

Tonight the Council may make an appointment to fill the vacancy for the remainder of the term of former Council member Matt Czajkowski. Five affirmative votes for a candidate are required to make an appointment. If the Council does not act to fill the vacancy this evening, the matter will return for consideration at the next Council meeting.

If an appointment is made this evening, swearing in of the appointee can be scheduled for the next Council Meeting.

[Ballots⁷](#) will be available for use at the meeting.

Attachments

- Kevin Hicks Withdrawal Email

⁷ <http://chapelhillpublic.novusagenda.com/AttachmentViewer.aspx?AttachmentID=15274&ItemID=3251>

From: [Kevin Hicks](#)
To: [Amy Harvey](#)
Subject: Re: Information re: Chapel Hill Town Council 6/15/15 Agenda Item #4
Date: Thursday, June 11, 2015 9:52:31 PM

Hi Amy,

please tell the Council that I officially withdraw my name from the list of appointees due to personal reasons.

~ kvn
Kevin Hicks
Triangle Bikeworks Youth Cycling
We Bring Good Kids to Bikes
Learn more at <http://trianglebikeworks.org/>

On Thu, Jun 11, 2015 at 4:39 PM, Amy Harvey <aharvey@townofchapelhill.org> wrote:

Good Afternoon

For your information, the following item is on the [Chapel Hill Town Council's June15 agenda](#) and [downloadable [full PDF version with page numbers](#)]. Please forward to anyone else that may have an interest in this item.

4. [Council Vacancy: Consider Appointment to Council Vacancy.](#)

Amy T. Harvey, CMC
Deputy Town Clerk

Communications and Public Affairs
[Town of Chapel Hill](#)
405 Martin Luther King, Jr. Blvd.
Chapel Hill, NC 27514

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TOWN OF CHAPEL HILL
NORTH CAROLINA
EXECUTIVE SUMMARY

Meeting Date: 6/22/2015
AGENDA #3

Title of Agenda Item: Petitions from the Public.

- a. Kimberly Brewer Regarding the North-South Corridor Study.
- b. Rickie White Regarding the Farmers Market.
- c. Nancy Oates Regarding Living Wage.

Background: Under the Council's normal procedures, requests will be treated as a petition for action by the Council. The Council hears petitions, either written or oral, at the beginning of each regular meeting. Except in the case of urgency, petitions normally are not acted upon at the time they are presented. After hearing a petition, the Council usually receives and refers the petition to the Town Manager and Town Attorney for review and a follow-up report with recommendations for action.

Fiscal Note: Fiscal impact not determined.

Recommendations: That the Council consider the attached petitions.

ATTACHMENTS:

Viewing attachments may require [Adobe Acrobat](#).

Kimberly Brewer Regarding the North-South Corridor Study

Rickie White Regarding the Farmers Market

Nancy Oates Regarding Living Wage

**Petition to the Chapel Hill Town Council
Regarding the North-South Corridor Study
5-28-2015**

Dear Mayor and Council Members,

Neighbors in the South Columbia-Purefoy and Westwood-Westside area recently learned about the Town's North South Corridor Study which evaluates transit improvements on the road corridor from Eubanks Road (North Chapel Hill) to Dogwood Acres (South Chapel Hill). There are four options being considered for different segments of the corridor.

- Option 1- Adding 2 dedicated Bus Rapid Transit (BRT) middle lanes plus bus shelters.
- Option 2 - Adding 2 dedicated BRT side lanes plus bus shelters.
- Option 3 - BRT in mixed traffic adding bus shelters.
- Option 4 - No build.

Option 1 and 2 would go outside of the existing road right-of-way and impact private property, homes, and businesses in our neighborhood. Option 3 will have impact on property/homes in our neighborhood if the proposed bus shelters are not properly sized and located.

In 1990, NCDOT proposed to straighten and widen the two-lane South Columbia Street to a 5-lane section identical to Martin Luther King. The Town Council overwhelmingly voted to refuse this "improvement." The neighbors of South Columbia Street and the Town Council fought approximately 20 years to get a bike-pedestrian friendly corridor that also accommodated traffic flow and buses. In late 2014, after years of uncertainty and a 7.1 million dollar, multi-year construction project, we now have a beautiful, highly functional, safe corridor. Residents and property owners are pleased with the stabilized South Columbia Street, which now provides renewed incentive to invest in and upgrade our properties.

Our review of the study reports to date reveal limited benefit and potential high impact on the neighbors of South Columbia for 3 of the 4 options being considered:

- (1) Adding a lane on either side of South Columbia Street would take property and a number of homes. Adding a lane and bus shelters on the east side would:
 - a. take numerous homes;
 - b. take property of and impact the popular and historic Merritt's Grill;
 - c. undo the 7.1 million dollar investment just completed, including an expensive stormwater control system DOT just built for the entire corridor;
 - d. involve filling/building over a deep ravine; and
 - e. make access to and from streets and businesses very difficult.
- (2) Designating these as potential options in a future report, even if never constructed or constructed decades from now, would create uncertainty for property owners that could affect future investments and property up-keep in the corridor.

(3) 2014 Tier 1 Analysis, which screened the current options for analysis, has the following gaps and deficiencies:

- a. The Study says that the segment from Mason Farm Road to Fordham Boulevard is the most constrained in terms of right-of-way, and that under Options 1 and 2 this segment would require the most land acquisition and cause the most environmental impacts of any stretch in the corridor. But it goes on to say, with no supporting quantitative analysis, that the environmental benefits of improved air quality would outweigh these costs.
- b. The study does not address how widening South Columbia from Mason Farm to Fordham Boulevard for dedicated bus lanes could improve air quality when mixed bus-car lanes would still be needed just south and north of this section due to right-of-way and space constraints.
- c. The two options with dedicated bus lanes appear to have a high cost to benefit ratio with regard to increased bus ridership, although the ridership benefits are very vague.
- d. The study says that BRT is in line with local plans. However, no local or regional plans call for BRT in the South Columbia Street corridor (only in the MLK corridor).
- e. Finally, the Tier 1 Analysis said that the dedicated bus lane rapid transit (Options 1 and 2) are rated as the best in terms of community support, and characterized as having "strong community support". This was based on 2 public workshops in 2014 where a total of 20 people attended. No stakeholder neighborhoods or businesses in our corridor were directly contacted regarding these workshops.

In recent weeks, neighbors have had discussions with the project's staff and consultants to share concerns and discuss options. In addition, town staff and consultants hosted a meeting and walking tour of South Columbia on May 26 to discuss the project. Based on these discussions, we respectfully request that the Town Council take the following actions for the North-South Corridor segment from Fordham Boulevard to Manning Drive before the next phase of detailed evaluation.


- (1) Remove Option 1 and 2 from future consideration: BRT with Dedicated Middle Lanes and BRT in Dedicated Side Lanes.
- (2) The neighbors support the BRT in Mixed Traffic Option 3 with the following design features: (a) at or near existing bus stops in the corridor, provide small, neighborhood bus shelters comprised of 5 foot deep, 15 to 20 foot long overhang shelters above the existing sidewalk area (i.e. the sidewalk is the shelter floor); (b) reactivate the bus stop across from the Coolidge Street-Columbia Street intersection at the current (unused) bus pullout; and c) maintain any existing trees as buffers between the stations and the private property. This design places appropriately scaled shelters within the existing street right of way areas, and provides integrated rather than separated sidewalk-shelter areas in such a way as to minimize impacts on existing homes and businesses. If such a design is not feasible, implement Option 4 (No Build).

The South Columbia entrance to the University and Town runs through a residential, tree-lined neighborhood; the current configuration and character of the road provides safe, efficient passage for cars, buses, bikes and pedestrians. And the size of the road and placement of the lanes are well-suited to the neighborhoods that border it. This is no accident; this recently upgraded and well-designed section of the road is entirely due to the persistent and strategic efforts of the Town Council, residents, and various town staff over the years.

Please consider that any large bus shelter and road widening would be out of scale and out of place along our portion of South Columbia Street.

Also, in closing, please consider the waste, inefficient planning, and poor use of taxpayer dollars that any significant new construction on South Columbia will entail. This road has only recently been completed after many years of discussion and planning. It seems ill-advised to waste that considerable public investment with a new plan for our portion of the road.

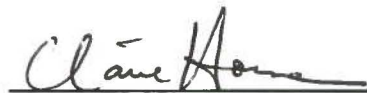
Thank you for your consideration of these concerns and requests.



Kurt Ribisi, 405 Ransom Street



Bob White, 224 McCauley Street



Claire Horne, 404 Westwood Drive



Joe Capowski, 404 Coolidge Street



Bob Britt (on behalf of Merritt's Store and Grill)

Claudia Palacios

Claudia Palacios (on behalf of Merritt's Store and Grill)

Thomas A. East, Jr.

Joan K. East

Thomas A. East, Jr. and Joan K. East, 315 Purefoy Road (residence) & 311 and 313 Purefoy Road & 1103, 1105, 1107, and 1109 South Columbia Street

Kimberly B.

Kimberly Brewer, 301 Purefoy Road

Martin Feinstein

Martin Feinstein, 400 Coolidge Street

Nina B. East

Nina East, 1101 South Columbia Street

Sandra Eisdorfer

Sandra Eisdorfer, 303 Purefoy Road

From: [Rickie White](#)
To: [Amy Harvey](#)
Subject: 3 minute town council petition
Date: Tuesday, June 16, 2015 7:31:04 AM

Amy-

I'm curious as to whether there will be an opportunity to petition the town council at a future meeting soon. We would have 2 aspects to our petition: 1) to announce the downtown pop-up farmer's market at 140 West and commend town staff and the downtown partnership in helping us make that happen (opens July 23 and runs for 8 weeks) and 2) ask the town for help in thinking about signage pointing folks to our Saturday and Tuesday markets.

I imagine the council will be going on summer break soon, but if there is a way to fit us in that would be great.

Rickie

PETITION

For consideration at June 22, 2015, council business meeting

To: Mayor and Council
From: Nancy Oates
Subject: Living Wage for Contractors on Town Projects

Whereas Town Council members and community members appear to agree that our town benefits from a wide range of socioeconomic levels among our citizenry, and

Whereas lack of housing options for modestly paid people obstructs lower-income workers from living in Chapel Hill, and

Whereas council's efforts to secure workforce housing through new developments have made little progress in addressing the deep need for below-market-rate housing, and

Whereas the problem of lack of workforce housing requires a multipronged solution, and

Whereas one tool in the solution toolbox would be to increase wages for low-paid workers, and

Whereas the Town of Chapel Hill will soon begin further renovation work on Town Hall and will be in a position to hire a contracting firm that will employ dozens of workers,

Therefore be it resolved that the Town of Chapel Hill commit to accepting bids for that work only from contractors who will agree to pay all workers and subcontractors a living wage, to be in accordance with the wages and benefits the Town of Chapel Hill compensates its employees with for similar work. The contractor must provide some reliable means of verifying that its employees and subcontractors are receiving the compensation the contractor pledges to pay.



TOWN OF CHAPEL HILL
NORTH CAROLINA
EXECUTIVE SUMMARY

Meeting Date: 6/22/2015
AGENDA #4

Title of Agenda Item: Approve all Consent Agenda Items. (R-1)

Background: Items of a routine nature to be voted on in a block. Any item may be removed from the Consent Agenda by the request of the Mayor or any Council Member.

Fiscal Note: Please refer to each agenda item for specific fiscal notes.

Recommendations: That the Council adopt the various resolutions and ordinances.

ATTACHMENTS:

Viewing attachments may require [Adobe Acrobat](#).

Resolution

A RESOLUTION ADOPTING VARIOUS RESOLUTIONS AND ENACTING VARIOUS ORDINANCES (2015-06-22/R-1)

BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts the following resolutions and ordinances as submitted by the Town Manager in regard to the following:

5. Approve Miscellaneous Budget Amendment to Adjust Various Fund Budgets. (O-1:O-5) (R-2:R-6)
6. Establish a Budget Amendment to the Estes Drive (Martin Luther King Jr. Boulevard to Caswell Road) Bicycle and Pedestrian Design Project. (O-6)
7. Establish a Budget for the Old Durham Chapel Hill Road Bicycle and Pedestrian Project. (O-7)
8. Authorize the 2015-2016 Recommended Human Services Performance Agreements.(R-7)
9. Continue the Concept Plan: Amity Station Mixed Use Development, 322 W. Rosemary Street to September 16, 2015. (R-8)
10. Continue the Concept Plan: 1165 Weaver Dairy Office/Retail Development, 1165 Weaver Dairy Road to November 16, 2015. (R-9)

This the 22nd day of June, 2015.



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #5

TO: Roger L. Stancil, Town Manager

FROM: Kenneth C. Pennoyer, Business Management Director
Amy Oland, Assistant Business Management Director
Lance Norris, Public Works Director
Chris Blue, Police Chief
Loryn Clark, Housing and Community Director
Brian Litchfield, Transit Director
Tina Vaughn, Housing Director

SUBJECT: Approve Miscellaneous Budget Amendment to Adjust Various Fund Budgets

Recommended Council Action

- That the Council enact the attached budget ordinance amendment and project ordinance amendments to adjust the General Fund, Downtown Service Fund, Vehicle Maintenance Fund, Off-Street Parking Fund, On-Street Parking Fund, Transit Fund, Stormwater Fund, Housing Fund, Transit Capital Reserve Fund, Capital Projects Ordinance Fund, Affordable Housing Fund, Public Housing Capital Grants Fund and Transit Capital Grants Fund.

Context with Key Issues

- **General Fund**

Recycling Roll Carts – In February 2014, an interlocal agreement was executed between Orange County, Town of Chapel Hill, Town of Carrboro and Town of Hillsborough for the acquisition of 95-gallon recycling roll carts. The roll cart agreement provided that the County would own the roll carts and would provide reimbursement to the Town for the purchase of the roll carts, resulting in a net cost of zero for the Town. The total cost for the carts for Town residents was \$656,469.

The Town applied for and was awarded a North Carolina Department of Environment and Natural Resources (NCDENR) grant for recycling roll carts in the amount of \$75,000. In return for Orange County's purchase of the roll carts, the grant funds awarded to the Town will be paid to the County to off-set the costs of the roll carts. The Town of Carrboro and the Town of Hillsborough submitted similar grant proposals and the County anticipates receiving approximately \$208,425 in total grant fund reimbursements in FY 2015 to off-set the \$1,020,825 total cart purchase for all three towns. Adoption of the attached resolution would authorize acceptance of the NCDENR grant, and enactment of the attached budget amendment would establish the grant budget of \$75,000.

Strowd Roses Grant – On March 27, 2015, the Strowd Roses board of directors provided a grant in the amount of \$10,000 in aid of the summer youth program. The grant

supplements the funding provided by the Town's Community Development Block Grant, and provides funding for hiring additional youths in a variety of temporary position. Adoption of the attached resolution would authorize the acceptance of the Strowd Roses grant, and enactment of the attached budget ordinance amendment would increase the Housing and Community Department's budget for temporary salaries by \$10,000.

Cal Horton Award - Upon the retirement of the former Town Manager, the Foundation for a Sustainable Community donated funding to honor outstanding service by employees of the Town of Chapel Hill. Each year, a committee appointed by the Town Manager selects an employee to receive the honor. The Cal Horton award winner for FY15 will receive a cash award, and enactment of the attached budget amendment would appropriate \$1,645 of fund balance to make the \$1,000 award and pay the associated taxes and other deductions.

- **Downtown Service Fund**

The FY 2015 budget included \$62,480 to fund the monthly dues at 140 West. Additional funds were necessary to cover ongoing operating expenses for the public unit at 140 West in the amount of \$38,000. Enactment of the attached budget ordinance amendment would appropriate \$38,000 in fund balance to cover these additional expenditures.

- **Vehicle Maintenance Fund**

As a result of a higher than normal number of extraordinary vehicle maintenance repairs, there is a need to appropriate \$50,000 from the Vehicle Maintenance fund balance. The additional maintenance and repairs include costs for multiple solid waste vehicles in Public Works, tower truck repairs in Fire and various extraordinary repairs in the Police Department. The total amount being requested represents 2.5% of the FY 2015 Vehicle Maintenance budget. Enactment of the attached budget ordinance amendment would appropriate \$50,000 in fund balance to be used for Town vehicle maintenance and repairs.

- **Parking Fund**

The FY 2015 budget included a transfer from the on-street parking fund to the general fund in the amount of \$74,910. In 2009, the General Assembly enacted a change to general statute 160A-301 that now states that proceeds from the use of parking meters on public streets may be used to operate the parking program or for providing parking facilities. The statute previously stated that the proceeds must be used to defray the costs of enforcing and administering traffic and parking ordinances.

Enactment of the attached budget ordinance amendment would result in the transfer from the On-Street Parking Fund of \$74,910 to be made to the Parking Lots Fund instead of the General Fund.

- **Transit Fund**

FY 2014 Section 5307 Grant - In August 2014, the Town was awarded \$2,455,454 from the Federal Transit Administration in Section 5307 funds which included preventive maintenance funds of \$1,933,993, which was included in the FY 2014 budget and funds for the construction and purchase of bus shelters of \$37,963 which is remaining to be

budgeted. Enactment of the attached budget ordinance amendment would establish the remaining grant budget of \$37,963.

Senior Shuttle Grant – On February 24, 2015, the Town was awarded \$216,000 in Section 5310 funds for the continuation of the EZ Rider Senior Shuttle service.

NS&G Night Service Grant – On July 16, 2014, the Town was awarded \$135,954 in Section 5316 funds for the continuation of night service on the CM, CW, D, J and V routes. These additional funds will allow operation of these services between 6:30 and 10:00 p.m. on a year-round basis, providing consistent nighttime access to a greater proportion of residents and employees in Chapel Hill Transit's service area who have non-traditional work hours.

The Federal Transit Administration will provide \$175,977 (50%) for the continuation of night service and for the extension of service hours on the routes noted above. Local match of \$175,977 (50%) for these operating grants has been identified within the existing FY 2015 Transit Operating Fund budget. Adoption of the attached resolutions would authorize the acceptance of the Senior Shuttle Grant and the NS&G Night Service Grant and enactment of the attached budget ordinance amendment would establish the grant budgets.

- **Stormwater Fund**

As part of the FY2014 adopted budget, the Town Council authorized the use of \$750,000 to be used for land improvements on Elliott Road. The funds were not encumbered and the entire amount was not carried forward into the current year. Enactment of the attached budget ordinance amendment would reappropriate \$42,803 in in Stormwater fund balance.

- **Housing Fund**

In February 2014, the Town Council authorized the use of \$323,320 in Housing fund balance to assist in the cost of replacing the roofs at two of the housing neighborhoods, Trinity Court and Pritchard Park. The contract was not awarded until close to the end of the fiscal year and funds were not encumbered. Enactment of the attached budget ordinance amendment would reappropriate the \$323,320 in Housing fund balance.

- **Capital Projects Ordinance Fund**

Installment Financing - On May 27, 2015, the Town Council authorized the Town to enter into an installment financing agreement with the Bank of North Carolina in the amount of \$2,395,000 as follows:

○ Fire Self-Contained Breathing Apparatus (SCBAs)	\$500,000
○ Town Hall Emergency Generator	720,000
○ Energy Efficiency Projects (various locations)	530,000
○ Town Hall HVAC Improvements	290,000
○ Hargraves Roof Replacement	290,000
○ Financing Issuance Costs	<u>65,000</u>
Total Financing	\$2,395,000

Enactment of the attached project ordinance amendment would appropriate \$2,395,000 of the financing proceeds to the Capital Projects Ordinance Fund to account for the projects listed above.

523 East Franklin Street – The Town received \$1,692,474 in proceeds from the sale of the old library at 523 East Franklin Street on June 3, 2015. These funds will be used to pay design and other related costs for the planned multi-agency complex project. Enactment of the attached project ordinance amendment recognizes and appropriates these proceeds.

- **Affordable Housing Fund**

The Town has received \$233,000, a portion of the payment in lieu of providing affordable housing in the Evolve (formerly known as Charterwood) development. Enactment of the attached project ordinance amendment recognizes the revenue received and allocates these funds to the budget for contributions to agencies, rehabilitation and grants/deferred loans to create affordable housing opportunities.

- **Public Housing Capital Grants Fund**

The Town has received \$15,500 in sales tax refund for the Housing Department in relation to the capital fund project completed with the 2013-14 HUD Capital Grant. Enactment of the attached project ordinance amendment recognizes the receipt and appropriates the refund to assist in the cost of the rehabilitation work at the Trinity Court and Pritchard Park housing developments.

- **Transit Capital Grants Fund**

On February 24, 2015 the Town was awarded \$579,296 from the Federal Transit Administration in Section 5339 funds for the purchase of shop lifts, demand response vehicles, support vehicles and mobile data terminals for the demand response fleet. Adoption of the attached resolution authorizes the acceptance of the grant, and enactment of the attached project ordinance amendment would establish the grant budget of \$579,296.

Fiscal Note

- Enactment of the attached budget ordinance amendment would recognize and appropriate \$75,000 in NCDENR grant funds.
- Enactment of the attached budget ordinance amendment would recognize and appropriate the \$10,000 Strowd Roses grant to be used for summer youth employment.
- Enactment of the attached budget ordinance amendment would appropriate \$1,645 from the General Fund fund balance to pay this year's Cal Horton Award recipient.
- Enactment of the attached budget ordinance amendment would appropriate \$38,000 in fund balance in the Downtown Service Fund for additional operating expenditures incurred for the public unit at 140 West.
- Enactment of the attached budget ordinance amendment would appropriate \$50,000 fund balance in the Vehicle Maintenance Fund for additional vehicle maintenance and repairs.

- Enactment of the attached budget ordinance amendment would reduce the transfer from the On-Street Parking Fund to the General Fund by \$74,910 and increase the transfer from the On-Street Parking Fund to the Parking Lots Fund by \$74,910.
- Enactment of the attached budget ordinance amendment for the Transit Fund would recognize the \$37,963 in Section 5307 funding, \$30,370 in federal grant funding and \$7,593 in local match funding for the construction and purchase of bus shelters.
- Enactment of the attached budget ordinance amendment for the Transit Fund would recognize and appropriate \$175,977 in federal grant funding and \$175,977 in local match funding for the continuation and extension of bus service hours.
- Enactment of the attached budget ordinance amendment would appropriate \$42,803 from the Stormwater fund balance to complete land improvements on Elliott Road.
- Enactment of the attached budget ordinance amendment would appropriate \$323,320 from the Housing fund balance to replace the roofs at Trinity Court and Pritchard Park.
- Enactment of the attached project ordinance amendment would appropriate \$2,395,000 in the Capital Projects Ordinance Fund to pay for the capital projects designated as part of the Bank of North Carolina financing in June 2015.
- Enactment of the attached project ordinance amendment for the Capital Projects Ordinance Fund would recognize and appropriate \$1,692,474 from the sale of 523 East Franklin Street to be used for the design costs associated with the new multi-agency complex.
- Enactment of the attached project ordinance amendment for the Affordable Housing Fund would recognize and appropriate \$233,000 in revenue in lieu for the affordable housing opportunities.
- Enactment of the attached project ordinance amendment for the Public Housing Capital Grants Fund would recognize and appropriate \$15,500 in sales tax refund to assist in the cost of the rehabilitation work at two of the housing developments. There are no matching requirements.
- Enactment of the attached project ordinance amendment for the Transit Capital Grants Fund would recognize and appropriate \$579,296 in grant funding, \$463,437 in federal funding, \$57,929 in state funding and \$57,930 in local funding as a transfer from the Transit Capital Reserve Fund.

Attachments

- Budget Ordinance Amendment: General Fund, Downtown Service Fund, Vehicle Maintenance Fund, Off-Street Parking Fund, On-Street Parking Fund, Transit Fund, Stormwater Fund, Housing Fund, and Transit Capital Reserve Fund.
- Project Ordinance Amendment: Capital Projects Ordinance Fund
- Project Ordinance Amendment: Affordable Housing Fund
- Project Ordinance Amendment: Public Housing Capital Grants Fund
- Project Ordinance Amendment: Transit Capital Grants Fund
- Resolution to accept NCDENR Grant
- Resolution to accept Strowd Roses Grant
- Resolution to accept NS&G Night Service Grant
- Resolution to accept Senior Shuttle Grant
- Resolution to accept FTA Section 5339 Grant

AN ORDINANCE TO AMEND “THE ORDINANCE CONCERNING APPROPRIATIONS AND THE RAISING OF REVENUE FOR THE FISCAL YEAR BEGINNING JULY 1, 2014” (2015-6-22/O-1)

BE IT ORDAINED by the Council of the Town of Chapel Hill that the Budget Ordinance entitled “An Ordinance Concerning Appropriations and the Raising of Revenue for the Fiscal Year Beginning July 1, 2014” as duly adopted on June 9, 2014, is hereby amended as follows:

ARTICLE I

APPROPRIATIONS	Current Budget	Increase	Decrease	Revised Budget
GENERAL FUND				
Mayor/Council	\$ 425,068	\$ -	\$ -	\$ 425,068
Town Manager/CaPA	2,210,443	1,645	-	2,212,088
Human Resource Dev't	1,558,545	-	-	1,558,545
Business Management	1,826,454	-	-	1,826,454
Technology Solutions	1,457,927	-	-	1,457,927
Attorney	308,660	-	-	308,660
Planning	2,057,367	-	-	2,057,367
Inspections	1,086,312	-	-	1,086,312
Housing and Community	455,000	10,000	-	465,000
Public Works	12,386,173	75,000	-	12,461,173
Police	13,329,748	-	-	13,329,748
Fire	8,589,535	-	-	8,589,535
Parks and Recreation	6,642,318	-	-	6,642,318
Library	2,745,544	-	-	2,745,544
Non-Departmental	8,571,521	-	-	8,571,521
GENERAL FUND TOTAL	\$ 63,650,615	\$ 86,645	\$ -	\$ 63,737,260
DOWNTOWN SERVICE DISTRICT	\$ 340,841	\$ 38,000	\$ -	\$ 378,841
VEHICLE MAINTENANCE FUND	\$ 1,234,481	\$ 50,000	\$ -	\$ 1,284,481
PARKING LOTS FUND	\$ 2,130,318	\$ 74,910	\$ -	\$ 2,205,228
ON-STREET PARKING FUND				
Other Expenses	\$ 643,432	\$ -	\$ -	\$ 643,432
Transfer to General Fund	74,910	-	74,910	-
Transfer to Parking Lots Fund	-	74,910	-	74,910
	\$ 718,342	\$ 74,910	\$ 74,910	\$ 718,342

TRANSIT FUND

Other Expenses	\$ 21,193,452	\$ -	\$ -	\$ 21,193,452
FY 2014 Section 5307 Grant	7,593	30,370	-	37,963
Senior Shuttle Grant	108,000	108,000	-	216,000
NS&G Night Service Grant	67,977	67,977	-	135,954
	<u>\$ 21,377,022</u>	<u>\$ 206,347</u>	<u>\$ -</u>	<u>\$ 21,583,369</u>

STORMWATER FUND

Other Expenses	\$ 2,693,601	\$ -	\$ -	\$ 2,693,601
Land Improvements - Elliott Road	617,197	42,803	-	660,000
	<u>\$ 3,310,798</u>	<u>\$ 42,803</u>	<u>\$ -</u>	<u>\$ 3,353,601</u>

HOUSING FUND

Other Expenses	\$ 2,397,432	\$ -	\$ -	\$ 2,397,432
Building Improvements	-	323,320	-	323,320
	<u>\$ 2,397,432</u>	<u>\$ 323,320</u>	<u>\$ -</u>	<u>\$ 2,720,752</u>

TRANSIT CAPITAL RESERVE FUND

Transfer to Capital Grants	\$ 218,000	\$ 57,930	\$ -	\$ 275,930
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ARTICLE II

REVENUES	Current Budget	Increase	Decrease	Revised Budget
GENERAL FUND				
Other Revenues	\$ 55,699,418	\$ -	\$ -	\$ 55,699,418
Intergovernmental: NC DENR	-	75,000	-	75,000
Intergovernmental: Misc Local Grants	-	10,000	-	10,000
Transfer from On-Street Parking Fund	74,910	-	74,910	-
Appropriated Fund Balance	<u>7,876,287</u>	<u>76,555</u>	<u>-</u>	<u>7,952,842</u>
GENERAL FUND TOTAL	\$ 63,650,615	\$ 161,555	\$ 74,910	\$ 63,737,260

DOWNTOWN SERVICE DISTRICT

Other Revenues	\$ 283,273	\$ -	\$ -	\$ 283,273
Appropriated Fund Balance	<u>57,568</u>	<u>38,000</u>	<u>-</u>	<u>95,568</u>
	<u>\$ 340,841</u>	<u>\$ 38,000</u>	<u>\$ -</u>	<u>\$ 378,841</u>

VEHICLE MAINTENANCE FUND

Other Revenues	\$ 1,263,300	\$ -	\$ -	\$ 1,263,300
Appropriated Fund Balance	<u>(28,819)</u>	<u>50,000</u>	<u>-</u>	<u>21,181</u>
	\$ 1,234,481	\$ 50,000	\$ -	\$ 1,284,481

PARKING LOTS FUND

Other Revenues	\$ 2,130,318	\$ -	\$ -	\$ 2,130,318
Transfer from On-Street Parking	<u>-</u>	<u>74,910</u>	<u>-</u>	<u>74,910</u>
	\$ 2,130,318	\$ 74,910	\$ -	\$ 2,205,228

ON-STREET PARKING FUND

	\$ 718,342	\$ -	\$ -	\$ 718,342
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TRANSIT FUND

Other Revenues	\$ 21,193,452	\$ -	\$ -	\$ 21,193,452
FY 2014 Section 5307 Grant	-	30,370	-	30,370
Senior Shuttle Grant	-	108,000	-	108,000
NS&G Night Service Grant	-	67,977	-	67,977
Grant Match	<u>183,570</u>	<u>-</u>	<u>-</u>	<u>183,570</u>
	\$ 21,377,022	\$ 206,347	\$ -	\$ 21,583,369

STORMWATER FUND

Other Revenues	\$ 2,144,075	\$ -	\$ -	\$ 2,144,075
Appropriated Fund Balance	<u>1,166,723</u>	<u>42,803</u>	<u>-</u>	<u>1,209,526</u>
	\$ 3,310,798	\$ 42,803	\$ -	\$ 3,353,601

HOUSING FUND

Other Revenues	\$ 1,915,039	\$ -	\$ -	\$ 1,915,039
Appropriated Fund Balance	<u>482,393</u>	<u>323,320</u>	<u>-</u>	<u>805,713</u>
	\$ 2,397,432	\$ 323,320	\$ -	\$ 2,720,752

TRANSIT CAPITAL RESERVE FUND

Appropriated Fund Balance	\$ 218,000	\$ 57,930	\$ -	\$ 275,930
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This the 22nd day of June, 2015.

AN ORDINANCE TO AMEND THE CAPITAL PROJECTS ORDINANCE FOR VARIOUS CAPITAL PROJECTS (2015-06-22/O-2)

BE IT ORDAINED by the Council of the Town of Chapel Hill that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the capital projects ordinance for various capital projects from a variety of sources is hereby amended as follows.

SECTION I

The capital projects as authorized by the Town Council include various capital projects funded from grants, the Capital Improvements Program funds, General Fund excess fund balance appropriations and other miscellaneous sources of revenue for a variety of projects extending beyond one year.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation of these projects within terms of funds appropriated herein.

SECTION III

Revenues anticipated to be available to the Town to complete the projects are hereby amended as follows:

	Current Budget	Revised Budget
Other Revenues	\$ 22,023,420	\$ 22,023,420
2015 Bank of NC Installment Financing	-	2,395,000
Proceeds from Sale of Building	<u>-</u>	<u>1,692,474</u>
Total Revenues	\$ 22,023,420	\$ 26,110,894

SECTION IV

Amounts appropriated for capital projects are hereby amended as follows:

	Current Budget	Revised Budget
Other Projects	\$ 22,023,420	\$ 22,023,420
Fire SCBA's	-	500,000
Town Hall Emergency Generator	-	720,000
Energy Efficiency Projects	-	530,000
Town Hall HVAC Improvements	-	290,000
Hargraves Roof Replacement	-	290,000
Financing Issuance Costs	-	65,000
Multi-Agency Complex	-	1,692,474
	<hr/>	<hr/>
Total Expenditures	\$ 22,023,420	\$ 26,110,894

SECTION V

The Finance Officer is hereby directed to report annually on the financial status of the projects in an informational section to be included in the Annual Budget, and shall keep the Council informed of any unusual occurrences.

SECTION VI

Copies of this projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and the Town Clerk.

This the 22nd day of June, 2015.

**AN ORDINANCE TO AMEND THE AFFORDABLE HOUSING FUND ORDINANCE
(2015-06-22/O-3)**

BE IT ORDAINED by the Council of the Town of Chapel Hill that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the Affordable Housing Fund Ordinance to provide funds to support affordable homeownership opportunities is hereby amended as follows:

SECTION I

The Affordable Housing Fund Ordinance as authorized by the Town Council provides funds to purchase properties to create permanently affordable homeownership opportunities.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation of these projects within terms of funds appropriated here.

SECTION III

Revenues anticipated to be available to the Town are hereby amended to recognize Revenue in Lieu of \$233,000 as follows:

	Current Budget	Revised Budget
Transfer from Housing Loan Trust Fund	\$ 155,778	\$ 155,778
Loan Repayment	650,799	650,799
Payment in lieu - Affordable Housing	1,547,960	1,780,960
Interest Income	<u>44,740</u>	<u>44,740</u>
Total Revenues	\$ 2,399,277	\$ 2,632,277

SECTION IV

Amounts appropriated to create permanently affordable homeownership opportunities are hereby amended as follows:

	Current Budget	Revised Budget
Grants/Deferred Loans	\$ 447,264	\$ 523,264
Revolving Loan Fund	650,800	650,800
Rehabilitation	68,727	123,727
Refurbishment	45,500	45,500
Contributions to HOME Program	221,709	221,709
Contributions to Affordable Housing agencies	125,000	227,000
Contributions to Community Home Trust	394,242	394,242
Other Expenditures	<u>446,035</u>	<u>446,035</u>
Total Expenditures	\$ 2,399,277	\$ 2,632,277

SECTION V

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget, and shall keep the Council informed of any unusual occurrences.

SECTION VI

Copies of this projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk.

This the 22nd day of June, 2015.

**AN ORDINANCE TO AMEND A CAPITAL FUND PROGRAM (CFP) PROJECT
ORDINANCE (2015-06-22/O-4)**

BE IT ORDINAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following project ordinance is amended as follows:

SECTION I

The project authorized is the Housing Capital Fund Project budget as approved by the Council on April 10, 2013.

SECTION II

The Town Manager of the Town of Chapel Hill is hereby directed to proceed with the project within the terms of the Contract document(s), the rules and regulations of the U. S. Department of Housing and Urban Development, and budget contained herein.

SECTION III

The following revenue is available to complete the project:

	Current Budget	Revised Budget
Capital Fund Program Grant	\$ 444,974	\$ 444,974
Sales Tax Refund	<u>-</u>	<u>15,500</u>
Total Revenues	\$ 444,974	\$ 460,474

SECTION IV

The amounts appropriated for the project are amended as follows:

	Current Budget	Revised Budget
Administration	\$ 56,497	\$ 56,497
Dwelling Structures	331,002	346,502
Design and Engineering	54,382	54,382
Maintenance Training	2,000	2,000
Relocation Costs	1,093	1,093
 Total Expenditures	 \$ 444,974	 \$ 460,474

SECTION V

The Finance Officer of the Town of Chapel Hill is hereby directed to maintain within the Project Fund sufficient specific detailed accounting records to provide the accounting to the U. S. Department of Housing and Urban Development as required by the Annual Contributions Contract and federal regulations.

SECTION VI

Funds may be advanced from General funds for the purpose of making payments as due. Reimbursement requests should be made to HUD in an orderly and timely manner.

SECTION VII

The Manager is directed to report annually on the financial status of each project in Section IV and on the total revenues received.

This the 22nd day of June, 2015.

AN ORDINANCE TO AMEND A TRANSIT CAPITAL PROJECT ORDINANCE (2015-06-22/O-5)

BE IT ORDINAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the capital projects ordinance for various capital projects funded from a variety of sources is hereby amended as follows:

SECTION I

The capital project as authorized by the Town Council is a capital project funded from a Federal Transit Administration grant and a grant from the State of North Carolina.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation of this project within terms of funds appropriated here.

SECTION III

Revenues anticipated to be available to the Town to complete the project are hereby amended as follows:

	Current Budget	Revised Budget
Federal Transit Administration	\$ 10,773,072	\$ 11,236,509
North Carolina Department of Transportation	966,309	1,024,238
Transfer from Capital Reserve	1,137,232	1,195,162
Transfer from Transit Fund	<u>1,067,500</u>	<u>1,067,500</u>
Total Revenues	\$ 13,944,113	\$ 14,523,409

SECTION IV

Amounts appropriated for capital projects are hereby amended as follows:

	Current Budget	Revised Budget
FY11 Section 5307 Radio System Grant	\$ 1,505,000	\$ 1,505,000
FY11 Elderly & Disabled Grant	537,683	537,683
FY11 Section 5316 JARQ Bus Grant	750,000	750,000
FY11 Section 5309 Bus Grant	1,349,187	1,349,187
FY11 Section 5307 Grant	82,243	82,243
FY12 Section 5309 State of Good Repair	9,720,000	9,720,000
FY13 & FY14 Section 5339 Grant	<u>-</u>	<u>579,296</u>
 Total Expenditures	 \$ 13,944,113	 \$ 14,523,409

SECTION V

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget, and shall keep the council informed of any unusual occurrences.

SECTION VI

Funds may be advanced from General funds for the purpose of making payments as due. Reimbursement requests should be made to FTA in an orderly and timely manner.

SECTION VII

The Manager is directed to report annually on the financial status of each project in Section IV and on the total revenues received.

This the 22nd day of June, 2015.

A RESOLUTION AUTHORIZING THE ACCEPTANCE OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES RECYCLING GRANT FUNDS (2015-6-22/R-2)

WHEREAS, the North Carolina Department of Environment and Natural Resources (NCDENR) has made funds available for the purchase of recycling roll carts for the Town of Chapel Hill; and

WHEREAS, the NCDENR Grant has awarded funds in the total for the amount of \$75,000; and

WHEREAS, the funds would be used for reimbursement to Orange County for the purchase of recycling roll carts for residents of the Town of Chapel Hill.

NOW, THEREFORE BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council authorizes the Manager to accept the NCDENR Grant funds and to make all necessary assurances.

This the 22 day of June, 2015.

**A RESOLUTION AUTHORIZING THE ACCEPTANCE OF THE STROWD ROSES
SUMMER YOUTH EMPLOYMENT PROGRAM GRANT FUNDS (2015-06-22/R-3)**

WHEREAS, the Strowd Roses Summer Youth Employment Program Grant through the Strowd Roses Board of Directors has made funds available for the salaries of summer youth employment program employees for the Town of Chapel Hill; and

WHEREAS, the Strowd Roses Summer Youth Employment Program Grant has awarded funds in the amount of \$10,000; and

WHEREAS, the funds would be used for salaries for summer youth workers for the Town of Chapel Hill.

NOW, THEREFORE BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council authorizes the Manager to accept the Strowd Roses Summer Youth Employment Program Grant funds and to make all necessary assurances.

This the 22nd day of June, 2015.

**A RESOLUTION AUTHORIZING THE ACCEPTANCE OF GRANT FUNDS FROM
THE FEDERAL TRANSIT ADMINISTRATION (2015-06-22/R-4)**

WHEREAS, the Federal Transit Administration has made funds available for the Chapel Hill Transit Department; and

WHEREAS, the Federal Transit Administration has awarded funds in the total amount of \$135,954; and

WHEREAS, the funds would be used for the continuation of night service on the CM, CW, D, J and V routes between the hours of 6:30pm and 10:00pm on a year-round basis providing consistent nighttime access to a greater proportion of residents and employees in Chapel Hill Transit's service area for those with non-traditional work hours.

NOW, THEREFORE, BE IT RESOVLED by the Council of the Town of Chapel Hill that the Council authorizes the Manager to accept the Federal Transit Administration Funds and to make all necessary assurances.

This the 22nd day of June, 2015.

**A RESOLUTION AUTHORIZING THE ACCEPTANCE OF GRANT FUNDS FROM
THE FEDERAL TRANSIT ADMINISTRATION (2015-06-22/R-5)**

WHEREAS, the Federal Transit Administration has made funds available for the Chapel Hill Transit Department; and

WHEREAS, the Federal Transit Administration has awarded funds in the total amount of \$216,000; and

WHEREAS, the funds would be used for the continuation of the EZ Rider Shuttle Service.

NOW, THEREFORE, BE IT RESOVLED by the Council of the Town of Chapel Hill that the Council authorizes the Manger to accept the Federal Transit Administration Funds and to make all necessary assurances.

This the 22nd day of June, 2015.

**A RESOLUTION AUTHORIZING THE ACCEPTANCE OF GRANT FUNDS FROM
THE FEDERAL TRANSIT ADMINISTRATION (2015-06-22/R-6)**

WHEREAS, the Federal Transit Administration has made funds available for the Chapel Hill Transit Department; and

WHEREAS, the Federal Transit Administration has awarded funds in the total amount of \$579,296; and

WHEREAS, the funds would be used for the purchase of shop lifts, demand response vehicles, support vehicles and mobile data terminals for the demand response fleet.

NOW, THEREFORE, BE IT RESOVLED by the Council of the Town of Chapel Hill that the Council authorizes the Manger to accept the Federal Transit Administration Funds and to make all necessary assurances.

This the 22nd day of June, 2015.



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #6

TO: Roger L. Stancil, Town Manager

FROM: Kenneth C. Pennoyer, Business Management Director
Mary Jane Nirdlinger, Planning and Sustainability
David C. Bonk, Long Range and Transportation Planning Manager

SUBJECT: Establish Budget Amendment to the Estes Drive (Martin Luther King Jr. Boulevard to Caswell Road) Bicycle and Pedestrian Design Project

Recommended Council Action

- That the Council enact the attached project ordinance amendment establishing a budget for Estes Drive bicycle and pedestrian construction project.

Context with Key Issues

- In January 2014, the Durham-Chapel Hill-Carrboro Metropolitan Planning Organization (DCHC MPO) Board approved the allocation of \$1,870,000 of Congestion Mitigation and Air Quality Program (CMAQ) funds for the right-of-way and construction of bicycle and pedestrian facilities along Estes Drive from Martin Luther King Jr. Blvd. (NC 86) to Caswell Road. The project includes bike lanes and sidewalks on the north and south sides of Estes Drive and an off-road multi-use trail on the north side.
- In June 2014, the Town Council authorized the Manager to proceed with implementation of the Estes Drive bicycle and pedestrian improvements project, which included entering into a municipal agreement with the North Carolina Department of Transportation for the design of .65 miles of bicycle and pedestrian facilities along Estes Drive from Martin Luther King Jr. Blvd. to Caswell Road.
- In January/February 2015, Stewart Engineering, Inc. was selected for design and engineering services. Once a design for Estes Drive has been completed, which we anticipate will be in fall 2015, staff will begin the bidding process for construction of the improvements. The local match required by the Town will be \$468,000 (20%), and is to be provided out of existing bond funds.

Explanation of Recommendation

- The proposed project supports implementation of the Town's 2020 Comprehensive Plan and 2014 Bicycle Plan by expanding connectivity and improving the efficiency of the transportation network.

Fiscal Note

- Enactment of the attached project ordinance amendment for the 2003 Streets and Sidewalks Bond Fund will recognize and appropriate the \$1,870,000 in CMAQ federal funds and the \$468,000 in local matching funds.

Attachments

- Project Ordinance Amendment: 2003 Streets and Sidewalks Bond Fund

AN ORDINANCE TO AMEND THE 2003 STREETS AND SIDEWALKS BOND FUND FOR CAPITAL IMPROVEMENT PROJECTS (2015-06-22/O-6)

BE IT ORDAINED by the Council of the Town of Chapel Hill that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, that the following capital project is hereby amended for Streets and Sidewalk Improvements funded from 2003 bonds approved by the voters in November 2003:

SECTION I

The capital projects as authorized by bond referenda in November 2003, and as determined by the Town Council, includes streets and sidewalks capital improvements extending beyond one year.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation of these projects within terms of funds appropriated here.

SECTION III

Revenues anticipated to be available to the Town to complete the project are hereby amended as follows:

	Current Budget	Revised Budget
Bond Proceeds 2004	\$ 1,500,000	\$ 1,500,000
Bond Proceeds 2006	1,650,000	1,650,000
Bond Proceeds 2010	2,492,042	2,492,042
STP DA - Estes Drive Sidewalk Testing	200,000	200,000
STP DA - Estes Drive Bike & Ped Improv	198,400	198,400
CMAQ - Estes Drive Bike & Ped Improv	-	1,870,000
NCDOT Direct Alloc Grants	204,000	204,000
NCDENR Grant	13,062	13,062
Safe Routes to School Grant	50,000	50,000
Interest Earnings	269,000	269,000
Payment in Lieu Sidewalks	3,000	3,000
UNC Contributions	43,909	43,909
Transfer from General Fund	<u>60,500</u>	<u>60,500</u>
Total Revenues	\$ 6,683,913	\$ 8,553,913

SECTION IV

Amounts appropriated for capital projects are hereby amended as follows:

	Current Budget	Revised Budget
Street Resurfacing/Reconstruction	\$ 661,000	\$ 661,000
Street Construction	1,181,175	1,181,175
Sidewalks and Bike Lanes	1,442,042	974,042
Pedestrian Amenities	285,000	285,000
Traffic Pedestrian and Bike Safety	619,409	619,409
STP DA - Estes Drive Sidewalk Testing	203,877	203,877
Streetscape	1,668,322	1,668,322
NC Communities Waste Recycle Grant	15,675	15,675
NCDOT Dir Alloc Sidwalk Projects	338,193	338,193
Estes Drive Bike & Ped Improv - Design	248,000	248,000
Estes Drive Bike & Ped Improv - Construct	-	2,338,000
Bond Sale Expenses	<u>21,220</u>	<u>21,220</u>
Total Expenditures	\$ 6,683,913	\$ 8,553,913

SECTION V

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget, and shall keep the Council informed of any unusual occurrences.

SECTION VI

Copies of this projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk.

This the 22nd day of June, 2015.



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #7

TO: Roger L. Stancil, Town Manager

FROM: Mary Jane Nirdlinger, Planning and Sustainability
David C. Bonk, Long Range and Transportation Planning Manager
Kenneth C. Pennoyer, Business Management Director

SUBJECT: Establish Budget for Old Durham-Chapel Hill Road Bicycle and Pedestrian Project

Recommended Council Action

- That the Council enact the attached project ordinance amendment establishing a budget for Old Durham-Chapel Hill Road Bicycle and Pedestrian Project.

Context with Key Issues

- On October 22, 2007, the Town [approved a municipal agreement](http://townhall.townofchapelhill.org/agendas/2007/10/22/9/)¹ with the North Carolina Department of Transportation (NCDOT) and the City of Durham for the construction of bicycle facilities and sidewalks along Old Durham-Chapel Hill Road.
- The Old Durham-Chapel Hill Road project provides for the construction of a multiuse path, bicycle lanes and sidewalks along Old Durham-Chapel Hill Road from Standish Drive in Chapel Hill to Garrett Road in Durham. The project also includes roadway safety, drainage and bus stop improvements, and a traffic roundabout at the intersection with Pope Road.
- With the approval of the municipal agreement, detailed construction drawings and revised cost estimates were prepared. Throughout this process additional modifications were made to the proposed construction plans to respond to concerns raised by adjacent property owners and address several environmental issues. Design modifications were also made in response to recommendations from local transportation and Planning staff and utility providers.
- Due to escalating costs and funding constraints, the Council agreed to modify the project limits of the Chapel Hill portion to exclude the US 15-501 to Cooper Street section. The transportation improvements in this section were included in the FY 2015-2016 Capital Improvements Projects request. If the Chapel Hill bond is successful and funds are available beginning in the first quarter of FY 2016, the Town has an opportunity to contribute the CIP funds for the Cooper Street to Scarlett Drive section to NCDOT and have them proceed with construction of the entire section from Scarlett Drive to I-40, handling construction management, etc.

¹ <http://townhall.townofchapelhill.org/agendas/2007/10/22/9/>

Acquisition of right-of-way is being completed in 2015 and construction is anticipated to be initiated in 2016. NCDOT is managing the project.

Explanation of Recommendation

- The proposed project supports implementation of the Town's 2020 Comprehensive Plan and the 2014 Bicycle Plan by expanding connectivity and improving the efficiency of the transportation network. This project would also enhance the connectivity of the Ephesus Fordham redevelopment area from the East

Fiscal Note

- A revised detailed cost estimate was prepared when more detailed construction plans became available. The estimated total cost of the project for the Chapel Hill portion is approximately \$3.9 million. There is a 65%-35% funding split for non-specific costs like design and preliminary engineer between the City/County of Durham and the Town. NCDOT proposed to provide \$400,000 in bicycle program funds and \$250,000 in local match for the proposed roundabout at Pope Road. The required 20% local match for the Federal STP-DA and TAP funds would require Chapel Hill to provide \$750,853 in matching funds.
- Enactment of the attached project ordinance amendment for the 2003 Streets and Sidewalks Bond Fund will recognize and appropriate \$3,115,573 in federal funds, \$28,000 in state fund and \$750,893 in local matching funds. The total cost breakdown is as follows:

	FUNDING TYPE	Federal Funds	State Funds	Chapel Hill Share/Match	Total By Funding Type	By Project Phase
Preliminary Engineering	STP-EB	\$112,000	\$28,000	\$0	\$140,000	\$319,200
Preliminary Engineering	STP-DA	\$143,360	\$0	\$35,840	\$179,200	
Right of Way	STP-DA	\$553,414	\$0	\$138,353	\$691,767	\$1,534,267
Right of Way	TAP	\$674,000	\$0	\$168,500	\$842,500	
Construction	STP-DA	\$1,632,799	\$0	\$408,200	\$2,040,999	\$2,040,999
TOTAL		\$3,115,573	\$28,000	\$750,893	\$3,894,466	\$3,894,466

Attachments

- Project Ordinance Amendment: 2003 Streets and Sidewalks Bond Fund

AN ORDINANCE TO AMEND THE 2003 STREETS AND SIDEWALKS BOND FUND FOR CAPITAL IMPROVEMENT PROJECTS (2015-06-22/O-7)

BE IT ORDAINED by the Council of the Town of Chapel Hill that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, that the following capital project is hereby amended for Streets and Sidewalk Improvements funded from 2003 bonds approved by the voters in November 2003:

SECTION I

The capital projects as authorized by bond referenda in November 2003, and as determined by the Town Council, includes streets and sidewalks capital improvements extending beyond one year.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation of these projects within terms of funds appropriated here.

SECTION III

Revenues anticipated to be available to the Town to complete the project are hereby amended as follows:

	Current Budget	Revised Budget
Bond Proceeds 2004	\$ 1,500,000	\$ 1,500,000
Bond Proceeds 2006	1,650,000	1,650,000
Bond Proceeds 2010	2,492,042	2,492,042
STP DA - Estes Drive Sidewalk Testing	200,000	200,000
STP DA - Estes Drive Bike & Ped Improv	198,400	198,400
CMAQ - Estes Drive Bike & Ped Improv	1,870,000	1,870,000
STP-EB Old Durham Road Bike & Ped	-	112,000
STP-DA Old Durham Road Bike & Ped	-	2,329,573
TAP Old Durham Road Bike & Ped	-	674,000
NCDOT Old Durham Road Bike & Ped	-	28,000
NCDOT Direct Alloc Grants	204,000	204,000
NCDENR Grant	13,062	13,062
Safe Routes to School Grant	50,000	50,000
Interest Earnings	269,000	269,000
Payment in Lieu Sidewalks	3,000	3,000
UNC Contributions	43,909	43,909
Transfer from General Fund	60,500	60,500
	<hr/>	<hr/>
Total Revenues	\$ 8,553,913	\$ 11,697,486

SECTION IV

Amounts appropriated for capital projects are hereby amended as follows:

	Current Budget	Revised Budget
Street Resurfacing/Reconstruction	\$ 661,000	\$ 661,000
Street Construction	1,181,175	1,181,175
Sidewalks and Bike Lanes	974,042	223,149
Pedestrian Amenities	285,000	285,000
Traffic Pedestrian and Bike Safety	619,409	619,409
STP DA - Estes Drive Sidewalk Testing	203,877	203,877
Streetscape	1,668,322	1,668,322
NC Communities Waste Recycle Grant	15,675	15,675
NCDOT Dir Alloc Sidwalk Projects	338,193	338,193
Estes Drive Bike & Ped Improv - Design	248,000	248,000
Estes Drive Bike & Ped Improv - Construct	2,338,000	2,338,000
Old Durham Road Bike & Ped Improv	-	3,894,466
Bond Sale Expenses	<u>21,220</u>	<u>21,220</u>
Total Expenditures	\$ 8,553,913	\$ 11,697,486

SECTION V

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget, and shall keep the Council informed of any unusual occurrences.

SECTION VI

Copies of this projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk.

This the 22nd day of June, 2015.



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #8

TO: Roger L. Stancil, Town Manager

FROM: Human Services Advisory Board – Susan Spinks, Chair, Deborah Finken, Vice Chair, Mary Andrews, Rex Mercer, Josh Ravitch, and Julie Spero

SUBJECT: Authorize 2015-2016 Recommended Human Services Performance Agreements

Recommended Council Action

- That the Council adopt the resolution to authorize performance agreements with human service agencies as recommended by the Human Services Advisory Board.

Context with Key Issues

- The Chapel Hill Human Services Advisory Board is charged with assessing human service needs of Chapel Hill residents, identifying service gaps and ways to fill them, and advising the Town Council on funding needs.
- Each year the Chapel Hill Human Services Advisory Board, staff from the Town of Carrboro and staff from Orange County government coordinate the application process for nonprofit agencies. The three governments use the same application form and required attachments for submission.
- On November 20, 2014, Chapel Hill, Carrboro and Orange County staff held a meeting for nonprofit human service agencies to provide information about the funding process. Agencies requesting funding must complete a comprehensive written application, and submit budget and annual financial audit documents. This year, the Board received funding requests from 51 nonprofit agencies totaling \$543,596.
- Each agency was invited to attend a hearing process to present its proposal and respond to questions from the Board. The Chapel Hill and Carrboro Human Services Boards held joint hearings for the agencies applying to both towns. The joint hearings were held on March 16, 23, 30, April 6, 13, 20, and 27.
 - Following the presentations the Board met on April 30, 2015, to review each application and agree on funding recommendations for 2015-2016 performance agreements.

Explanation of Recommendation

- In the [2015 Needs Report](http://www.townofchapelhill.org/home/showdocument?id=19416)¹ the Board identified the following as priorities: food assistance, programs serving youth and families considered at risk, and mental and physical health services for low income children and adults.
- The recommendations are based on documented needs, agency capacity, program mission and goals and evaluation.

¹ <http://www.townofchapelhill.org/home/showdocument?id=19416>

Fiscal Note

- The total amount allocated for human services agencies in 2015-16 is \$337,100, which is recommended to be divided among 45 agencies as described in the attached Resolution and Funding Appendix.

Council Goal:

- Create A Place for Everyone

Attachments

- Resolution
- Funding Appendix

A RESOLUTION AUTHORIZING 2015-2016 FUNDING FOR PERFORMANCE AGREEMENTS WITH HUMAN SERVICE AGENCIES AS RECOMMENDED BY THE HUMAN SERVICES ADVISORY BOARD (2015-06-22/R-7)

BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby approves the following allocations for performance agreements with human service agencies in 2015-2016 to address the community's human service needs identified by the Human Services Advisory Board:

Agency	
A Helping Hand	\$ 6,000
Art Therapy Institute (ATI)	2,000
Big Brothers Big Sisters	2,000
Bridge II Sports	5,000
Chapel Hill-Carrboro Meals on Wheels	10,000
Chapel Hill-Carrboro YMCA (Boomerang)	2,500
Chapel Hill Training Outreach Project, Inc. KidSCope	4,500
Charles House Association	9,000
Child Care Services Association	12,500
Club Nova	9,500
Communities in Schools of Orange County	26,000
Community Empowerment Fund (CEF)	3,500
Community School for People Under 6	5,000
Compass Center for Women and Families	29,300
Diaper Bank of North Carolina	4,000
Dispute Settlement Center	12,000
Duke Homecare and Hospice	3,000
El Centro Hispano	15,000
El Futuro	6,000
Exchange Club Center for the Prev. of Child Abuse of NC	6,000
Farmers Food Share	2,500
Freedom House	17,000
Friends of Robert and Pearl Seymour Center	2,000
Habitat for Humanity	3,000
Housing for New Hope	5,000
Interfaith Council for Social Services	19,000
Marion Cheek Jackson Center	1,000
Mental Health America of the Triangle	5,500
OE Enterprises	6,000
Orange County Department on Aging (Lunch program)	10,000
Orange County Disability Awareness Council	1,000
Orange County Literacy Council	14,000
Orange County Partnership for Young Children	3,000
Orange Rape Crisis Center	20,000
Orange County Volunteer Program 55+	12,300

Piedmont Health Services	2,500
Planned Parenthood of South Atlantic	2,500
PreTrial Services for Chatham and Orange Counties	7,500
Rebuilding Together of the Triangle	3,000
Rogers-Eubanks Neighborhood Association (RENA)	5,000
Senior Care of Orange	1,500
TABLE, Inc.	2,000
The ARC of Orange County	6,000
TROSA	5,000
Volunteers for Youth	8,000
TOTAL RECOMMENDATION	\$337,100

This the 22nd day of June, 2015.

APPENDIX

HUMAN SERVICE PROGRAM RECOMMENDATIONS

The appendix includes the mission of each agency, amount requested and the Human Services Board's recommendation.

1. A HELPING HAND

2014-2015 Allocation: \$5,000

2015-2016 Request: \$10,000

A Helping Hand's mission is to promote self-sufficiency, quality of life, and the highest level of independence for older adults and individuals with disabilities. Key needs addressed by A Helping Hand include: a) improving accessibility to health care, b) mental stimulation and socialization, c) promoting exercise and mobility, d) encouraging proper nutrition, e) maintaining a safe home environment, f) respite for caregivers and g) patient advocacy.

Recommendation: The Board recommends funding of \$6,000 to provide subsidies to assist low-income older adults, persons with disabilities and the chronically ill that are Chapel Hill residents.

2. ART THERAPY INSTITUTE (ATI)

2014-2015 Allocation: \$2,000

2015-2016 Request: \$5,000

The Art Therapy Institute's mission is to provide clinical art therapy services to diverse populations, empowering clients to develop their identities through the art-making process. They also bring art to the places people are every day -- in public schools, hospitals, domestic violence shelters, and community programs.

Recommendation: The Board recommends funding of \$2,000 to provide art therapy to uninsured Chapel Hill residents, particularly students from the Chapel Hill/Carrboro City Schools.

3. BIG BROTHERS BIG SISTERS OF THE TRIANGLE

2014-2015 Allocation: \$2,000

2015-2016 Request: \$6,000

The mission of Big Brothers Big Sisters is to provide children facing adversity with strong and enduring, professionally supported one-to-one relationships that change their lives for the better, forever. The program matches children, ages 6-14, with mentors who can be positive role models in their lives.

Recommendation: The Board recommends funding of \$2,000 to support the mentoring program for children ages 6-14 from Chapel Hill.

4. BRIDGE II SPORTS

2014-2015 Allocation: \$5,000

2015-2016 Request: \$8,000

The mission of Bridge II Sports is to help children and adults with physical disabilities and challenges discover and build their confidence, self-esteem and tenacity through sports.

Recommendation: The Board recommends funding of \$5,000 for residents of Chapel Hill who are physically disabled to continue adaptive sports programs.

5. CENTRE FOR HOMEOWNERSHIP & ECONOMIC DEVELOPMENT, INC.

2014-2015 Allocation: Did Not Apply 2015-16 Request: \$35,000

Mission of The Centre for Homeownership & Economic Development is to provide housing opportunities and aggressively address community development.

Recommendation: The Board does not recommend funding this year due to the following reasons:

(1) As a first year applicant, we have no history with the Centre, and while it does appear that their stated purpose would be beneficial to the community, the Centre does not provide direct services to any of the Board Top Priority categories.

(2) We recommend that Centre for Homeownership & Economic Development apply for CDBG funding through the Town as this agency may more closely align with the CDBG funding requirements.

6. CHAPEL HILL-CARRBORO MEALS ON WHEELS

2014-2015 Allocation: \$9, 000 2015-2016 Request: \$15, 000

The mission of Meals on Wheels is to provide nutritious food and a personal visit to individuals who are unable to prepare meals for themselves due to illness, disability or convalescence.

Recommendation: The Board recommends funding of \$10,000 to support the home delivered meal program for senior adults and people with disabilities in Chapel Hill.

7. CHAPEL HILL-CARRBORO YMCA – BOOMERANG PROGRAM

2014-2015 Allocation: \$2,000 2015-2016 Requests: \$5, 000

Boomerang's mission seeks to engage youth at risk for disconnection and their communities by providing a supportive alternative environment for out-of-school time, and advocating for community change that has enduring benefits for all adolescents.

Recommendation: The Board recommends funding of \$2,500 for services to Chapel Hill students.

8. CHAPEL HILL TRAINING OUTREACH PROJECT-KIDSCOPE

2014-2015 Allocation: \$4,500 2015-2016 Request: \$6,000

The mission of KidSCOpe is to provide comprehensive early childhood mental health services to young children, their families, and care providers who are experiencing emotional, social, behavioral, and/or developmental issues. KidSCOpe is the only program designed exclusively to

provide mental health and family support to children birth to 5 and their families in Orange County and one of only a few in North Carolina.

Recommendation: The Board recommends funding of \$4,500 to provide therapeutic mental health services and parent education to young Chapel Hill children and their families.

9. CHARLES HOUSE

2014-2015 Allocation: \$9,000 2015-2016 Request: \$15,000

Charles House mission is threefold: Enriching the lives of seniors, supporting families caring for aging family members and representing the community's commitment to its elders.

Recommendation: The Board recommends funding of \$9,000 to subsidize eldercare services for caregiving families from Chapel Hill.

10. CHILD CARE SERVICES ASSOCIATION

2014-2015 Allocation: \$9,000 2015-2016 Request: \$12,500

The mission of Child Care Services is to ensure that affordable, accessible high quality child care is available for all young children and their families.

Recommendation: The Board recommends funding of \$12,500 for childcare scholarships for Chapel Hill children from low- to moderate-income families.

11. CLUB NOVA

2014-2015 Allocation: \$9,500 2015-2016 Request: \$12,000

Club Nova promotes and provides opportunities for individuals with mental illness to lead meaningful productive lives in the community.

Recommendation: The Board recommends funding of \$9,500 for programs to support the services provided by Club Nova.

12. COMMUNITIES IN SCHOOLS OF ORANGE COUNTY (CISOC)

2014-2015 Allocation: \$25,000 2015-2016 Request: \$33,000

Communities in Schools of Orange County has a mission to surround students with a community of support, empowering them to stay in school and achieve in life. CISOC believes every child needs and deserves a one-on-one relationship with a caring adult, a safe place to learn and grow, a healthy start and healthy future, a marketable skill to use upon graduation, and a chance to give back to peers and community.

Recommendation: The Board recommends funding of \$26,000 to provide individualized academic support and connections to community resources for Chapel Hill youth in the CIS program.

13. COMMUNITY EMPOWERMENT FUND (CEF)

2014-2015 Allocation: \$2,500

2015-2016 Request: \$5,000

Community Empowerment Fund cultivates opportunities, assets and communities that support the alleviation of homelessness and poverty. CEF provides goal-oriented savings accounts; financial education; workforce development; and relationship-based support to homeless and near-homeless individuals.

Recommendations: The Board recommends funding of \$3,500 to assist Chapel Hill residents in gaining employment, housing and personal savings.

14. COMMUNITY SCHOOL FOR PEOPLE UNDER SIX

2014-2015 Allocation: \$8,500

2015-2016 Request: \$8,500

The Community School for People under Six has a mission to provide high quality early care and education for all children, specifically low and moderate income families; while providing advanced educational opportunities for teachers.

Recommendation: The Board recommends funding of \$5,000 to provide childcare services to low income Chapel Hill families through scholarships.

15. COMPASS CENTER FOR WOMEN AND FAMILIES

2014-2015 Allocation: \$29,300

2015-2016 Request: \$29,500

The Compass Center for Women and Families helps individuals and families build stable lives by increasing self-sufficiency and preventing domestic violence. Their services span the continuum from direct services, including domestic violence crisis services, career and financial education, assistance with legal resources, adolescent empowerment programs, as well as opportunities for civic engagement and connections to community resources.

Recommendation: The Board recommends \$29,300 for services to low-income Chapel Hill residents including: Self Sufficiency Programs, Domestic Violence Crisis Services and Community Education and Civic Engagement.

16. DIAPER BANK OF NORTH CAROLINA

2014-2015 Allocation: \$2,000

2015-2016 Request: \$4,166

The mission of the Diaper Bank of North Carolina is to ensure that families with babies and children living in poverty have an adequate supply of diapers; raise community awareness that “basic human needs” include diapers and that these needs are not being met for children living in poverty; to advocate for policy reform so that diapers are included in the definition of and provisions for the basic human needs of families and to create a model that can be shared, replicated and adopted by other communities in North Carolina.

Recommendation: The Board recommends \$4,000 to supply diapers to low income families who live in the Town of Chapel Hill.

17. DISPUTE SETTLEMENT CENTER

2014-2015 Allocation: \$12,000 2015-2016 Request: \$15,000

The mission of the Dispute Settlement Center is to promote and bring about the peaceful settlement of disputes and to prevent the escalation of conflict through mediation, facilitation, conciliation, and training.

Recommendation: The Board recommends \$12,000 to serve Chapel Hill residents in the following programs: support for youth training at the teen center, after school programs, for suspended youth at “Boomerang” and for juvenile Court-referred mediations, and the “Family-Table” parent-teen trainings.

18. DUKE HOMECARE AND HOSPICE

2014-2015 Allocation: \$3,000 2015-2016 Request: \$3,500

The mission for Duke Hospice Bereavement Services is to facilitate a safe and healing grief process for persons who are adjusting to a loss due to death. It is a direct clinical service outreach into the community for Duke HomeCare and Hospice.

Recommendation: The Board recommends funding of \$3,000 to provide care for indigent residents of Chapel Hill and to provide community bereavement services, Camp ReLeaf and programs within the Chapel Hill-Carrboro School System.

19. EL CENTRO HISPANO, INC.

2014-2015 Allocation: \$13,000 2015-2016 Request: \$15,000

The mission of El Centro Hispano is to enhance the community’s quality of life by providing social services, educational and cultural programs, both directly and through referrals, to the Latino community of Orange County.

Recommendation: The Board recommends funding of \$15,000 to El Centro Hispano to provide services including: workforce development, bilingual tutoring for youth, adult education classes, referral/resource services, legal consultations and mediation, and other employment services to the Latino community and a Workers’ Center for day laborers and other workers in the area.

20. EL FUTURO, INC.

2014-2015 Allocation: \$6,000 2015-2016 Request: \$6,000

The mission of El Futuro is to strengthen the whole community by providing and advancing bilingual and culturally informed behavioral health treatment for underserved Spanish-speaking individuals and families.

Recommendation: The Board recommends funding of \$6,000 to provide mental health and substance abuse services for Chapel Hill residents.

21. EXCHANGE CLUB CHILD ABUSE PREVENTION CENTER OF N.C., INC.

2014-2015 Allocation: \$4,000

2015-2016 Request: \$15,800

The mission of the Exchange Club Child Abuse Prevention Center of N.C., Inc. is the prevention and treatment of child abuse and neglect.

Recommendation: The Board recommends \$6,000 to provide Parent Aid services to include parenting skills, problem solving skills, assistance with case management and advocacy for families in Chapel Hill.

22. FARMER FOODSHARE

2014-2015 Allocation: \$1,000 2015-2016 Request: \$5,000

Farmer Foodshare connects people who grow food with people who need food in ways that are economically suitable and socially just. They believe that everyone has a right to healthy fresh food, and farmers deserve to make a fair wage -- a system where everyone wins.

Recommendations: The Board recommends \$2,500 to support the Donation Stations and Farm to Pantry food programs to Chapel Hill residents and Chapel Hill organizations.

23. FREEDOM HOUSE RECOVERY CENTER

2014-2015 Allocation: \$17,000

2015-2016 Request: \$18,000

Freedom House's mission is to promote, enhance and support recovery for individuals affected by substance abuse and mental illness by using a holistic, person-centered approach. Freedom House provides detoxification, mobile crisis management and facility-based crisis service, short and long-term residential rehabilitation/halfway houses, intensive outpatient, aftercare psychiatric evaluation and medication management in order to integrate primary health care and community intervention support.

Recommendation: The Board recommends funding of \$17,000 for day-to-day residential programming needs in the Alvis Women's House and Men's Transitional House for Chapel Hill residents.

24. FRIENDS OF THE ROBERT AND PEARL SEYMOUR CENTER

2014-2015 Allocation: \$2,000

2015-2016 Request: \$2,672

The mission of the Friends of the Robert and Pearl Seymour Center, Inc. is to promote the well-being of all persons age 55 and older in Orange County by supporting the effective use of the Center.

Recommendation: The Board recommends funding of \$2,000 to support the Friends of the Robert and Pearl Seymour Center's to provide health and fitness services for older adults.

25. GUIDING LIGHTS

2014-2015 Allocation: Did Not Apply 2015-2016 Request: \$3,000

The mission of the Guiding Lights is to be the comprehensive caregiver support center for family and professional caregiving in the Triangle. Their vision is to assist family and professional caregivers to obtain relevant, timely and comprehensive information from the premiere caregiving organization in the Triangle.

Recommendation: The Board does not recommend funding this year for the following reasons:

(1) Guiding Light proposes to provide a clearinghouse model for information and support to area caregivers. This is a wonderful model and, with so much of our population aging, a necessary one. However, the agency primarily serves Raleigh residents, and less than 10% of its clients would be Chapel Hill residents; (2) The agency is projecting a large surplus for the upcoming fiscal year, while we have other agencies that are projecting deficits; (3) the agency does not directly impact one of the Board's top priority areas.

26. HABITAT FOR HUMANITY OF ORANGE COUNTY, NC, INC.

2014-2015 Allocation: \$4,000 2015-2016 Request: \$5,000

Habitat for Humanity provides decent affordable homeownership opportunities for families who live or work in Orange County, earn between 30% and 60% of the area median income and live in substandard housing.

Recommendation: The Board recommends funding \$3,000 to provide A Brush With Kindness community development efforts to Chapel Hill residents.

27. HOUSING FOR NEW HOPE

2014-2014 Allocation: \$5,000 2015-2016 Request: \$5,000

The mission of Housing for New Hope is to prevent and end homelessness by providing increased access to healthcare, integrated services, and housing in the Triangle.

Recommendation: The Board recommends funding of \$5,000 for homeless outreach services, housing assistance and financial support to homeless individuals in Chapel Hill.

28. HUMAN RIGHTS CENTER OF CHAPEL HILL & CARRBORO

2014-2015 Allocation: 0 2015-2016 Request \$2,775

The mission of the Human Rights Center is to promote inter-cultural understanding, advocate for people who suffer exploitation and work with other community organizations to combat poverty, racism, exclusion, abuse of workers and tenants, sexism, and homophobia in the communities of Chapel Hill.

Recommendation: The Board does not recommend funding this year for the following reasons:

(1) The Human Rights Center has made great strides in the last several years in terms of their application and their impact on residents. However, most of the residents currently being impacted live in Carrboro. Of the four programs for which they are asking for funding, 12 Chapel Hill citizens are estimated to be served while the other 3,067 are Carrboro residents; and

(2) the agency currently provides many of the same services as other agencies in our area (OC Literacy Council, Table, El Centro, Farmer's Food Share) and these agencies have more focus on Chapel Hill residents.

29. INTER-FAITH COUNCIL

2014-2015 Allocation: \$18,000

2015-2016 Request: \$21,283

The Interfaith Council for Social Service (IFC) has identified as its mission to meet basic needs and helps individuals and families achieve their goals. The primary goals are to provide shelter, food, direct services, referrals and information to people in need.

Recommendation: The Board recommends funding of \$19,000 this year to support residential programs, food programs, crisis intervention, and other IFC services for those who live, work or are homeless in Chapel Hill and support a half-time staff person to coordinate the Orange County Partnership to End Homelessness support circles program.

30. LIGO DOJO OF BUDO KARATE

2014-2015 Allocation: \$2,000

2015-2016 Request: \$3,000

Ligo Dojo of Budo Karate's mission is to strengthen the minds, bodies and hearts of young people through karate training. The goals are to deepen relationships between people of diverse backgrounds through training, strengthen the communities by strengthening individuals who might then serve as role models, and create individuals who are community minded and open minded.

Recommendation: The Board does not recommend funding this year for the following reasons:

(1) When Ligo Dojo started presenting to the Board they had a great deal of success, optimism and momentum. The Board has been very impressed in past years with their application, the mission and the goal of the Ligo Dojo; however, this year the Board had serious concerns regarding the sustainability of the agency. With so many deserving agencies competing for our limited resources the Board elected to reallocate Ligo Dojo allotment to another agency working with at-risk-youth; and (2) The Board also had concerns regarding the number of Chapel Hill youth served-the estimated 2014-15 number is 13.

31. THE MARIAN CHEEK JACKSON CENTER FOR SAVING AND MAKING HISTORY

2014-2015 Allocation: \$1,000

2015-2016 Request: \$7,000

The mission of the Marian Cheek Jackson Center for Saving and Making History is to advance the vitality, diversity, and historical integrity of neighborhoods struggling with displacement.

Recommendation: The Board recommends funding of \$1,000 to support Youth Leadership, Education and Civic Media Programs

32. MENTAL HEALTH ASSOCIATION

2014-2015 Allocation: \$5,500

2015-2016 Request: \$6,500

The Mental Health Association is dedicated to improving the life of Orange County residents impacted by mental illness and/or substance abuse through direct service, advocacy, education and information dissemination.

Recommendation: The Board recommends funding of \$5,500 for mental health services for Chapel Hill residents.

33. OE ENTERPRISES

2014-2015 Allocation: \$6,000

2015-2016 Request: \$10,000

The mission of Orange Enterprises is to create opportunities for personal and professional growth for individuals with disabilities and other barriers.

Recommendation: The Board recommends funding of \$6,000 for vocational services to adult Chapel Hill residents who have disabilities.

34. ORANGE COUNTY DEPARTMENT ON AGING (SENIOR LUNCH PROGRAM)

2014-2015 Allocation: \$15,000

2015-2016 Request: \$15,000

The mission of the Orange County Department on Aging is to provide a system of integrated aging services through state of the art senior centers, serving as focal points for coordinated community and individualized programs designed to educate seniors and their families and maximize health, well-being, community engagement, and independence of older adults at all functional levels.

Recommendation: The Board recommends funding of \$10,000 to support the provision of meals to older residents of Chapel Hill at the Seymour Center.

35. ORANGE COUNTY DISABILITY AWARENESS COUNCIL

2014-2015 Allocation: \$1,000

2015-2016 Request: \$7,000

Orange County Disability Awareness Council is a nonprofit, volunteer citizen's action group with the primary mission of helping to implement ADA requirements through education, training, and other efforts to achieve removal of physical, attitudinal, and other barriers to full inclusion and independence for those with disabilities.

Recommendation: The Board recommends funding of \$1,000 for ADA related workshop expenses.

36. ORANGE COUNTY LITERACY COUNCIL

2014-2015 Allocation: \$14,000

2015-2016 Request: \$15,000

The mission for the Orange County Literacy Council is to help adults reach their education, employment and life goals. They provide free, flexible instruction in reading, writing, and basic math, english and computer skills and GED preparation.

Recommendation: The Board recommends funding of \$14,000 for the adult literacy and English as a Second Language programs for Chapel Hill residents.

37. ORANGE COUNTY PARTNERSHIP FOR YOUNG CHILDREN

2014-2015 Allocation: \$3,000

2015-2016 Request: \$5,000

The mission of the Partnership is to ensure that all young children arrive at school healthy and ready to succeed. The Partnership is the administrator for the Smart Start Early Childhood Initiative and the NC Pre-K program in Orange County.

Recommendation: The Board recommends \$3,000 to support the Transplanting Traditions Community Farm (TTCF) refugee farm project and provide educational workshops on healthy eating.

38. ORANGE COUNTY RAPE CRISIS CENTER

2014-2015 Allocation: \$20,000

2015-2016 Request: \$27,000

The mission of the Orange County Rape Crisis Center is to stop sexual violence and its impact through support, education, and advocacy. The Center provides direct services through a 24-hour crisis line, support groups and community education.

Recommendation: The Board recommends funding of \$20,000 for services to support survivors of sexual violence and educational programs for Chapel Hill residents this year.

39. PIEDMONT HEALTH SERVICES, INC.

2014-2015 Allocation: \$3,000

2015-2016 Request: \$4,000

Piedmont Health Services primary mission is to improve the health and well-being of the community by providing high quality, affordable and comprehensive primary health care. Their vision is a health community in which all people have timely access to quality health care.

Recommendation: The Board recommends funding of \$2,500 to provide high-quality, comprehensive primary care for vulnerable and/or financially disadvantaged residents of Chapel Hill.

40. PLANNED PARENTHOOD OF SOUTH ATLANTIC (PPSAT)

2014-2015 Allocation: \$2,500

2015-2016 Request: \$2,500

Planned Parenthood of South Atlantic is an essential health care provider, committed to educating our communities and expanding and protecting access to reproductive health services. PPSAT works to reduce the incidence of unintended pregnancy, HIV/AIDS, and other sexually

transmitted infections (STIs), especially among teens, emerging adults (19-29) those with limited financial resources and uninsured patients.

Recommendation: The Board recommends funding of \$2,500 for education programming for a diverse group of teens, parents and women of reproductive age in Chapel Hill.

41. PRETRIAL SERVICES FOR CHATHAM AND ORANGE COUNTIES

2014-2015 Allocation: \$7,500

2015-2016 Request: \$8,500

Pretrial Services for Chatham and Orange Counties mission is to screen, investigate, and monitor selected adult defendants released from jail pending disposition of their cases thereby reducing costs otherwise paid by the county for housing inmates in local jails. They provide written proposal reports to the judge at the sentencing hearing for offenders and recommend structured sentencing plans.

Recommendation: The Board recommends funding of \$7,500 for structured, alternative sentencing services to Chapel Hill residents.

42. PUBLIC GALLERY OF CARRBORO dba WCOM-LP RADIO

2014-2015 Allocation: Did Not Apply

2015-2016 Request: \$1,000

The mission of WCOM is to facilitate the exchange of ideas and music with particular regard for those who are overlooked or under-represented by other media outlets. They provide a mechanism for volunteers to become creators and contributors.

Recommendation: The Board does not recommend funding this year for the following reason: (1) The Board fully supports WCOM and their mission of community radio. Unfortunately, we were not able to justify funding for the agency as they do not service any of our Top Priorities through direct aid.

43. REBUILDING TOGETHER OF THE TRIANGLE

2014-2015 Allocation: \$3,000

2015-2016 Request: \$20,000

The mission of Rebuilding Together of the Triangle is focused on providing low-income homeowners, especially those dealing with age, disability, families with children and military veterans, with safe, healthy and efficient environments in which to live.

Recommendation: The Board recommends funding of \$3,000 to complete critical repairs and modification to homes of at least three low-income residents in Chapel Hill.

44. ROGERS-EUBANKS NEIGHORHOOD ASSOCIATION (RENA)

2014-2015 Allocation: Did Not Apply

2015-2016 Request: \$26,000

The mission of RENA is to address the environmental, educational and public health issues impacting the residents of our community and to promote a vision of environmental justice and sustainability among residents, partners and other similarly impacted communities.

Recommendation: The Board recommends funding of \$5,000 for Summer Enrichment Camp.

45. SENIOR CARE OF ORANGE COUNTY, INC.

2014-2015 Allocation: \$1,500

2015-2016-5 Request: \$2,000

The mission of Senior Care of Orange County, Inc. is to advocate, establish and operate programs that provide services for frail or disabled older adults to remain in their homes or with family for as long as possible.

Recommendation: The Board recommends funding of \$1,500 to subsidized adult day-care services for frail or disabled adults.

46. TABLE

2014-2015 Allocation: Did Not Apply

2015-2016 Request: \$10,000

The mission of TABLE is to provide healthy, emergency food aid every week to hungry children living in Chapel Hill and Carrboro.

Recommendation: The Board recommends funding of \$2,000 to fund its weekend meal backpack program.

47. THE ARC OF THE TRIANGLE

2014-2015 Allocation: \$6,000

2015-2016 Request: \$12,000

The mission of The ARC of the Triangle is to provide advocacy and services to persons with developmental disabilities that promote community involvement, active lifestyles and social value.

Recommendation: The Board recommends funding of \$6,000 for services to Chapel Hill residents with development disabilities.

48. THE HILL CENTER, INC.

2014-2015 Allocation: \$3,000

2015-2016 Request: \$5,000

The mission of the Hill Center is to transform students with learning differences into confident, independent learners. The program trains teachers and allows struggling students to receive specialized remediation in reading, written language and math, but continue to take other courses at their base school.

Recommendation: The Board does not recommend funding this year for the following reason:

(1) The Board recognizes that The Hill Center provides specialty training for teachers dealing with learning challenged children. They have a wonderful reputation within the community and have been helping teachers and children for 38 years. This year, due to the many applications for funding, the Board chose to reallocate the funding for The Hill Center to other agencies that directly impact at-risk youth or learning challenged children (through tutoring).

(2) The Board also felt that there was minimum follow-up with the teachers who attended The Hill Center professional development workshop and that there is a significant amount of professional development available to teachers through the Chapel Hill Carrboro Public School System.

49. TRIANGLE RESIDENTIAL OPTIONS FOR SUBSTANCE ABUSERS, INC. (TROSА)

2014-2015 Allocation: \$5,000

2015-2016 Request: \$10,000

TROSA is an innovative, multi-year residential program that enables substance abusers to be productive, recovering individuals by providing comprehensive treatment, work-based vocational training, education and continuing care.

Recommendation: The Board recommends funding of \$5,000 for substance abuse treatment; work-based vocational training, education and continuing care.

50. VOLUNTEER CONNECT 55+ (FORMERLY ORANGE COUNTY RETIRED SENIOR VOLUNTEER PROGRAM (RSVP 55+))

2014-2015 Allocation: \$12,300

2015-2016 Request: \$12,300

The mission of Volunteer Connect 55+ is to enrich the lives of people 55+ in Orange County by connecting them to meaningful volunteer experiences in the community.

Recommendation: The Board recommends funding of \$12,300 to support the programs of Volunteer Connect 55+.

51. VOLUNTEERS FOR YOUTH

2014-2015 Allocation: \$8,000

2015-2016 Request: \$10,000

Volunteers For Youth, Inc. is a youth serving organization, meeting the needs of delinquent and high-risk young people in Orange County through a one-on-one volunteer program, a community services program and a teen court program.

Recommendation: The Board recommends funding of \$8,000 to support the mentoring program, community service program, and the Teen Court.



TOWN OF CHAPEL HILL NORTH CAROLINA

Meeting Date: 06/22/2015
AGENDA #9

MEMORANDUM

TO: Roger L. Stancil, Town Manager

FROM: Mary Jane Nirdlinger, Planning and Sustainability
Gene Poveromo, Development Manager
Kay Pearlstein, Senior Planner

SUBJECT: Continue the Concept Plan: Amity Station Mixed Use Development, 322 W. Rosemary Street to September 16, 2015

Recommended Council Action

- That the Council review the Concept Plan and recess it to Wednesday, September 16, 2015.

Explanation of Recommendation

- Due to time constraints during tonight's meeting, we recommend recessing the Amity Station item to the September 16, 2015 Business Meeting.

Background

- On [March 24, 2015](http://www.townofchapelhill.org/Home/Components/Calendar/Event/7465/15?curm=3&cury=2015)¹, the Community Design Commission considered a Concept Plan application for Amity Station, Mixed Use Development at 322 W. Rosemary Street.
- Council was scheduled to review the concept plan on [May 18, 2015](http://chapelhillpublic.novusagenda.com/Bluesheet.aspx?itemid=3232&meetingid=341)². Due to scheduling complications, the item was rescheduled to tonight's Business Meeting.

Fiscal Note

- Fiscal impacts not determined at this time.

Attachments

- Resolution to Continue the Concept Plan

¹ <http://www.townofchapelhill.org/Home/Components/Calendar/Event/7465/15?curm=3&cury=2015>

² <http://chapelhillpublic.novusagenda.com/Bluesheet.aspx?itemid=3232&meetingid=341>

A RESOLUTION CONTINUING THE CONCEPT PLAN REVIEW FOR AMITY STATION, MIXED-USE DEVELOPMENT, 322 W. ROSEMARY STREET TO SEPTEMBER 16, 2015 (PROJECT #15-015) (2015-06-22/R-8)

WHEREAS, a Concept Plan for a mixed-use development referred to as Amity Station, Mixed-Use Development, 322 W. Rosemary Street was scheduled for review by the Council on June 22, 2015; and

WHEREAS, time constraints for the June 22, 2015 meeting will preclude the Amity Station item.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council recess the Concept Plan on Amity Station, Mixed-Use Development to 7:00 p.m. on Wednesday, September 16, 2015.

This the 22nd day of June, 2015.



TOWN OF CHAPEL HILL NORTH CAROLINA

Meeting Date: 06/22/2015

AGENDA: #10

MEMORANDUM

TO: Roger L. Stancil, Town Manager

FROM: Mary Jane Nirdlinger, Planning and Sustainability
Gene Poveromo, Development Manager
Eric Feld, Planner II

SUBJECT: Continue the Concept Plan: [1165 Weaver Dairy Office/Retail Development, 1165 Weaver Dairy Road](#) to November 16, 2015

Recommended Council Action

- That the Council continue the Concept Plan to November 16, 2015.

Explanation of Recommendation

- Due to time constraints during the June 22, 2015 Business Meeting, we recommend recessing the 1165 Weaver Dairy item to the November 16, 2015 Public Hearing.

Background

- On [March 16, 2015](#)², the Council considered a Zoning Atlas Amendment application at 1165 Weaver Dairy Road. Because the rezoning application did not propose rezoning to a conditional zoning district, some Council members expressed concern that development could occur without the submittal of a Special Use Permit application.
- In response to a request by the applicant, the Council approved a resolution at the [April 27, 2015](#)³ Business Meeting to schedule Council review of the applicant's Concept Plan proposal on June 15, 2015.
- On June 15, 2015, the public hearing was continued due to time constraints to tonight.

Fiscal Note

- Fiscal impacts not determined at this time.

Attachments

- Resolution to Continue the Concept Plan

¹ <http://www.townofchapelhill.org/town-hall/departments-services/planning-and-sustainability/development/1165-weaver-dairy-road>

² <http://chapelhillpublic.novusagenda.com/Bluesheet.aspx?itemid=3125&meetingid=331>

³ http://chapelhill.granicus.com/Viewer.php?view_id=7&clip_id=2382&meta_id=97460

A RESOLUTION CONTINUING THE CONCEPT PLAN FOR A COMMERCIAL-RETAIL DEVELOPMENT, 1165 WEAVER DAIRY ROAD (PROJECT #15-037) (2015-06-22/R-9)

WHEREAS, a Concept Plan was planned for a commercial-retail development referred to as 1165 Weaver Dairy Road on June 22, 2015; and

WHEREAS, time constraints for the June 22, 2015 Business Meeting will preclude the 1165 Weaver Dairy item.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council continues the Concept Plan on 1165 Weaver Dairy to be reconvened at 7:00 p.m. on Monday, November 16, 2015.

This the 22nd day of June, 2015.



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #11

TO: Roger L. Stancil, Town Manager

FROM: Kenneth C. Pennoyer, Business Management Director
Amy Oland, Assistant Business Management Director

SUBJECT: 2015 General Obligation (GO) Bond Referendum Public Hearings on Bond Orders and Approval of Bond Orders, Ballot Questions and Referendum Details

Recommended Council Action

That the Council:

- Conduct public hearings on the bond orders proposed for the November 3, 2015 Referendum.
- Adopt each of the attached bond orders by separate vote.
- Adopt the resolution regarding publication of bond orders and details of the bond referendum.

Context with Key Issues

- On May 29, 2015, the Town's Finance Officer filed a Sworn Statement of Debt and a Statement of Estimated Interest with the Town Clerk as required by General Statutes. Copies of these statements are attached.
- On May 27, 2015, the Council introduced each of the bond orders proposed for the November 3, 2015 referendum and the Council adopted the resolution setting a public hearing on each bond order for June 22, 2015 and authorizing the filing of a sworn statement of debt by the Town's Finance Officer.
- On April 27, 2015, the Council adopted the Preliminary Findings Resolution for the November 2015 G.O. Bond Referendum. The Preliminary Resolution, among other things, established the Council's intent to proceed with a referendum in November 2015 to authorize the issuance of general obligation bonds for the uses and amounts shown below. The resolution also authorizes Town staff to proceed with the steps necessary to authorize the referendum.
- In the State of North Carolina public approval is required for the issuance of most municipal general obligation (G.O.) bonds. Public approval is gained through a public vote or referendum. Referendum questions for municipal G.O. debt must be broken out into bond orders that authorize issuance of bonds for a particular purpose. Each Bond Order is voted on individually.
- The Town's capital planning process, which includes the consideration of multiple master plans, special studies and public facility assessments, identified a number of large-scale projects that could be financed through G.O. Bonds. These projects were aggregated by

purpose, as shown below, in order to establish bond orders that would appear on the referendum ballot.

Streets and sidewalks	\$16,200,000
Trails and greenways	5,000,000
Recreation facilities	8,000,000
Solid waste facilities	5,200,000
Stormwater improvements	<u>5,900,000</u>
Total	\$40,300,000

- State statutes require that bond orders come before the Council on two separate occasions. The first occasion is to “introduce the bond orders” which was completed May 27th and the second is for final action scheduled for June 22nd.

Explanation of Recommendation

- The actions needed to hold a general obligation bond referendum on November 3, 2015 include the following:
 - ✓ Publish notice of intent to file an application with the Local Government Commission (LGC) (Complete)
 - ✓ Make Legislative Committee filing (Complete)
 - ✓ File LGC application (Complete)
 - ✓ Council introduces Bond Orders, schedules public hearings and authorizes debt statement (5/27 Council Meeting)
 - ✓ File sworn statement of debt (before public hearing notice)
 - ✓ Publish notice of public hearings (before June 15th)
 - **Council holds public hearings on each of the bond orders; adopts each bond order by separate vote and sets ballot questions and referendum date (6/22 Council Meeting)**
 - Publish Bond Orders and notice of referendum (twice)
 - Referendum (11/3)

Ballot Questions

Council may change the order of the questions on the ballot in the upcoming election by expressing a preference for a specific ballot question order at tonight’s meeting.

In the attached **Resolution Regarding Publication of Bond Orders** section 4 of the Resolution would confirm that the order for the questions to appear on the ballot is as follows:

- Streets and Sidewalks
- Trails and Greenways
- Recreational Facilities
- Solid Waste Facilities
- Stormwater Improvements.

If the Council wishes to indicate otherwise, it would be appropriate to modify Section 4 of this Resolution to state the ballot order which the Council wishes to request.

Fiscal Note

- The Town's Debt Management Fund, created by Council in 2009, will provide a dedicated source of funding for the General Fund portion (\$34,400,000) of the debt service payments for the referendum bonds. Our projections show that there is adequate capacity in the Debt Fund to pay principal and interest on the bonds without increasing the dedicated Debt Fund tax rate.
- The portion of the referendum bonds that will be issued for Stormwater Improvements (\$5,900,000) will be paid from the Stormwater Enterprise Fund. It is anticipated that the Stormwater fee will need to increase about \$5 per Equivalent Rate Unit (about 20% more than the current rate) in order to pay the principal and interest on the stormwater referendum bonds.

Attachments

- Resolution Regarding the Publication of Bond Orders
- Proposed Bond Orders for Adoption
- Sworn Statement of Debt
- Statement of Estimated Interest
- Description of Referendum Projects

**A RESOLUTION REGARDING PUBLICATION OF BOND ORDERS AND DETAILS
FOR BOND REFERENDUM (2015-06-22/R-10)**

WHEREAS, there have been adopted at this meeting bond orders entitled as follows:

**BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION
BONDS FOR STREETS AND SIDEWALKS IN THE MAXIMUM AMOUNT OF
\$16,200,000**

**BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION
BONDS FOR TRAILS AND GREENWAYS IN THE MAXIMUM AMOUNT OF
\$5,000,000**

**BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION
BONDS FOR RECREATIONAL FACILITIES IN THE MAXIMUM AMOUNT OF
\$8,000,000**

**BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION
BONDS FOR SOLID WASTE FACILITIES IN THE MAXIMUM AMOUNT OF
\$5,200,000**

**BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION
BONDS FOR STORMWATER IMPROVEMENTS IN THE MAXIMUM AMOUNT OF
\$5,900,000**

AND WHEREAS, each bond order is to take effect when approved by the voters; and

WHEREAS, the General Statutes require certain additional actions to complete the process of authorizing the bonds and the bond referenda;

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill, North Carolina, as follows:

1. The Town Clerk is directed to publish a notice of the adoption of each of the Bond Orders, in the form provided for in Section 159-58 of the General Statutes, one time in a newspaper having general circulation in the Town.
2. Each Bond Order will be subject to a bond referendum to be held within the Town on November 3, 2015.
3. The respective ballot questions will be in the following forms:

TOWN OF CHAPEL HILL
BONDS FOR STREETS AND SIDEWALKS

Shall the order authorizing \$16,200,000 of bonds plus interest to pay capital costs of providing streets and sidewalks and paying related costs, and providing that additional taxes may be levied in an amount sufficient to pay the principal of and interest on the bonds, as adopted by the Chapel Hill Town Council on June 22, 2015, be approved?

TOWN OF CHAPEL HILL
BONDS FOR TRAILS AND GREENWAYS

Shall the order authorizing \$5,000,000 of bonds plus interest to pay capital costs of providing trails and greenways and paying related costs, and providing that additional taxes may be levied in an amount sufficient to pay the principal of and interest on the bonds, as adopted by the Chapel Hill Town Council on June 22, 2015, be approved?

TOWN OF CHAPEL HILL
BONDS FOR RECREATIONAL FACILITIES

Shall the order authorizing \$8,000,000 of bonds plus interest to pay capital costs of providing recreational facilities and paying related costs, and providing that additional taxes may be levied in an amount sufficient to pay the principal of and interest on the bonds, as adopted by the Chapel Hill Town Council on June 22, 2015, be approved?

TOWN OF CHAPEL HILL
BONDS FOR SOLID WASTE FACILITIES

Shall the order authorizing \$5,200,000 of bonds plus interest to pay capital costs of providing solid waste facilities and paying related costs, and providing that additional taxes may be levied in an amount sufficient to pay the principal of and interest on the bonds, as adopted by the Chapel Hill Town Council on June 22, 2015, be approved?

TOWN OF CHAPEL HILL
BONDS FOR STORMWATER IMPROVEMENTS

Shall the order authorizing \$5,900,000 of bonds plus interest to pay capital costs of providing stormwater improvements and paying related costs, and providing that additional taxes may be levied in an amount sufficient to pay the principal of and interest on the bonds, as adopted by the Chapel Hill Town Council on June 22, 2015, be approved?

4. The Council requests that the Orange and Durham County Boards of Elections conduct the bond referenda in the manner provided for by law. The Council requests that each Board of Elections present the ballot questions in the order shown in this resolution.

5. The Town Clerk is directed to transmit a certified copy of this resolution to the

Orange and Durham County Boards of Elections within three days after today.

6. The Town Clerk is directed to publish notice of the bond referenda as required by Section 159-61 of the General Statutes.

This the 22nd day of June, 2015.

Proposed bond orders for adoption

1. Streets and sidewalks

**BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL
OBLIGATION BONDS FOR STREETS AND SIDEWALKS IN THE
MAXIMUM AMOUNT OF \$16,200,000**

WHEREAS --

The Town Council of the Town of Chapel Hill, North Carolina, by resolution adopted on April 27, 2015, has stated its proposal to issue general obligation bonds to pay capital costs of providing streets and sidewalks.

The Town has applied to the North Carolina Local Government Commission for its approval of the proposed bonds, and the Commission has accepted the Town's application.

BE IT ORDERED by the Town Council of the Town of Chapel Hill, North Carolina, as follows:

1. There are hereby ordered to be issued general obligation bonds to pay capital costs of providing streets and sidewalks, including without limitation bridges, viaducts, causeways, overpasses, underpasses and alleys; paving, grading, resurfacing and widening streets and sidewalks; curbs and gutters, culverts, and drains; traffic controls, signals, and markers; lighting; and grade crossings and the elimination thereof and grade separations, along with the acquisition of land and interests in land for these and related purposes, together with related financing and other necessary or incidental costs.

2. The maximum aggregate principal amount of the bonds issued for this purpose will be \$16,200,000. The bonds issued for this purpose may be combined for sale with other bonds authorized for the same or different purposes.

3. Taxes will be levied in an amount sufficient to pay the principal of and interest on the bonds so issued.

4. A sworn statement of debt prepared by the Town's Finance Officer has been filed with the Town Clerk and is open to public inspection.

5. This Bond Order will take effect when approved by the Town's voters in the manner provided by law.

2. Trails and greenways

BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION BONDS FOR TRAILS AND GREENWAYS IN THE MAXIMUM AMOUNT OF \$5,000,000

WHEREAS --

The Town Council of the Town of Chapel Hill, North Carolina, by resolution adopted on April 27, 2015, has stated its proposal to issue general obligation bonds to pay capital costs of providing trails and greenways.

The Town has applied to the North Carolina Local Government Commission for its approval of the proposed bonds, and the Commission has accepted the Town's application.

BE IT ORDERED by the Town Council of the Town of Chapel Hill, North Carolina, as follows:

1. There are hereby ordered to be issued general obligation bonds to pay capital costs of providing trails and greenways, including without limitation the acquisition of land and interests in land for these purposes, together with related financing and other necessary or incidental costs.

2. The maximum aggregate principal amount of the bonds issued for this purpose will be \$5,000,000. The bonds issued for this purpose may be combined for sale with other bonds authorized for the same or different purposes.

3. Taxes will be levied in an amount sufficient to pay the principal of and interest on the bonds so issued.

4. A sworn statement of debt prepared by the Town's Finance Officer has been filed with the Town Clerk and is open to public inspection.

5. This Bond Order will take effect when approved by the Town's voters in the manner provided by law.

3. Recreational facilities

BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION BONDS FOR RECREATIONAL FACILITIES IN THE MAXIMUM AMOUNT OF \$8,000,000

WHEREAS --

The Town Council of the Town of Chapel Hill, North Carolina, by resolution adopted on April 27, 2015, has stated its proposal to issue general obligation bonds to pay capital costs of providing recreational facilities.

The Town has applied to the North Carolina Local Government Commission for its approval of the proposed bonds, and the Commission has accepted the Town's application.

BE IT ORDERED by the Town Council of the Town of Chapel Hill, North Carolina, as follows:

1. There are hereby ordered to be issued general obligation bonds to pay capital costs of providing recreational facilities, including without limitation athletic fields, parks, playgrounds, recreation centers, shelters, stadiums, arenas, permanent and temporary stands, golf courses, swimming pools, wading pools, marinas, and lighting, buildings for recreation purposes and buildings for the administration of recreational programs, along with the acquisition of land and interests in land for these and related purposes, together with related financing and other necessary or incidental costs.

2. The maximum aggregate principal amount of the bonds issued for this purpose will be \$8,000,000. The bonds issued for this purpose may be combined for sale with other bonds authorized for the same or different purposes.

3. Taxes will be levied in an amount sufficient to pay the principal of and interest on the bonds so issued.

4. A sworn statement of debt prepared by the Town's Finance Officer has been filed with the Town Clerk and is open to public inspection.

5. This Bond Order will take effect when approved by the Town's voters in the manner provided by law.

4. **Solid waste facilities**

BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION BONDS FOR SOLID WASTE FACILITIES IN THE MAXIMUM AMOUNT OF \$5,200,000

WHEREAS --

The Town Council of the Town of Chapel Hill, North Carolina, by resolution adopted on April 27, 2015, has stated its proposal to issue general obligation bonds to pay capital costs of providing solid waste facilities.

The Town has applied to the North Carolina Local Government Commission for its approval of the proposed bonds, and the Commission has accepted the Town's application.

BE IT ORDERED by the Town Council of the Town of Chapel Hill, North Carolina, as follows:

1. There are hereby ordered to be issued general obligation bonds to pay capital costs of providing solid waste facilities, including without limitation sanitary landfills, transfer stations, incinerators and other structures and buildings, along with equipment used or useful in the collection, storage, disposition or recycling of solid waste, and including buildings for the administration of solid waste management and disposal activities, along with the acquisition of land and interests in land for these and related purposes, together with related financing and other necessary or incidental costs.

2. The maximum aggregate principal amount of the bonds issued for this purpose will be \$5,200,000. The bonds issued for this purpose may be combined for sale with other bonds authorized for the same or different purposes.

3. Taxes will be levied in an amount sufficient to pay the principal of and interest on the bonds so issued.

4. A sworn statement of debt prepared by the Town's Finance Officer has been filed with the Town Clerk and is open to public inspection.

5. This Bond Order will take effect when approved by the Town's voters in the manner provided by law.

5. Stormwater improvements

BOND ORDER AUTHORIZING THE ISSUANCE OF GENERAL OBLIGATION BONDS FOR STORMWATER IMPROVEMENTS IN THE MAXIMUM AMOUNT OF \$5,900,000

WHEREAS --

The Town Council of the Town of Chapel Hill, North Carolina, by resolution adopted on April 27, 2015, has stated its proposal to issue general obligation bonds to pay capital costs of providing stormwater improvements.

The Town has applied to the North Carolina Local Government Commission for its approval of the proposed bonds, and the Commission has accepted the Town's application.

BE IT ORDERED by the Town Council of the Town of Chapel Hill, North Carolina, as follows:

1. There are hereby ordered to be issued general obligation bonds to pay capital costs of providing stormwater improvements, including without limitation storm sewers, flood control facilities, levees, dikes, diversionary channels, drains, catch basins and other facilities for the drainage, management, and treatment of storm water, along with the acquisition of land or interests in land for these and related purposes, together with related financing and other necessary or incidental costs.

2. The maximum aggregate principal amount of the bonds issued for this purpose will be \$5,900,000. The bonds issued for this purpose may be combined for sale with other bonds authorized for the same or different purposes.

3. Taxes will be levied in an amount sufficient to pay the principal of and interest on the bonds so issued.

4. A sworn statement of debt prepared by the Town's Finance Officer has been filed with the Town Clerk and is open to public inspection.

5. This Bond Order will take effect when approved by the Town's voters in the manner provided by law.

SWORN STATEMENT OF DEBT

For the Town of Chapel Hill, North Carolina

I, Kenneth C. Pennoyer, being first duly sworn, do hereby state that I am the Finance Officer for the Town of Chapel Hill, North Carolina, that I have been designated by the Town Council of the Town of Chapel Hill, North Carolina, to make and file with the Town Clerk a sworn statement of debt, and that the following is the statement of debt for the Town of Chapel Hill, North Carolina, as shown by the books in my office, prepared in accordance with, and made pursuant to the requirements of, Section 159-55 of the North Carolina General Statutes.

A. Gross Debt

1. Outstanding debt evidenced by bonds:

<u>Purpose</u>	<u>Amount (\$)</u>
GO Bonds (Various)	\$25,662,000
LOBS Town Ops Center	13,775,000
LOBS Parking	<u>8,575,000</u>
<i>Total</i>	\$ 48,012,000

2. Bonds authorized by orders introduced but not yet adopted:

<u>Purpose</u>	<u>Amount (\$)</u>
Streets & Sidewalks	\$16,200,000
Trails & Greenways	5,000,000
Recreation Facilities	8,000,000
Solid Waste Facilities	5,200,000
Storm water Improvements	<u>5,900,000</u>
<i>Total</i>	\$ 40,300,000

3. Unissued bonds authorized by adopted orders:

<i>Total</i>	\$	0
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4. Outstanding debt not evidenced by bonds:

<u>Purpose</u>	<u>Amount (\$)</u>
Fleet Replacement Vehicles	
<i>Total</i>	\$ 3,092,712
Total Gross Debt (sum of 1 through 4)	<u>\$91,404,712</u>

B. Deductions from Gross Debt

1. Funding and refunding bonds authorized by orders introduced but not yet adopted (<i>"funding bonds" are bonds issued to provide money to pay a pre-existing obligation, such as a judgment against you in a lawsuit</i>)	\$ 0
2. Funding and refunding bonds authorized but not yet issued.	\$ 0
3. Amounts held in sinking funds or otherwise for the payment of any part of the principal of gross debt, other than debt incurred for water, gas, electric light or power purposes or sanitary sewer purposes (to the extent deductible under Section 159-55(b) of the General Statutes), or two or more of these purposes.	\$ 0
4. Bonded debt included in gross debt and incurred, or to be incurred, for water, gas or electric light or power purposes, or any two or more of such purposes.	\$ 0

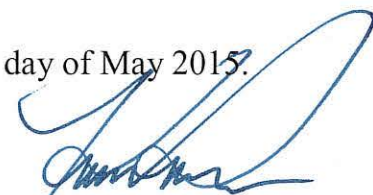
5. Bonded debt included in gross debt and incurred, or to be incurred, for sanitary sewer purposes (to the extent deductible under Section 159-55(b) of the General Statutes).	\$ 0
6. Uncollected special assessments levied for local improvements for which any part of gross debt (that is not otherwise deducted) was or is to be incurred, to the extent that the special assessments will be applied, when collected, to the payment of any part of the gross debt.	\$ 0
7. Estimate of special assessments to be levied for local improvements for which any part of gross debt (that is not otherwise deducted) was or is to be incurred, to the extent that the special assessments will be applied, when collected, to the payment of any part of the gross debt.	\$ 0

Total deductions (Sum of 1 through 7) **\$ 0**

C. Net Debt, <i>being the difference between Total Gross Debt (A) and Total Deductions (B).</i>	\$ 91,404,712
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D. Appraised Value of property subject to taxation, <i>being the value from which the assessed value last fixed for taxation was computed, as revealed by County tax records and certified by the County Tax Assessor. [Orange County portion only]</i>	<p style="text-align: center;">\$ 6,590,724,670</p>
E. Percentage <i>that Net Debt bears to the appraised value of property subject to taxation.</i>	<p style="text-align: center;">1.387%</p>

WITNESS my signature this 29th day of May 2015.

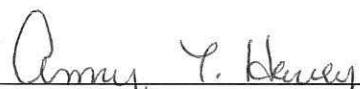


Kenneth C. Pennoyer
Finance Officer
Town of Chapel Hill, North Carolina

STATE OF NORTH CAROLINA
ORANGE COUNTY

Subscribed and sworn before me this 29 day of May, 2015.




Notary Public *Amy T. Harvey*

My commission expires May 15, 2020

The undersigned Tax Assessor for Orange County, North Carolina, certifies that the assessed value within Orange County last fixed for taxation for the Town of Chapel Hill, North Carolina, as revealed by County tax records (before the application of any assessment ratio), is \$ 6,590,724,670.

WITNESS my signature this 26 day of May, 2015.



Printed name: Timothy Dwayne Brinson
Tax Assessor
Orange County, North Carolina

The undersigned Town Clerk of the Town of Chapel Hill, North Carolina, certifies that the foregoing is a true copy of a statement which was filed with me on May 29, 2015, and that said statement is open to public inspection in my office.



Sabrina Oliver
Town Clerk
Town of Chapel Hill, North Carolina

Statement of Estimated Interest

The undersigned Finance Officer for the Town of Chapel Hill, North Carolina, states as follows:

1. In my role as Finance Officer I am filing this Statement of Estimated Interest with respect to the \$40,300,000 General Obligation Bonds to be authorized by Bond Orders to be considered by the Town Council on June 22, 2015. I am making this Statement in accordance with the requirements of Section 159-55(b) of the North Carolina General Statutes.

2. Based on the assumptions stated on the attached Schedule I, I estimate that the total amount of interest that will be paid on the bonds for each of the proposed purposes, over the expected term of the bonds if issued, is as shown in the following table. These estimates are preliminary, are for general informational purposes only, and may differ from the actual interest paid on the bonds.

Proposed Purpose and Amount	Amount of Estimated Interest
\$16,200,000 bonds for streets and sidewalks	\$ 6,820,883
\$5,000,000 bonds for trails and greenways	\$ 2,105,211
\$8,000,000 bonds for recreational facilities	\$ 3,368,337
\$5,200,000 bonds for solid waste facilities	\$ 2,189,419
\$5,900,000 bonds for stormwater improvements	\$2,484,149

WITNESS my signature this 29th day of May, 2015.


Kenneth C. Pennoyer
Finance Officer

Town of Chapel Hill, North Carolina

The undersigned Town Clerk of the Town of Chapel Hill, North Carolina, certifies that the foregoing is a true copy of a statement which was filed with me on MAY 29, 2015, and that this statement is open to public inspection in my office.

WITNESS my signature this 29th day of MAY, 2015.



Sabrina Oliver
Town Clerk
Town of Chapel Hill, North Carolina



Estimated Interest for 2015 Chapel Hill Referendum Bonds

29-May-15

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
Coupon	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%
Principal 7/1/xx	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000
Cumulative Principal	\$40,400,000	\$38,380,000	\$36,360,000	\$34,340,000	\$32,320,000	\$30,300,000	\$28,280,000	\$26,260,000	\$24,240,000
Calculation	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800
Interest 1/1/xx	\$808,000	\$767,600	\$727,200	\$686,800	\$646,400	\$606,000	\$565,600	\$525,200	\$484,800
Interest 7/1/xx	\$808,000	\$767,600	\$727,200	\$686,800	\$646,400	\$606,000	\$565,600	\$525,200	\$484,800
Total Interest	\$1,616,000	\$1,535,200	\$1,454,400	\$1,373,600	\$1,292,800	\$1,212,000	\$1,131,200	\$1,050,400	\$969,600
Cumulative Interest	\$16,968,000	\$15,352,000	\$13,816,800	\$12,362,400	\$10,988,800	\$9,696,000	\$8,484,000	\$7,352,800	\$6,302,400
Total Debt Service	\$3,636,000	\$3,555,200	\$3,474,400	\$3,393,600	\$3,312,800	\$3,232,000	\$3,151,200	\$3,070,400	\$2,989,600
Cumulative Debt Service	\$57,368,000	\$53,732,000	\$50,176,800	\$46,702,400	\$43,308,800	\$39,996,000	\$36,764,000	\$33,612,800	\$30,542,400

Assumptions:	
Level Principal- 20 year term	
Principal Amount	\$40,300,000
Cost of Issuance	\$100,000
Total Financing	<u>\$40,400,000</u>
Interest Rate	4.00%

Allocation of Of Interest Cost:

Purpose	Amount	Interest Cost	% Total Bonds
Streets & Sidewalks	\$ 16,200,000	\$ 6,820,883	40.20%
Trails & Greenways	5,000,000	2,105,211	12.41%
Recreational Facilities	8,000,000	3,368,337	19.85%
Solid waste Facilities	5,200,000	2,189,419	12.90%
Storm water Improvements	5,900,000	2,484,149	14.64%
Total	\$ 40,300,000	\$ 16,968,000	100.00%

Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20
4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%
\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000	\$2,020,000
\$22,220,000	\$20,200,000	\$18,180,000	\$16,160,000	\$14,140,000	\$12,120,000	\$10,100,000	\$8,080,000	\$6,060,000	\$4,040,000	\$2,020,000
\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800	\$80,800
\$444,400	\$404,000	\$363,600	\$323,200	\$282,800	\$242,400	\$202,000	\$161,600	\$121,200	\$80,800	\$40,400
\$444,400	\$404,000	\$363,600	\$323,200	\$282,800	\$242,400	\$202,000	\$161,600	\$121,200	\$80,800	\$40,400
\$888,800	\$808,000	\$727,200	\$646,400	\$565,600	\$484,800	\$404,000	\$323,200	\$242,400	\$161,600	\$80,800
\$5,332,800	\$4,444,000	\$3,636,000	\$2,908,800	\$2,262,400	\$1,696,800	\$1,212,000	\$808,000	\$484,800	\$242,400	\$80,800
\$2,908,800	\$2,828,000	\$2,747,200	\$2,666,400	\$2,585,600	\$2,504,800	\$2,424,000	\$2,343,200	\$2,262,400	\$2,181,600	\$2,100,800
\$27,552,800	\$24,644,000	\$21,816,000	\$19,068,800	\$16,402,400	\$13,816,800	\$11,312,000	\$8,888,000	\$6,544,800	\$4,282,400	\$2,100,800

2015 REFERENDUM CAPITAL PROJECTS DESCRIPTIONS

Streets and Sidewalks

This category includes road improvements for bicycle and pedestrian safety, new sidewalk construction, street infrastructure improvements and bridge replacement, and Downtown Streetscape improvements. In the latest Community Survey “overall flow of traffic and congestion” ranked 1st in overall importance out of 17 ranked service categories.

Bike and pedestrian safety projects include high-intensity activated crosswalk signals, bicycle lanes, sharrows, road diets and shared lane markings in areas of high traffic identified in the Bicycle Master Plan and consistent with the Town’s Complete Streets Policy.

Street infrastructure improvements include resurfacing and reconstructing streets with an emphasis on facilitating multi-modal transportation. This will help restore Town street conditions to pre-2008 levels. In addition, the replacement of the Bolinwood Drive Bridge is included in the requested funding.

The Downtown Streetscape Project provides for safe sidewalks, pedestrian amenities, adequate pedestrian lighting and compliance with ADA standards. Improvements include those identified in the Streetscape Master Plan and improvements recommended in the Downtown Audit.

• Bicycle & Pedestrian Safety	\$ 7,800,000
• Sidewalk Construction	2,000,000
• Street Infrastructure & Bridge	3,400,000
• Downtown Streetscape	<u>3,000,000</u>
Total	\$ 16,200,000

Trails and Greenways

This category includes the expansion of the Town’s Greenway System including the acquisition of property consistent with the Greenway Master Plan. Specific elements of the expansion of the Greenway System include the following:

• Design, easement acquisition and permitting for the final section of the Morgan Creek Trail	\$ 500,000
• Construction of the Bolin Creek Trail/Tanyard Branch Trail from Pritchard Avenue Ext.to Jay St.	2,000,000
• Construction of final segments of Morgan Creek Trail	<u>2,500,000</u>
Total	\$ 5,000,000

Recreation Facilities

This category includes a new Parks and Recreation administration building to replace the facility at Plant Road, a new cultural arts building, and renovations to various parks. The administration building and the cultural arts facilities could potentially be combined into one facility. Total planned square footage for a combined facility would be 24,000 square feet. There is also potential for combining the new Parks and Recreation facilities with other

planned Town facilities such as Police Headquarters. These projects are priorities in the Parks Master Plan.

- Parks & Recreation Admin Building \$ 2,000,000
- Cultural Arts Building 3,400,000
- Park Renovations 1,000,000
- Total \$ 8,000,000**

Solid Waste Transfer Station

With the closure of the Orange County Landfill the Town began transporting solid waste to a facility in Durham. This arrangement significantly increased the costs of waste disposal including increased fuel consumption and wear and tear on vehicles. Construction of a Transfer Station on Town-owned property on Millhouse Road is consistent with the Solid Waste Collection and Disposal Option Report.

- Transfer Station \$ 5,200,000

Stormwater Improvements

This category includes high priority Stormwater Projects identified in the Town's Stormwater Master Plan. Priorities will be further refined based on the subwatershed studies. Debt issued for these projects would be repaid from the Stormwater Enterprise Fund. Repayment of \$5.9 million of debt would require a rate increase of about \$5.00 per Equivalent Rate Unit (ERU) which is a 20% increase on the current rate. In the Community Survey, quality of the stormwater runoff/management system ranked as the most important maintenance service.

- Stormwater Improvements \$ 5,900,000

Recommended Bond Orders for November 2015 Referendum

Use	General Fund	Enterprise Fund	Total
Streets & Sidewalks	\$ 16,200,000	0	\$ 16,200,000
Trails & Greenways	5,000,000	0	5,000,000
Recreational Facilities	8,000,000	0	8,000,000
Solid Waste Facilities	5,200,000	0	5,200,000
Storm water Improvements	0	5,900,000	5,900,000
Total	\$ 34,400,000	\$ 5,900,000	\$ 40,300,000



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #12

TO: Roger L. Stancil, Town Manager

FROM: Mary Jane Nirdlinger, Planning and Sustainability
Gene Poveromo, Development Manager
Kay Pearlstein, Senior Planner

SUBJECT: Consider Application for Special Use Permit Modification – [Grace Church Expansion](#)¹², 200 Sage Road (Project #14-026)

Recommended Council Action

- That the Council adopt Revised Resolution A approving the Special Use Permit for Grace Church Expansion, 200 Sage Road.

Key Considerations

- This discussion is a continuation of a public hearing from [June 15, 2015](#).³
- *Evaluation of Park and Ride Spaces:* The Council requested that staff return with additional information from Chapel Hill Transit and the transit partners as how best to implement a comprehensive park and ride program at this site as well as incorporating other parking lots in this area.
- *Increased Landscape Screening for northern buffer along Coleridge Road:* Neighbors expressed concerns with removing vegetation resulting in open views to the proposed parking lot.
- *Necessity of Transportation Management Plan:* A Council member questioned the benefit of requiring Transportation Management Plans.

Explanation of Recommendation

- We believe that, based on the evidence in the record thus far, the Council can make the required Four Findings of Facts, outlined in Section 4.5.2 of the Land Use Management Ordinance and thereby approve the Special Use Permit Modification with the adoption of Revised Resolution A.

Fiscal Note

- No fiscal impact has been determined.

¹ <http://chapelhillpublic.novusagenda.com/Bluesheet.aspx?itemid=3291&meetingid=344>

² <http://www.townofchapelhill.org/town-hall/departments-services/planning-and-sustainability/gis-analytics/development-activity-report>

³ http://chapelhill.granicus.com/MediaPlayer.php?view_id=7&clip_id=2427

Council Goal:

- Create A Place for Everyone
- Facilitate Getting Around

Attachments

- Staff Memorandum
- Revised Resolution A, approving Special Use Permit
- Resolution B, denying Special Use Permit
- Applicant's Materials
- Revised Park and Ride Location Map
- Applicant Email

MEMORANDUM

TO: Roger L. Stancil, Town Manager

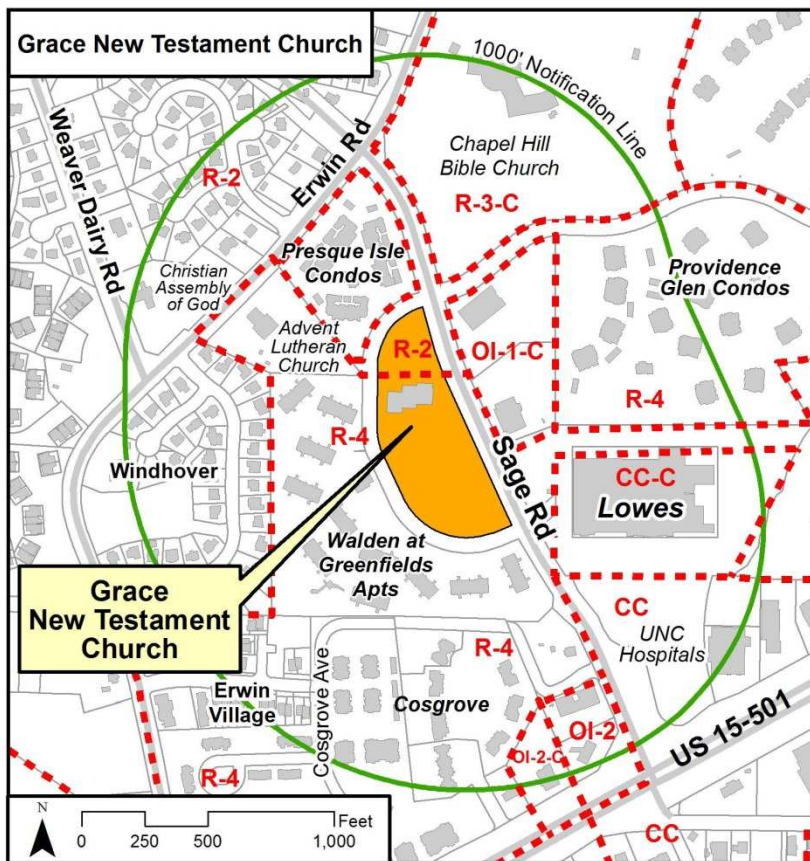
FROM: Mary Jane Nirdlinger, Planning and Sustainability
Gene Poveromo, Development Manager
Kay Pearlstein, Senior Planner

SUBJECT: Consider Application for Special Use Permit Modification – Grace Church Expansion, 200 Sage Road Weaver Crossing, 1171 Weaver Dairy Road (Project No. 14-026)

DATE: June 22, 2015

INTRODUCTION

Tonight, the Town Council continues the public hearing for expansion to Grace Church Special Use Permit Modification Application from June 15, 2015. Tonight's public hearing is continued to receive evidence in support of and in opposition to approval of the Special Use Permit Modification application. Approval of the Special Use Permit Modification application would authorize the construction of an addition with 25,600 s. f., expand sanctuary seating to a total of 850 seats, and expand the parking for a total of 300 spaces.



DISCUSSION

At the public hearing, several matters were identified as key topics, including:

- Evaluation of Park and Ride spaces;
- Increase screening for northern buffer along Coleridge Road; and
- Necessity of Transportation Management Plans.

Each of these topics is discussed below.

Evaluation of Park and Ride Spaces: The Council requested that staff return with additional information, from Chapel Hill Transit and the transit partners, as how best to implement a comprehensive park and ride program at this site as well as incorporating other non-public parking lots in the area.

Staff Response: Since the Town started charging for park and ride in 2013, the demand for park and ride spaces has dropped from full capacity. For example, the public park and ride lots at Eubanks Road, Southern Village, Carrboro Plaza, and Jones Ferry Road are currently about 50% full, Southern Village lot is at 72% capacity and the Jones Ferry Road lot at about 28% capacity. If there is a future demand for park and ride lots in this area of town, the Town could lease spaces from the church for permit holders or secure payment with installation of a pay-station, (costing about \$15,000). We recommend that the applicant reserve the 45 spaces as park and ride spaces for future use. We have included a stipulation in Revised Resolution A to this effect.

Staff has not identified a current need for a comprehensive plan for additional town park and ride lots. However, if the Council Town staff will discuss with the transit partners and the Transportation and Connectivity Advisory Board the larger town-wide plans that will impact the location and supply of park and ride spaces, including bus rapid transit (BRT) and light rail (LRT).

Increase screening for northern buffer along Coleridge Road: At the public hearing, neighbors from Presque Isle expressed concerns with the applicant's proposal to remove vegetation in the northern portion of the site resulting in open views to the proposed parking lot from their homes and vehicles.

Staff Response: In response to the neighbor's comments the applicant is proposing to increase the width and density of the buffer across from the Presque Isle Condominiums driveway. The proposed plan includes

- Increasing the landscape buffer width from the required 15 to 25 foot;
- Planting a denser vegetative Type "C" buffer instead of the required Type "B" buffer;
- Including a minimum of 50% evergreen landscape planting; and
- Planting low ornamental plant, mimicking the Presque Isle entry plants across the road.

We support the applicant's proposal to increase the density and width of the buffer and to provide 50% of the plants as evergreen in order to provide year-round screening. We have

revised stipulation 21 to include the additional width, denser buffer type, and the requirement for evergreen plantings. Revised stipulation 21 reads:

Northern Buffer: To minimize the visual impact of the proposed northern parking lot, a 25' landscape buffer, with planting intensity equivalent to a Type 'C' buffer, shall be provided for the buffer on Coleridge Road between the new northern driveway and Sage Road. The plant material within this buffer shall contain a minimum of 50% evergreen plant material, including low ornamental plantings, similar in type to plantings used at the Presque Isle entrance, as shown on the Landscape Plan.

Necessity of Transportation Management Plans: At the public hearing, a council member questioned the importance and benefit of providing Transportation Management Plans. The Grace Church resolution includes a stipulation for preparation of a Transportation Management Plan.

Staff Response: We believe that evaluating the importance and benefit of Transportation Management Plans requires a larger scope beyond the inclusion of a Transportation Management Plan in the Grace Church Expansion Special Use Permit. We recommend that a response to the council member's question be provided through a separate report to the Council on the effectiveness of requiring a Transportation Management Plan with Special Use Permits. We have included a requirement for a Transportation Management Plan in Revised Resolution A.

PROCESS

Tonight the Council continues the public hearing and considers possible action.

EVALUATION OF THE APPLICATION

Tonight, based on evidence in the record thus far, we provide the following evaluation of this application based on the four findings of fact that the Council must consider for granting a Special Use Permit. Further evidence may be presented for the Council's consideration as part of the continued public hearing process. We believe the evidence in the record to date can be summarized as follows:

Finding #1: *That the use or development is located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;*

Evidence in Support	<p>The applicant's Statement of Justification includes the following:</p> <ul style="list-style-type: none"> • "at least one sidewalk connection would be provided between the project site and the existing sidewalks on Sage Road" and "The proposed expansion will include significant improvements to the stormwater run-off treatment measures onsite. The existing facility will include both improvements to size of the stormwater facility, to better detain larger stormwater events, and to the type of facility, to better treat the
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	quality of the water leaving the site.”
Evidence in Opposition	To date, no evidence in opposition has been submitted or identified by staff.

Staff Response: We believe, based on the evidence entered into the record to date, that the Council could make the finding that the development would be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare and the Special Use Permit is approved with the conditions in Revised Resolution A.

Finding #2: *That the use or development complies with all the required regulations and standards of this Chapter, including all applicable provisions of the Land Use Management Ordinance;*

Evidence in Support	The applicant’s Statement of Justification includes the following: <ul style="list-style-type: none"> • “This project complies with the standards of Chapter 4.5 of the LUMO, and meets all applicable provisions of Articles 3 and the applicable standards contained in Article 6. A Place of Worship is not specifically listed as a use with Article 6. Compliance with the LUMO includes buffers, setbacks, building height, within the prescribed minimum/maximum parking requirements, bicycle parking, and tree canopy requirements.”
Evidence in Opposition	To date, no evidence in opposition has been submitted or identified by staff.

Staff Response: We believe, based on the evidence entered into the record to date, that the Council could make the finding that the development would comply with all required regulations and standards of the regulations.

Finding #3: *That the use or development is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity;*

Evidence in Support	The applicant’s Statement of Justification includes the following: <ul style="list-style-type: none"> • “The existing project as approved and the proposed addition will maintain or enhance the value of contiguous property. This determination was inherently made by the council as part to the approval of the original SUP in 1995, and this new SUP Mod to allow for the building addition will not decrease values. The proposed modification will provide significant aesthetic site improvements through installation of landscape parking areas, new internal sidewalks, improved stormwater BMP, and significant planting improvements. The proposal will meet the new LUMO stormwater management requirements, which are even more stringent than those under which the project was originally approved.
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Evidence in Opposition	Neighbors from Presque Isle Condominiums located across Coleridge Road from the northern portion of the Grace Church site, expressed concern that the proposed removal of existing trees for a parking lot could decrease their property values. Open views to the parking lot would alter their current view of only trees. We anticipate that the applicant will provide additional information concerning adjacent property values at tonight's meeting, please see applicant's attached email.
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Staff Response: We believe, based on the evidence entered into the record to date, that the Council could make the finding that the proposed development is designed in a way that would maintain or enhance the value of contiguous properties if the Special Use Permit Modification is approved with the conditions in Revised Resolution A.

Finding #4: *That the use or development conforms with the general plans for the physical development of the Town as embodied in this appendix and in the comprehensive plan.*

Evidence in Support	The applicant's Statement of Justification includes the following: <ul style="list-style-type: none"> • "Although the existing SUP was approved in 1995, we feel that the Goals and Themes used to evaluate that proposal hold true today for this request. We believe this proposal complies as much as possible with the goals set forth in the Chapel Hill 2020 Comprehensive Plan. The goals that can be addressed by this development are several of the 2020 Themes, community character and transportation."
Evidence in Opposition	To date, no evidence in opposition has been submitted or identified by staff.

Staff Response: We believe, based on the evidence entered into the record to date, that the Council could make the finding that the development conforms to the general plans for physical development of the Town as embodied in the 2020 Comprehensive Plan. We think the Grace Church Expansion proposal generally complies with the land use plan and themes in the 2020 Comprehensive Plan. The development's civic outreach provides important components to the community for gathering, guidance, and development. Relevant goals and objectives in the Comprehensive Plan include, but are not limited to:

- Active and engaged part of the community;
- Valuable transportation connections; and
- Site improvement with landscaping, buffering, and site amenities.

RECOMMENDATION

Revised Resolution A includes the following changes since the Public Hearing:

- Stipulation 2 was revised to correct the Maximum Vehicular Parking Spaces to 300 (from 284) and to add Sanctuary Seating to the following chart:

Use: Place of Worship	
Gross Land Area	298,760 square feet (6.8 acres)
New Floor Area	26,500 square feet (40,000 square feet total)
Total Max. Floor Area Allowed	61,860 square feet
Maximum Vehicular Parking Spaces	300 spaces
Minimum Bicycle Parking Spaces	22 spaces
Impervious Surface	160,622 square feet
Sanctuary Seating	850 seats

- Stipulation 14 was revised to reserve (not provide) 45 Park and Ride spaces (was 16) for future use:

Park and Ride Parking Spaces: To plan for future utilization of the parking lot during weekdays, as determined necessary by the Town's Transit Department, the applicant reserves 45 parking spaces designated as Park and Ride spaces in the southern portion of the site. The spaces shall be identified on the Final Plans.

- Stipulation 21 was revised to increase the buffer width, type of buffer, and mix of evergreen plant material:

Northern Buffer: To minimize the visual impact of the proposed northern parking lot, a 25' landscape buffer, with planting intensity equivalent to a Type 'C' buffer, shall be provided for the buffer on Coleridge Road between the new northern driveway and Sage Road. The plant material within this buffer shall contain a minimum of 50% evergreen plant material, including low ornamental plantings, similar in type to plantings used at the Presque Isle entrance, as shown on the Landscape Plan.

Staff Recommendation: We recommend the adoption of Revised Resolution A for Grace Church Expansion Special Use Permit Modification to construct a 25,600 s.f. addition, expand the sanctuary to 850 seats, and expand the parking to a total of 300 spaces.

REVISED RESOLUTION A

(Approving the Special Use Permit Modification Application)

A RESOLUTION APPROVING AN APPLICATION FOR A SPECIAL USE PERMIT MODIFICATION FOR GRACE CHURCH EXPANSION (PROJECT #14-079) (2015-06-22/R-11)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Special Use Permit Modification application, proposed by Coulter Jewell Thames PA for Grace Church Expansion at 200 Sage Road, having applied to the Town for a modification to an existing Special Use Permit, approved by the Town on May 8, 1995 (recorded in Deed Book 1693, Page 102 at the Orange County Register of Deeds office), on property identified as Orange County Property Identifier Number 9890-50-3171, located in the Residential-2 (R-2) and Residential-4 (R-4) zoning districts, if developed according to the Site Plan dated November 11, 2014 and revised March 30, 2015, the conditions listed below would:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

BE IT FURTHER RESOLVED that the Council of the Town of Chapel Hill hereby approves the application for a Special Use Permit Modification for Grace Church Expansion, in accordance with the plans listed above and with the conditions listed below:

Stipulations Specific to the Development

1. Construction Deadline: That construction begin by June 22, 2017, to be completed by June 22, 2019.
2. Land Use Intensity: This Special Use Permit Modification modifies the May 8, 1995 Special Use Permit recorded on Book 1693 Page 102 with the following:

Use: Place of Worship	
Gross Land Area	298,760 square feet (6.8 acres)
New Floor Area	26,500 square feet (40,000 square feet total)
Total Max. Floor Area Allowed	61,860 square feet
Maximum Vehicular Parking Spaces	300 spaces
Minimum Bicycle Parking Spaces	22 spaces
Impervious Surface	160,622 square feet
Sanctuary Seating	850 seats

3. Detailed Plan Review and Approval: Prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved. Such plans shall conform to plans approved by the Council and demonstrate compliance with all applicable regulations and standards of the Land Use Management Ordinance and the Design Manual.
4. Stipulation Review and Approval: Plans, plats, and associated detailed requirements as set forth in the stipulations of this resolution and incorporated into the Special Use Permit shall be reviewed and approved by the Town Manager, or his designee, as well as outside agencies, such as the North Carolina Department of Transportation (NCDOT), Orange Water and Sewer Authority (OWASA) and Duke Energy, where indicated.

Access

5. Accessibility Requirements: That prior to the issuance of a Certificate of Occupancy, the applicant shall provide the minimum required handicapped parking spaces and design all handicapped parking spaces, ramps, and crosswalks, and associated infrastructure according to Americans with Disabilities Act standards, North Carolina Building Code, American National Standards Institute (ANSI) Code, and Town standard.
6. Performance Bond: Prior to commencing construction activity for the improvements in the public right-of-way, a performance bond shall be provided to the Town Manager to ensure the construction and installation of the improvements in accordance with the standards and provisions approved by the Town as part of the project.
7. Parking Lot Signage: That prior to the issuance of a Certificate of Occupancy, the applicant shall provide a directional signage plan including entrance and exit signs subject to Town Manager approval.
8. Coleridge Drive Sidewalk: That prior to the issuance of a Certificate of Occupancy, a 5-foot sidewalk be constructed along the Coleridge Drive property between the proposed and southern-most existing driveways.
9. Coleridge Drive Crosswalks: That the applicant install two pedestrian crosswalks on Coleridge Drive, one at each of the bus shelters on the west side of Coleridge Drive, with ADA ramps on each side. The locations shall be approved by the Town Manager prior to the issuance of a Zoning Compliance Permit.
10. Sage Road Sidewalk: That a sidewalk from the parking lot to Sage Road be constructed. Pedestrian access from this sidewalk through the parking lot and to the proposed expansion facility shall be constructed.
11. Grading for Future Coleridge Drive Sidewalks: That where no sidewalk is proposed along the Coleridge Drive frontage, the land be graded for future sidewalk installation.

Transportation

12. Repairs in Public Right-of-Way: Prior to the issuance of a Certificate of Occupancy, it will be necessary to repair all damage for work in the public right-of-way related to the construction of this project. The design must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit.
13. Work Zone Traffic Control Plan: Prior to the issuance of a Zoning Compliance Permit, it will be necessary to provide a Work Zone Traffic Control Plan and a Construction Management Plan for approval by the Town Manager. The Work Zone Traffic Control Plan shall comply with the Manual on Uniform Traffic Control Devices. The Construction Management Plan shall provide staging, construction worker parking, construction vehicle routes, and hours of construction.
14. Park and Ride Parking Spaces: To plan for future utilization of the parking lot during weekdays, as determined necessary by the Town's Transit Department, the applicant reserves 45 parking spaces designated as Park and Ride spaces in the southern portion of the site. The spaces shall be identified on the Final Plans.
15. Bicycle Parking: That prior to the issuance of a Zoning Compliance Permit, the developer shall provide dimensioned details for a minimum of 17 bicycle parking spaces that comply with Town parking standards. The bicycle parking design must comply with the spring 2010 Association of Pedestrian and Bicycle Professionals Guidelines. The existing bicycle parking racks shall be upgraded to the inverted "U" design. That two of the proposed bicycle parking be Class I. Section 4.11 Bicycle Parking, of the Town Design Manual defines Class I bicycle parking as a locker, individually locked enclosure, or supervised area within a building providing protection for bicycle therein from theft, vandalism and weather. Wall mounted racks inside a room in the facility satisfy as Class I parking/space.
16. Driver Sight Lines: That clear drive sight lines be provided for the proposed driveway located on Coleridge Drive. The mature height of landscaping plantings, within the driveway sight distance triangles, shall not exceed 24 inches.
17. Transportation Management Plan: The a Transportation Management Plan (TMP) be prepared for this project with annual updates required. The required components of the Transportation Management Plan include:
 - Designation of a Transportation Coordinator to communicate and promote alternate modes of transportation.
 - Submission of an Occupancy Survey due 90 days after the issuance of the final Certificate of Occupancy.
 - Submission of an updated annual Transportation Management Plan Report and Resident and Employee Surveys during survey years.
 - Measures to gradually attain the goals of the program.
 - Annual survey of employees for any increase in demand for additional bicycle parking.

Landscape and Architecture

18. Landscape Protection: Prior to the issuance of a Zoning Compliance Permit, a detailed Landscape Protection Plan shall be approved. The plan shall include which trees will be removed and which will be preserved, critical root zones of all rare and specimen trees, and clearly indicate names and species.
19. Tree Protection Fencing Prior to Construction: Prior to the issuance of a Zoning Compliance Permit, the developer shall provide a note on the Final Plans indicating that tree protection fencing will be installed prior to land-disturbing activity on the site. The Town standard landscaping protection notes include placement of tree protection fencing around the construction limits, construction parking, and materials staging/storage areas , and shall be subject to Town Manager approval.
20. Landscape Planting Plan: Prior to the issuance of a Zoning Compliance Permit, the developer shall provide a detailed Landscape Planting Plan with a detailed planting list, subject to Town Manager approval. The Plan shall include canopy trees to shade surface any surface parking areas.
21. Northern Buffer: To minimize the visual impact of the proposed northern parking lot, a 25' landscape buffer, with planting intensity equivalent to a Type 'C' buffer, shall be provided for the buffer on Coleridge Road between the new northern driveway and Sage Road. The plant material within this buffer shall contain a minimum of 50% evergreen plant material, including low ornamental plantings, similar in type to plantings used at the Presque Isle entrance as shown on the Landscape Plan.
22. Invasive Exotic Vegetation: That prior to the issuance of a Zoning Compliance Permit, the applicant shall identify on the planting plan, known invasive exotic species of vegetation, as defined by the [Southeast Exotic Pest Plant Council \(SE-EPPC\)](http://www.se-eppc.org/weeds.cfm)¹ and provide notes indicating removal from the landscape buffer areas, prior to planting.
23. Permeable Pavers: That the applicant use “grasspave” and/or permeable pavers where possible and appropriate.
24. Native, Drought-Tolerant Plantings: That the applicant maximize the use of native and drought-tolerant species for new plantings
25. Community Design Commission Approval: Prior to the issuance of a Zoning Compliance Permit the applicant shall obtain Community Design Commission approval of building elevations, including the location and screening of all HVAC/Air Handling Units for this project as well as a lighting plan and shall take additional care during review to ensure that the proposed lighting plan will minimize 1) upward light pollution and 2) off-site spillage of light.

¹<http://www.se-eppc.org/weeds.cfm>

Environment

26. Energy Management Plan: That prior to the issuance of a Zoning Compliance Permit, the applicant shall provide an Energy Management Plan (EMP) for Town approval. The Energy Management Plan shall include the energy performance of the building and a goal of 20 percent more energy efficient feature relative to the 2010 energy efficiency standard of the American Society of Heating, Refrigeration, and Air Conditioning Engineers (ASHRAE).

Stormwater Management

27. Silt Control: That the developer takes appropriate measures to prevent and remove the deposit of wet or dry silt on adjacent paved roadways.
28. Erosion Control Inspections: That, in addition to the requirement during construction for inspection after every rainfall, the developer shall inspect the erosion and sediment control devices daily, make any necessary repairs or adjustments to the devices, and maintain inspection logs documenting the daily inspections and any necessary repairs.
29. As-Built Plans: That prior to the issuance of a Certificate of Occupancy, the applicant shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88.
30. Phasing Plan: That prior to the issuance of a Zoning Compliance Permit, the applicant shall obtain approval of a Phasing Plan that provides details of which improvements are to be constructed during each phase. The phasing plan shall detail public improvements, and stormwater management structures will be completed in each phase prior to requesting a Certificate of Occupancy. Construction for any phase may not begin until all public improvements in previous phases are complete, with a note to this effect on the final plans and plats.
31. Repair/Replacement of Damaged Stormwater Infrastructure: Existing stormwater infrastructure that is damaged as a result the project demolition or construction must be repaired or replaced, as specified by the Stormwater Management Engineer, prior to requesting a Certificate of Occupancy.
32. Erosion Control Bond: If one acre or more is uncovered by land-disturbing activities for this project, then a performance guarantee in accordance with Section 5-97.1 Bonds of the Town Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities.

Water, Sewer, and Other Utilities

33. Utility/Lighting Plan Approval: That the final utility/lighting plan shall be approved by Orange Water and Sewer Authority, Duke Energy Company, and other local utility service providers, and the Town Manager before the issuance of a Zoning Compliance Permit. The property owner shall be responsible for assuring that these utilities can continue to serve the

development. In addition, detailed construction drawings shall be submitted to OWASA for review/approval prior to the issuance of a Zoning Compliance Permit.

34. Lighting Plan: That prior to the issuance of a Zoning Compliance Permit, the developer shall submit site plans and other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance including submission of a lighting plan that provides for adequate lighting on public sidewalks, including driveway crossings and beneath awnings, demonstrates compliance with Town standards, and is sealed by a Professional Engineer, for Town Manager approval.
35. Relocation of Overhead Utilities Underground: Prior to the issuance of a Certificate of Occupancy, it will be necessary to provide for the underground installation of all public utilities as required by Section 5.12.2 of the Land Use Management Ordinance.
36. Water/Sewer Line Construction: That all public water and sewer plans be approved by OWASA and constructed according to its standards. Where sewer lines are located beneath drive aisles and parking areas, construction methods approved by OWASA shall be employed to ensure that sewer lines will not be damaged by heavy service vehicles. That prior to the issuance of a Zoning Compliance Permit, final plans shall be approved by OWASA and the Town Manager.
37. OWASA Approval: That prior to the issuance of a Zoning Compliance Permit, easement plats and documentation as required by OWASA and the Town Manager shall be recorded if necessary.

Fire Safety

38. Fire Sprinklers: That the applicant shall install sprinklers under the North Carolina Fire Code prior to the issuance of a Certificate of Occupancy. Prior to the issuance of a Zoning Compliance Permit, the plans shall show all proposed fire department connections to such systems.
39. Hydrants Active: That the applicant shall provide active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. That fire protection systems shall be installed according to Town Ordinance, the NC Fire Code, and NFPA 13.
40. Fire Apparatus Access Roads: Any fire apparatus access roads (any public/private street, parking lot access, fire lanes and access roadways) used for fire department access shall be all-weather and designed to carry the imposed load of fire apparatus weighing at least 75,000 lbs. Fire apparatus access roads shall have a minimum width of 20' exclusive of shoulders with an overhead clearance of at least 13' 6" for structures not exceeding 30' in height and shall provide access to within 150' of all exterior portions of the building. Structures exceeding 30' in height shall be provided with an aerial apparatus access road 26' in width in the immediate vicinity of the building or portion thereof and shall provide at least one of the required access roads to be located not less than 15' and not more than 30' from the structure parallel to one entire side of the structure.

41. Fire Grades: Fire apparatus access roads shall not exceed 10% in grade unless approved by the fire chief, and all approach and departure angles shall be within the limits established based on the Department's apparatus.
42. Fire Flow: Fire hydrant must be within 500' of the building and provide the calculated gallons per minute with a residual pressure of 20 pounds per square inch. The calculations should be sealed by a professional engineer licensed in the State of North Carolina and accompanied by a water supply flow test conducted within one year of the submittal.
43. Fire Lane Marking: Where required, approved marking signs including the words, NO PARKING-FIRE LANE signs shall be provided for fire apparatus access roads to identify such roads.
44. Fire Hydrant and FDC Locations: That the Final Plans shall indicate the locations of existing and proposed fire hydrants and Fire Department Connections (FDC). Fire Department Connections shall be located on the street side of the building within 100 feet of a hydrant. Hydrant spacing shall comply with the Town Design Manual. Design shall be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit.
45. Firefighting Access During Construction: That as required by NC Fire Code (Section 1410.1 Required Access), vehicle access for firefighting shall be provided to all construction or demolition sites including vehicle access to within 100 feet of temporary or permanent fire department connections and hydrants. Vehicle access shall be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions.

Solid Waste Management and Recycling

46. Solid Waste Management Plan: That prior to the issuance of a Zoning Compliance Permit a detailed Solid Waste Management Plan, including a recycling plan and a plan for managing and minimizing construction debris, shall be approved by the Town Manager. The plan shall include dimensioned, scaled details of any proposed refuse/recycling collection areas, associated screening, and protective bollards, if applicable. Each bulk waste container shall be labeled as to type of material to be collected. Prior to the issuance of a Zoning Compliance Permit, the developer shall provide documentation of an agreement for solid waste collection if by a private provider.
47. Construction Waste: Clean wood waste, scrap metal and corrugated cardboard, all present in construction waste, must be recycled. All haulers of construction waste must be properly licensed. The developer shall provide the name of the permitted waste disposal facility to which any land clearing or demolition waste will be delivered.

State and Federal Approvals

48. State or Federal Approvals: That any required State or federal permits or encroachment agreements (e.g., 401 water quality certification, 404 permit) shall be approved and copies of the approved permits and agreements be submitted to the Town of Chapel Hill prior to the issuance of a Zoning Compliance Permit.

49. North Carolina Department of Transportation Approvals: Prior to issuance of a Zoning Compliance Permit, plans for any improvements to State-maintained roads or in associated rights-of-way shall be approved by NCDOT.

Miscellaneous

50. Construction Management Plan: That a Construction Management Plan be approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance.
51. Traffic and Pedestrian Control Plan: That the applicant shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the applicant must apply to the Town Manager for a lane or street closure permit.
52. Construction Sign Required: That the applicant shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. (5.14.3(g) of Land Use Management Ordinance). The sign shall be non-illuminated, and shall consist of light letters on a dark background. That prior to the issuance of a Zoning Compliance Permit, a detail of the sign shall be reviewed and approved by the Town Manager.
53. Open Burning: That the open burning of trees, limbs, stumps, and construction debris associated with this development is prohibited.
54. Detailed Plans: That prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Land Use Management Ordinance and the Design Manual.
55. As-Built Plans: That prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces. The as-built plans should be in DXF binary format using State plane coordinates

and NAVD 88. The developers shall also contact the Town's Engineering and Design Services Division for address assignment of each unit.

56. Vested Right: This Special Use Permit constitutes a site specific development plan establishing a vested right as provided by N.C.G.S. Section 160A-385.1 and Appendix A of the Town Code.
57. Continued Validity: That continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.
58. Non-Severability: That if any of the above conditions is held to be invalid, approval in its entirety shall be void.

BE IT FURTHER RESOLVED that the Council hereby approves the application for a Special Use Permit Modification for the Grace Church Expansion at 200 Sage Road.

This the 22nd day of June, 2015.

RESOLUTION B
(Denying the Special Use Permit Application)

A RESOLUTION DENYING AN APPLICATION FOR SPECIAL USE PERMIT MODIFICATION FOR GRACE CHURCH EXPANSION, 200 SAGE ROAD (PROJECT #14-026) (2015-06-22/R-12)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Special Use Permit Modification application proposed by Coulter Jewell Thames PA for Grace Church Expansion at 200 Sage Road, having applied to the Town for a modification to an existing Special Use Permit, approved by the Town on May 8, 1995 (recorded in Deed Book 1693, Page 102 at the Orange County Register of Deeds office), on property identified as Orange County Property Identifier Number 9890-50-3171, located in the Residential-2 (R-2) and Residential-4 (R-4) zoning districts, if developed according to the Site Plan dated November 11, 2014, revised March 30, 2015, and the conditions listed below would not:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

BE IT FURTHER RESOLVED that the Town Council hereby denies the application for a Special Use Permit Modification for Grace Church Expansion at 200 Sage Road.

This the 22nd day of June, 2015.

SPECIAL USE PERMIT APPLICATION



TOWN OF CHAPEL HILL
Planning Department
 405 Martin Luther King Jr. Blvd
 Chapel Hill, NC 27514
 phone (919) 968-2728 fax (919) 969-2014
 www.townofchapelhill.org

Parcel Identifier Number (PIN): 9890-50-3171

Date: 11/24/2014

Section A: Project Information

Project Name: Grace Church Expansion
 Property Address: 200 Sage Road, Chapel Hill Zip Code: 27514
 Use Groups (A, B, and/or C): B Existing Zoning District: RS-4 and RS-2
 Project Description: Building expansion to the existing church facility,
including site improvements to
parking, stormwater, and landscaping.

Section B: Applicant, Owner and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed)

Name: Coulter Jewell Thames PA - Jeremy Anderson
 Address: 111 West Main St.
 City: Durham State: NC Zip Code: 27701
 Phone: 919-682-0368 Email: jeremy.anderson@cjtpa.com

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature:  Date: 11/24/2014

Owner/Contract Purchaser Information:

☒ Owner ☐ Contract Purchaser

Name: Grace New Testament Church
 Address: 200 Sage Road
 City: Chapel Hill State: NC Zip Code: 27514
 Phone: 919-968-1420 Email: johnathon@gracelife.com

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature:  Date: 11/5/14



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section A: Project Information

Application type: Special Use PermitDate: 11/24/2014Project Name: Grace Church

Use Type: (check/list all that apply)

☐ Office/Institutional ☐ Residential ☐ Mixed-Use ☒ Other: Place of Worship

Overlay District: (check all those that apply)

☐ Historic District ☐ Neighborhood Conservation District ☐ Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	271,600	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=	27,060	sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	298,760	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

☐ Jordan Buffer ☐ Resource Conservation District ☐ 100 Year Floodplain ☐ Watershed Protection District

Land Disturbance	Total (sq ft)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, all grading, including off-site clearing)	210,584
Area of Land Disturbance within RCD	0
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Impervious Surface Area (ISA)	74,745		82,843	157,588
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA) %	25.0%		27.7%	52.7%
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section D: Dimensions

Dimensional Unit (sq ft)	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Number of Buildings 1	14,400 sf	0 sf	23,600 sf	40,000 sf
Number of Floors	1		1	
Recreational Space				

Residential Space

Dimensional Unit (sq ft)	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Floor Area (all floors – heated and unheated)	0-n/a			
Total Square Footage of All Units				
Total Square Footage of Affordable Units				
Total Residential Density				
Number of Dwelling Units				
Number of Affordable Dwelling Units				
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship	14,400 sf	26,600 sf	# of Seats	400	850
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street R2/R4	26' / 22'	38'	38'
	Interior (neighboring property lines)	N/A		
	Solar (northern property line)	13' / 9'	n/a	n/a
Height (maximum)	Primary R2/R4	29' / 34'		34' (R4)
	Secondary R2/R4	50' / 60'		
Streets	Frontages Coleridge / Sage		938' / 1,368'	
	Widths Coleridge / Sage		31' / 62'	



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

(Note: For approval of proposed street names, contact the Engineering Department)

Street Name	Right-of-way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing curb/gutter
Sage Road	90'	62'	5	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
Coleridge Road	60'	31'	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	162	416	292
Handicap Spaces	6	9	8
Total Spaces	170	425	300
Loading Spaces			
Bicycle Spaces	8	17	20
Surface Type	asphalt pavement		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
Sage Road	30'	30'	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
Coleridge Road	15'	15'	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section I: Land Use Intensity

Existing Zoning District:

R2 = 45,846

Proposed Zoning Change (if any):

R4 = 225,968

Note: Refer to Table 3.8-1 (Dimensional Matrix) in the Land Use Management Ordinance for help completing this table.

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
R-2	0.093					4,690	
R-4	0.23					57,170	
TOTAL						61,860	
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919)968-2728 or at planning@townofchapelhill.org.

	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$ <input type="text"/>
	Pre-application meeting – with appropriate staff	
	Digital Files - provide digital files of all plans and documents	
	Recorded Plat or Deed of Property	
	Project Fact Sheet	
	Traffic Impact Statement – completed by Town's consultant (or exemption)	
	Description of Public Art Proposal	
	Statement of Justification	
	Response to Community Design Commission and Town Council Concept Plan comments	
	Affordable Housing Proposal, if applicable	
	Provide existing Special Use Permit, if Modification	
	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)	
	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$ <input type="text"/>
	Written Narrative describing the proposal	
	Resource Conservation District, Floodplain, & Jordan Buffers Determination - necessary for all submittals	
	Jurisdictional Wetland Determination – if applicable	
	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)	
	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)	
	Reduced Site Plan Set (reduced to 8.5"x11")	

Stormwater Impact Statement (1 copy to be submitted)

- Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- Description of land uses and area (in square footage)
- Existing and proposed Impervious surface area in square feet for all subareas and project area
- Ground cover and uses information
- Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- Time of concentration calculations and assumptions
- Topography (2-foot contours)
- Pertinent on-site and off-site drainage conditions
- Upstream and/or downstream volumes
- Discharges and velocities
- Backwater elevations and effects on existing drainage conveyance facilities
- Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm
- r) 85% TSS removal for post-development stormwater run-off
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24"x36")

Plans should be legible and clearly drawn. All plan sets sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property Boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, Design team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names.
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on & off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking . Typical pavement sections & surface type
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross-sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams, note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection /silt fence location
- h) Pre-construction/demolition conference note
- j) Landscape protection supervisor note
- k) Existing and proposed tree canopy calculations, if applicable

Planting Plan

- a) Dimensioned and labeled perimeter landscape bufferyard
- b) Off-site buffer
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25% and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting details



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE Standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade).



Coulter | Jewell | Thames, PA

111 WEST MAIN STREET
DURHAM, NORTH CAROLINA 27701
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Planning for the Future

SPECIAL USE PERMIT application

STATEMENT OF JUSTIFICATION

GRACE CHURCH - CHAPEL HILL, NC

~~November 24, 2014~~

April 02, 2015

**Submitted by: Coulter Jewell Thames PA
Patrick Morgan-architect**

Grace Church requests a Special Use Permit (SUP) for the subject property at 200 Sage Road to allow for the expansion to the existing Church facility and associated site improvements. The continued growth of the congregation has allowed the church the ability to expanded existing facility and fully realize its original master plan developed and approved in 1995. The expansion to the 14,400 sf building would create a new sanitary space and various auxiliary spaces such as classrooms, offices, and fellowship areas. The proposed expansion would bring the total building square footage to 40,000 sf and parking of approximately 300 onsite spaces. The property is zoned R-2 and R-4, with site access via 2 driveways off of Coleridge road, a secondary Road adjoining Sage Road.

As required by Section 4.5-Special Use Permits, four Findings of Fact must be made by the Town Manager, Planning Board and Town Council in order to approve a Special Use Permit. The applicant believes that the requested SUP is justified by all of the required findings prescribed in The Town of Chapel Hill Land Use Management Ordinance (LUMO) Section 4.5. Those findings, and our rational for how we address them, are herein submitted as outlined in Section 4.5.2 (a) 1-4:

FINDING #1: That the use or development is located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare.

Traffic, access and circulation: A traffic study is pending.

The access to the project site is by use of two existing driveways, with one additional driveway being proposed for the new parking lot. All three driveways are located off of Coleridge Road, a secondary road with two intersections off of Sage Road.

Sidewalks exist on both sides of Sage Road, and on the opposite side of Coleridge Road from the project site. There are two bus stops located on Coleridge Road and sidewalk connections would be provided to both of these. In addition, at least one sidewalk connection would be provided between the project site and the existing sidewalks on Sage Road, a major sidewalk connection to residential, retail, and major transportation corridors.

Public Utilities: The project will be served by the readily available utilities that currently serve the existing building. Water and sewer service is available in Sage Road.

Fire Protection: The proposed building expansion will be protected with a fire sprinkler system. Fire access drives will be provided around the church as required by the fire department for adequate fire protection coverage.

Environmental Protection: Erosion Control measures will be installed prior to beginning construction to prevent sediment from leaving the construction area.

In November 2014, Town of Chapel Hill Public Works staff reviewed an Orange County Soil Survey stream feature onsite, draining east under Sage Road. Staff determined that the feature was not a jurisdictional stream, thus a buffered stream is not present on the site. There is no Resource Conservation District (RCD), floodplain, floodway, or wetlands located onsite.

The proposed expansion will include significant improvements to the stormwater run-off treatment measures onsite. The existing facility will include both improvements to size of the stormwater facility, to better detain larger stormwater events, and to the type of facility, to better treat the quality of the water leaving the site.

Garbage and recycling collection: The existing single dumpster will be removed and replaced with a double dumpster pad including recycling containers, and screen wall and landscaping. This improvement will not only provide additional improved recycling opportunities, but the facility will be relocated away from public view and screened to meet town standards for better noise and odor control.

Site Lighting: Site lighting will meet Town requirements so as not to impact off-site properties, and will conform to ASHRAE “Dark Sky” standards

FINDING #2: *That the use or development complies with all required regulations and standards of this chapter, including all applicable provisions of articles 3 and 5, the applicable specific*

standards contained in the supplemental use regulations (article 6), and with all other applicable regulations.

This project complies with the standards of Chapter 4.5 of the LUMO, and meets all applicable provisions of Articles 3 and the applicable standards contained in Article 6.

A Place of Worship is not specifically listed as a use within Article 6.

Compliance with the LUMO includes buffers, setbacks, building height, within the prescribed minimum/maximum parking requirements, bicycle parking, and tree canopy requirements.

FINDING #3: *That the use or development is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity.*

The existing project as approved and the proposed addition will maintain or enhance the value of contiguous property.

This determination was inherently made by the Council as part of the approval of the original SUP in 1995, and this new SUP to allow for the building addition will not decrease values.

The proposed modification will provide significant aesthetic site improvements through installation of landscape parking areas, new internal sidewalks, improved stormwater BMP, and significant planting improvements. The proposal will meet the new LUMO stormwater management requirements, which are even more stringent than those under which the project was originally approved.

FINDING #4: *That the use or development conforms with the general plans for the physical development of the town as embodied in this appendix and in the comprehensive plan.*

The Grace Church is an existing church facility, wishing to expand its building to further its ability to serve the surrounding community. As outlined in the Developer's Program Statement, the existing Special Use Permit expired in 2005, however the project is very similar in the development intensity, use, and general design as approved in that SUP. Although the existing SUP was approved in 1995, we feel that the Goals and Themes used to evaluate that proposal hold true today for this request. We believe this proposal complies as much as possible with the goals set forth in the Chapel Hill 2020 Comprehensive Plan. The goals that can be addressed by this development are several of the 2020 Themes, community character, and transportation.

The existing 6.2 acre site, located at 200 Sage Road in northern Chapel Hill, is not within a specific focus area within the 2020 Comprehensive Plan. The 2020 Comprehensive Plan is organized around six main themes, as determined by community outreach meeting and various work sessions. Not all of the themes would apply to this use in this location, but we do feel that the Church meets many of the general themes and goals outlined in the 2020 Comprehensive Plan:

Theme 1: *A Place for Everyone.* The Grace Church prides itself on being an active and engaged member of its immediate community and surrounding neighbors. The church opens

its doors to the community in many civic ways, from regular worship services to outreach and community programs. Churches are very important components of a community in the sense that they serve as places to gather, hold meetings of various forms and topics, provide spiritual guidance and childhood development.

Theme 2: *Getting around:* The Church is located adjacent to two Chapel Hill Transit lines that provide a valuable transportation connection to the surrounding community, university, and downtown area. The site is also connected by means of pedestrian and bicycle routes. By use of the existing sidewalk network surrounding the site, the church is connected to surrounding business and neighborhoods via the public sidewalks. On the Town of Chapel Hill Bike Plan, Sage Road is identified as a proposed buffered bike lane, providing a protected route for cyclist to connect to other parts of town.

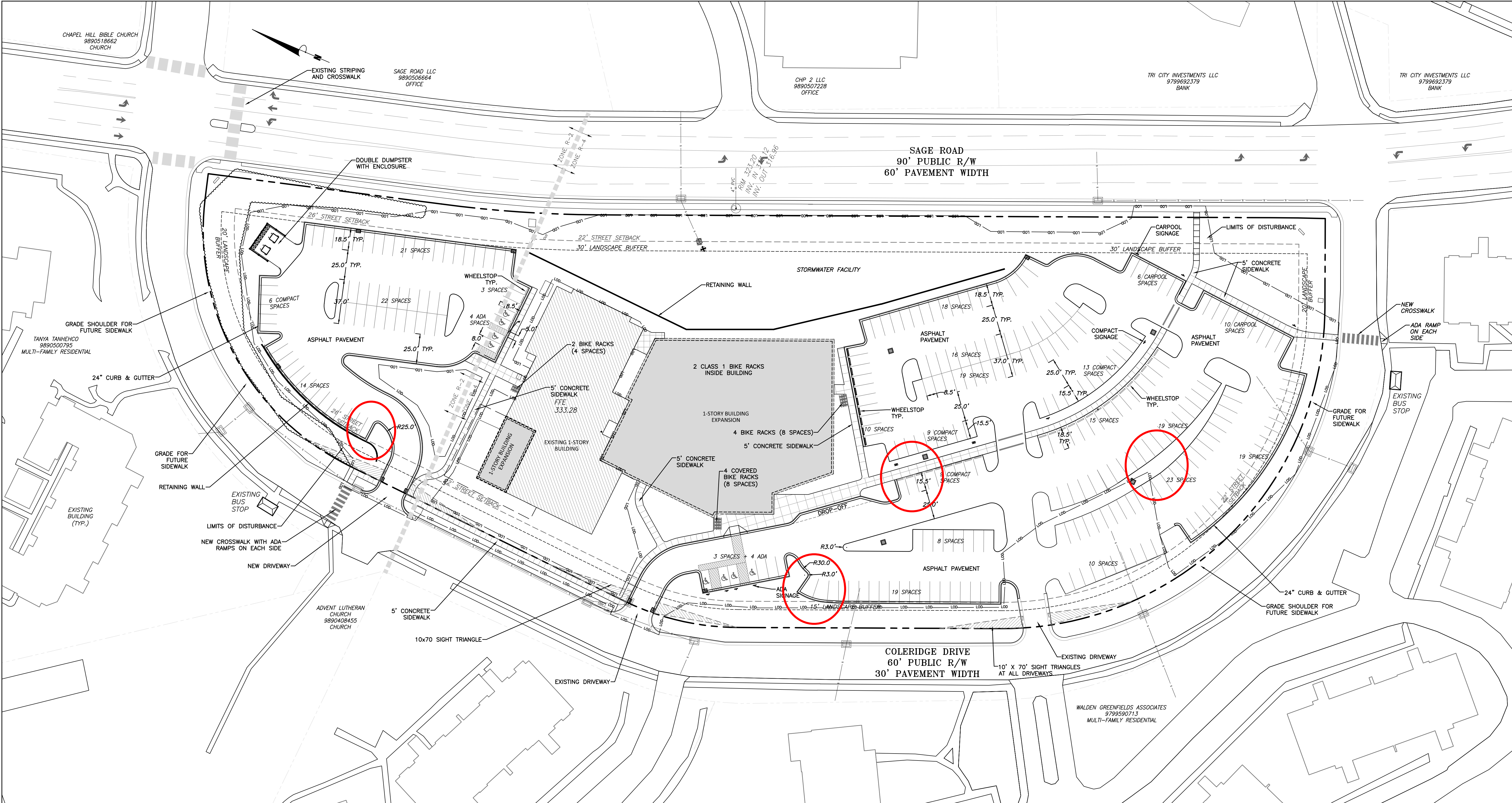
In addition the 2020 Comprehensive Plan, the Town has other plans, policies and visions that are used to guide development moving forward:

The development will support the Town's vision of community character by expanding on a church facility which has historically been an active and valuable member of its community. The expansion to the existing building will make it possible for the church to continue to serve the community and will at the same time improve the site functionality and appearance through landscaping, buffering and site amenities.

The development will support the Town's transportation plan. The proposed building expansion will provide for a larger sanctuary. The project site is currently served by 2 active Chapel Hill Transit lines, with multiple stops located immediately adjacent to the site on Coleridge Drive and on Sage Road. The convenient availability of these transit routes provides the opportunity for member and visitors to get to the Church without use of their personal vehicles.

The project site does not fall within any other Historic Districts, protected watersheds, or Neighborhood Conservation Districts.

In summary, Grace Church has been an energetic and active community member in its north Chapel Hill location for the past 15 years and is excited about the opportunity to expand its facility to effectively service the greater community, meet the needs of its growing congregation, and be an integral part of its Chapel Hill neighborhood.



1/C200
SITE LAYOUT PLAN
SCALE: 1"=40'

site plan notes

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE EXISTING CONDITION / DEMOLITION PLAN SHEETS C100 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- MASONRY WALLS WILL NOT BE REPAIRED BY THE TOWN RESULTING FROM MAINTENANCE ON TOWN OF CARY AND OWASA MAINTAINED UTILITIES.

LEGEND

Water Valve	⊗	Light Pole	○	OLP	○
Curb Inlet/Catch Basin	□	Sewer Cleanout	○	OCO	○
Mail Box	MB	Flared End Section	○		
Traffic Signal Box	TSB	Gas Valve	⊗	GV	⊗
Electric Transformer	ET	Existing Iron Pipe (3/4" unless noted)	○	IPS	○
Electric Junction Box	EJB	1/2" Iron Pipe Set	○	PK	●
Gas Meter	GM	Existing PK Nail	○	PKS	▲
Sanitary Sewer Manhole	SSM	Computed Point	○		
Storm Sewer Manhole	SSM	Concrete Monument	○		
Telephone Manhole	TM	Tree Line	---		
Electric Manhole	EM	Fence	---		
Sign	TEL	Underground Electric	---		
Telephone Pedestal	TEL	Underground Telephone	---		
Fire Hydrant	○	Gas Line	---		
Post Indicator Valve	○	Water Line	---		
Water Manhole	○	Overhead Utilities	---		
Water Meter	○	Storm Sewer	---		
Hot Box	○	Sanitary Sewer	---		
Utility Pole	○	Guard Rail	---		
		Building Wall	---		

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Project:
GRACE CHURCH EXPANSION

200 SAGE ROAD
CHAPEL HILL, NC 27514

ORANGE COUNTY
NORTH CAROLINA

PIN: 9890503171



PRELIMINARY
NOT FOR CONSTRUCTION
Job Number: 1339

Drawn	JSA, TRM, CLJ, MTC
Checked	JSA, CBM
Date	11-24-2014
Revisions	02-06-2015
TOWN COMMENTS	03-30-2015

SPECIAL USE PERMIT

Sheet Title:

SITE LAYOUT PLAN
Sheet Number
C200

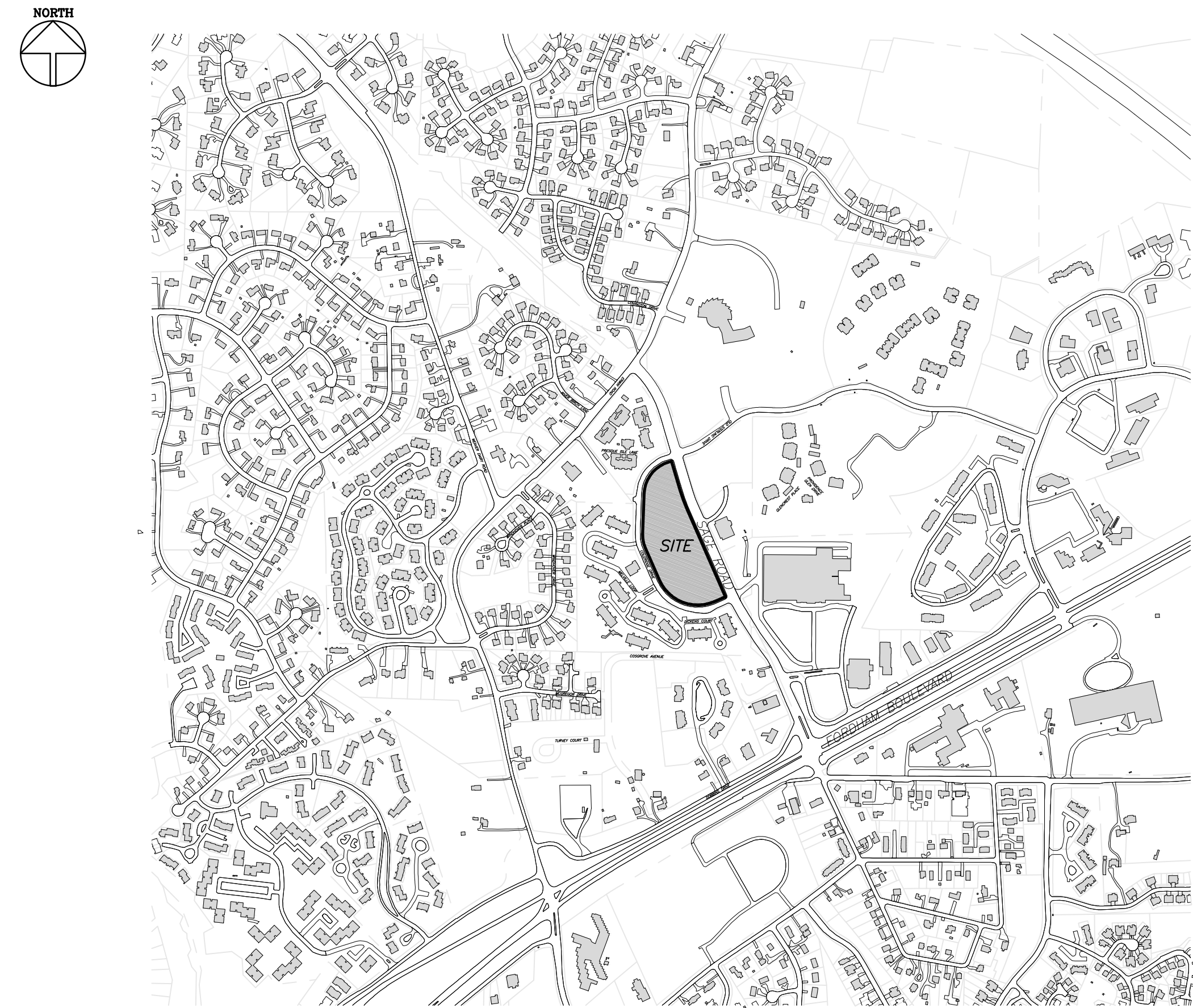
GRACE CHURCH EXPANSION

200 SAGE ROAD, CHAPEL HILL NORTH CAROLINA

PROJECT DATA

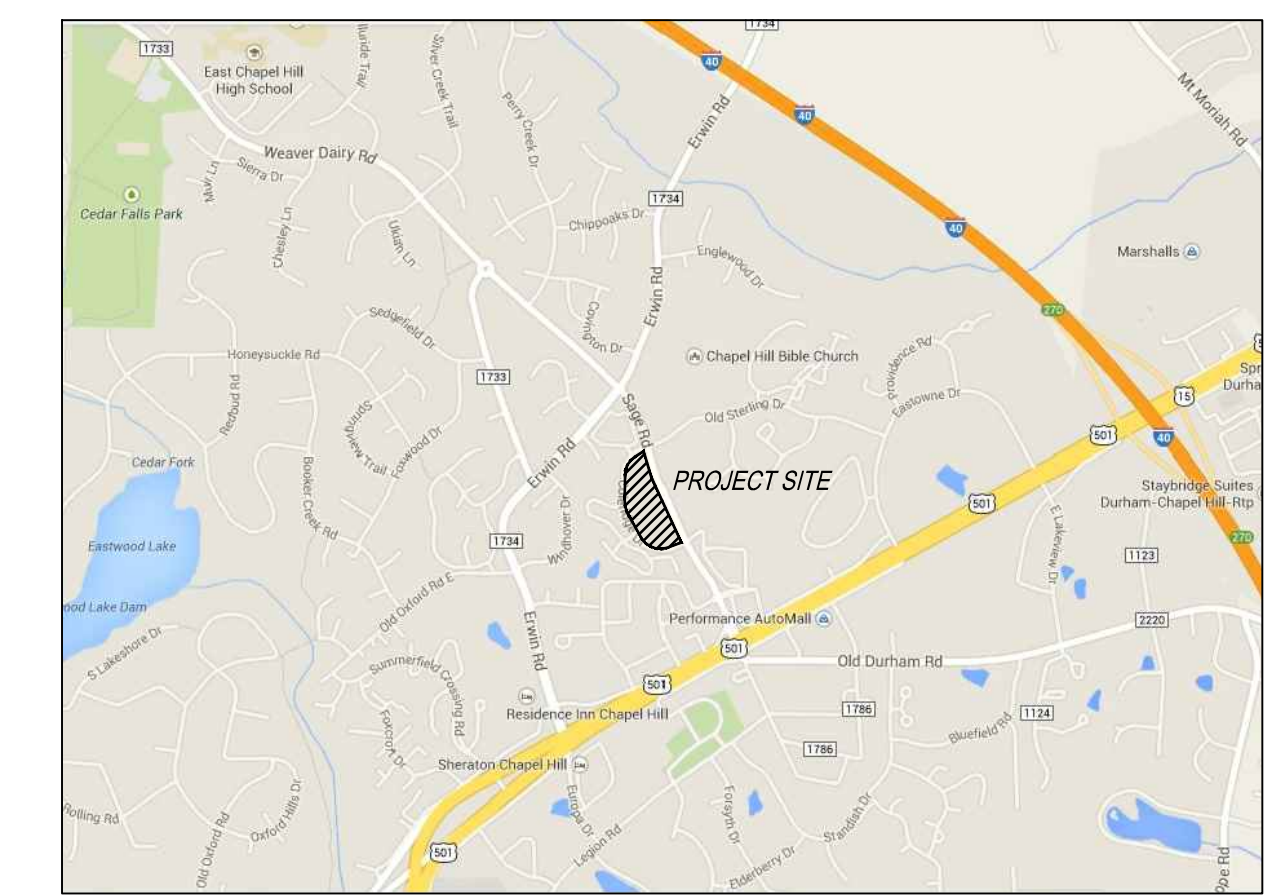
SITE INFORMATION	
OWNER	GRACE CHURCH
PIN	9890503171
ACREAGE	271,600 SF / 6.24 AC
DISTURBED AREA	210,584 SF / 4.83 AC
SITE AREA IN 100 YEAR FLOOD PLAIN (INCLUDES FLOODWAY)	N/A
EXISTING USE	PLACE OF WORSHIP
PROPOSED USE	PLACE OF WORSHIP (NO CHANGE)
SITE/PROJECT ADDRESS	200 SAGE ROAD CHAPEL HILL, NC 27514
ZONING INFORMATION	
EXISTING BY ZONING DISTRICT	R-4 & R-2
USE GROUP:	B
RIVER BASIN	CAPE FEAR
BUILDING INFORMATION	
EXISTING BUILDING SIZE:	14,400 SF
PROPOSED BUILDING ADDITION:	25,600 SF
TOTAL BUILDING SIZE	40,000 SF (850 SEAT SANCTUARY)
SITE INFORMATION	
VEHICULAR PARKING SPACES	
REQUIRED:	1 SPACE PER 5 SEATS = 170 SPACES
MINIMUM:	1 SPACE PER 2 SEATS = 425 SPACES
MAXIMUM:	
EXISTING:	142
PROPOSED:	158
TOTAL VEHICULAR PARKING SPACES:	8 ADA SPACES 37 COMPACT SPACES (12.3%) 239 REGULAR SPACES 16 CARPOOL SPACES 300 TOTAL PARKING SPACES
BICYCLE PARKING SPACES	
REQUIRED:	1 BICYCLE SPACE PER 50 SEATS (17 SPACES)
PROPOSED:	20 CLASS 2 BICYCLE SPACES (10 RACKS) 2 CLASS 1 INTERIOR BIKE SPACES (10%)
IMPERVIOUS SURFACE	
EXISTING:	74,745 SF
IMPERVIOUS PROPOSED:	82,843 SF
TOTAL IMPERVIOUS SURFACE:	157,588 SF
TREE CANOPY COVERAGE	RE: C500 LANDSCAPE PLAN

OVERALL SITE MAP



1" = 700'

VICINITY MAP



PROJECT NOTES

- TOPOGRAPHIC INFORMATION BASED ON SURVEY BY COULTER JEWELL THAMES PA DATED JANUARY, 2014.
- BUILDING ADDITION WILL BE SERVED VIA CONNECTION TO THE EXISTING BUILDING WATER AND SANITARY SEWER SYSTEM.
- THERE ARE TWO EXISTING TRANSIT STOPS ALONG COLERIDGE DRIVE.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.

RESOURCE CONSERVATION NOTES

- STREAM BUFFERS:
THERE ARE NO MAPPED STREAMS OR ASSOCIATED STREAM BUFFERS LOCATED ON SITE. A DETERMINATION WAS COMPLETED BY CHAPEL HILL PUBLIC WORKS TO VERIFY THAT THE STREAM SHOWING UP ON THE ORANGE COUNTY SOIL SURVEY IS NOT JURISDICTIONAL..
- FLOODPLAIN PROTECTION:
THE SITE IS NOT AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAPS 3710989000 L (MAY 16, 2008) AND 3710979900 K (FEBRUARY 2, 2007).
- STEEP SLOPE PROTECTION:
THERE ARE NO AREAS OF STEEP SLOPES GREATER THAN 15% LOCATED ON SITE.
- TREE SURVEY:
THE TREE SURVEY SHOWS ALL 18" CAL. OR LARGER TREES IS SHOWN ON THE EXISTING CONDITIONS PLAN.
- WETLANDS:
THERE ARE NO MAPPED WETLANDS ONSITE.
- TREE PROTECTION:
REFER TO SHEET C102 AND C500.

TOWN OF CHAPEL HILL NOTES

1. A FIRE FLOW REPORT SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A ZCP.
2. P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA-LICENSED PROFESSIONAL ENGINEER, THAT THE STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
3. AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DXF BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88.
4. JORDAN SURETY: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE OWNER SHALL POST A MAINTENANCE BOND OR OTHER SURETY INSTRUMENT SATISFACTORY TO THE TOWN MANAGER, IN AN AMOUNT EQUAL TO ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE CONSTRUCTION COST OF EACH STORMWATER MANAGEMENT FACILITY TO ASSURE MAINTENANCE, REPAIR, OR RECONSTRUCTION NECESSARY FOR ADEQUATE PERFORMANCE OF THE STORMWATER MANAGEMENT FACILITY, OR ESTABLISH A STORMWATER MAINTENANCE (SINKING FUND) BUDGET AND ESCROW ACCOUNT IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 5.19 OF THE LAND USE MANAGEMENT ORDINANCE.
5. STORMWATER FACILITIES, EASEMENTS, AND OPERATIONS AND MAINTENANCE PLANS: ALL STORMWATER DETENTION, TREATMENT AND CONVEYANCE FACILITIES LOCATED ON AND BELOW THE GROUND SHALL BE WHOLLY CONTAINED WITHIN AN EASEMENT ENTITLED: "RESERVED STORMWATER FACILITY EASEMENT HEREBY DEDICATED" AND SHALL BE RESERVED FROM ANY DEVELOPMENT WHICH WOULD OBSTRUCT OR CONSTRICT THE EFFECTIVE MANAGEMENT, CONTROL, AND CONVEYANCE OF STORMWATER FROM OR ACROSS THE PROPERTY, OTHER THAN THE APPROVED DESIGN AND OPERATION FUNCTIONS. A COPY OF THE FINAL PLAT OR EASEMENT EXHIBIT, SIGNED AND SEALED BY A NORTH CAROLINA-REGISTERED LAND SURVEYOR AND RECORDED BY THE COUNTY REGISTER OF DEEDS, AND CONTAINING THE FOLLOWING NOTES SHALL BE SUBMITTED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - ALL ENGINEERED STORMWATER MANAGEMENT CONTROL, TREATMENT, AND CONVEYANCE STRUCTURES ON AND BELOW THE GROUND SHALL BE WHOLLY LOCATED WITHIN AN EASEMENT ENTITLED: "RESERVED STORMWATER FACILITY EASEMENT HEREBY DEDICATED" AND SHALL BE RESERVED FROM ANY DEVELOPMENT WHICH WOULD OBSTRUCT OR CONSTRICT THE EFFECTIVE MANAGEMENT, CONTROL, AND CONVEYANCE OF STORMWATER FROM OR ACROSS THE PROPERTY, OTHER THAN THE APPROVED DESIGN AND OPERATION FUNCTIONS. A SUITABLE MAINTENANCE ACCESS (MINIMUM 20' WIDE) TO ACCOMMODATE HEAVY EQUIPMENT FROM THE NEAREST PUBLIC RIGHT-OF-WAY TO THE RESERVED STORMWATER FACILITY EASEMENT MUST BE PROVIDED AND SHOWN ON THE PLANS.
 - THE "RESERVED STORMWATER FACILITY EASEMENT(S)" AND THE FACILITIES IT/THEY PROTECT ARE CONSIDERED TO BE PRIVATE, WITH THE SOLE RESPONSIBILITY OF THE OWNER TO PROVIDE FOR ALL REQUIRED MAINTENANCE AND OPERATIONS AS APPROVED BY THE TOWN MANAGER.
 - THE RESERVED STORMWATER FACILITY EASEMENT AND THE OPERATIONS AND MAINTENANCE PLAN ARE BINDING ON THE OWNER, HEIRS, SUCCESSORS, AND ASSIGNS.
6. JORDAN STORMWATER MANAGEMENT FOR NEW DEVELOPMENT: THAT PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT, THE APPLICANT SHALL SUBMIT THE FINAL JORDAN ACCOUNTING TOOL SPREADSHEET, STORMWATER REPORT, AND PLANS FOR REVIEW AND APPROVAL BY THE TOWN MANAGER. THIS PROJECT MUST COMPLY WITH THE JORDAN STORMWATER MANAGEMENT REGULATIONS OF THE LAND USE MANAGEMENT ORDINANCE TO PROVIDE THE REQUIRED REDUCTIONS IN NITROGEN AND PHOSPHORUS LOADS FOR NEW DEVELOPMENT AND REDEVELOPMENT PROJECTS.
7. STORMWATER MANAGEMENT PLAN: THAT PRIOR TO THE ISSUANCE OF A ZONING COMPLIANCE PERMIT, THE APPLICANT SHALL SUBMIT A STORMWATER MANAGEMENT PLAN FOR REVIEW AND APPROVAL BY THE TOWN MANAGER. THIS PROJECT MUST COMPLY WITH THE STORMWATER MANAGEMENT REQUIREMENTS OF THE LAND USE MANAGEMENT ORDINANCE TO PROVIDE FOR 85 PERCENT TOTAL SUSPENDED SOLIDS REMOVAL FROM THE INCREASED IMPERVIOUS AREA, RETENTION FOR 2-5 DAYS OF THE INCREASED VOLUME OF STORMWATER RUNOFF FROM THE 2-YEAR, 24-HOUR STORM, AND CONTROL OF THE STORMWATER RUNOFF RATE FOR THE 1-YEAR, 2-YEAR, AND 25-YEAR STORMS.
8. IF DETERMINED NECESSARY AT ZCP STAGE, A TRANSPORTATION MANAGEMENT PLAN WILL BE PREPARED.

LIST OF SHEETS

C000	COVER SHEET
C100	AREA MAP
C101	EXISTING CONDITIONS PLAN
C102	DEMOLITION & CONSTRUCTION MANAGEMENT PLAN
C200	SITE LAYOUT PLAN
C300	GRADING AND STORM DRAINAGE PLAN
C400	EROSION CONTROL PLAN
C400	UTILITY AND LIGHTING PLAN
C500	LANDSCAPE PLAN
C600	SITE DETAILS
C601	SITE DETAILS

PROJECT TEAM:

ARCHITECT	CIVIL ENGINEER	LANDSCAPE ARCHITECT
PATRICK MORGAN	COULTER JEWELL THAMES PA	COULTER JEWELL THAMES PA
5295 COPPER DRIVE	111 WEST MAIN STREET	111 WEST MAIN STREET
COLORADO SPRINGS, CO 80918	DURHAM, NC, 27701	DURHAM, NC, 27701
P: 719-534-0453	P: 919.682.0368	P: 919.682.0368
PAT@PATRICKMORGANARCHITECT.COM	CHILL@CJTPA.COM	JANDERSON@CJTPA.COM



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Project:

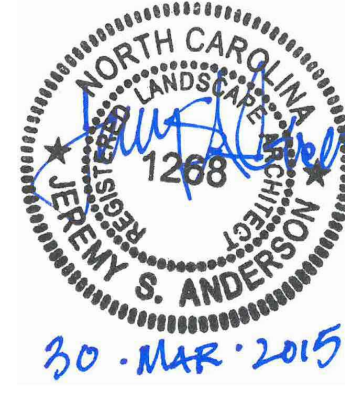
GRACE CHURCH
EXPANSION

200 SAGE ROAD
CHAPEL HILL, NC 27514

ORANGE COUNTY
NORTH CAROLINA

122

PIN: 9890503171



PRELIMINARY NOT FOR CONSTRUCTION	
Job Number: 1339	
Drawn	JSA, TRM, CLJ, MTC
Checked	JSA, CBM
Date	11-24-2014
Revisions	02-08-2015
TOWN COMMENTS	
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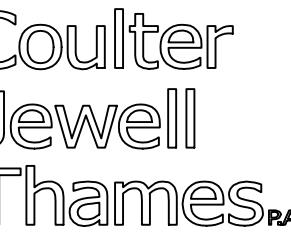
SPECIAL USE PERMIT

Sheet Title:

COVER SHEET

Sheet Number

C000



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ect:

CE CHURCH
ANSION

SAGE ROAD
EL HILL, NC 27514

GEORGE COUNTY
SOUTH CAROLINA

23

890503171

PRELIMINARY
FOR CONSTRUCTION

Number: 1339

	JSA, TRM, CLJ, MTC
d	JSA, CBM
	11-24-2014
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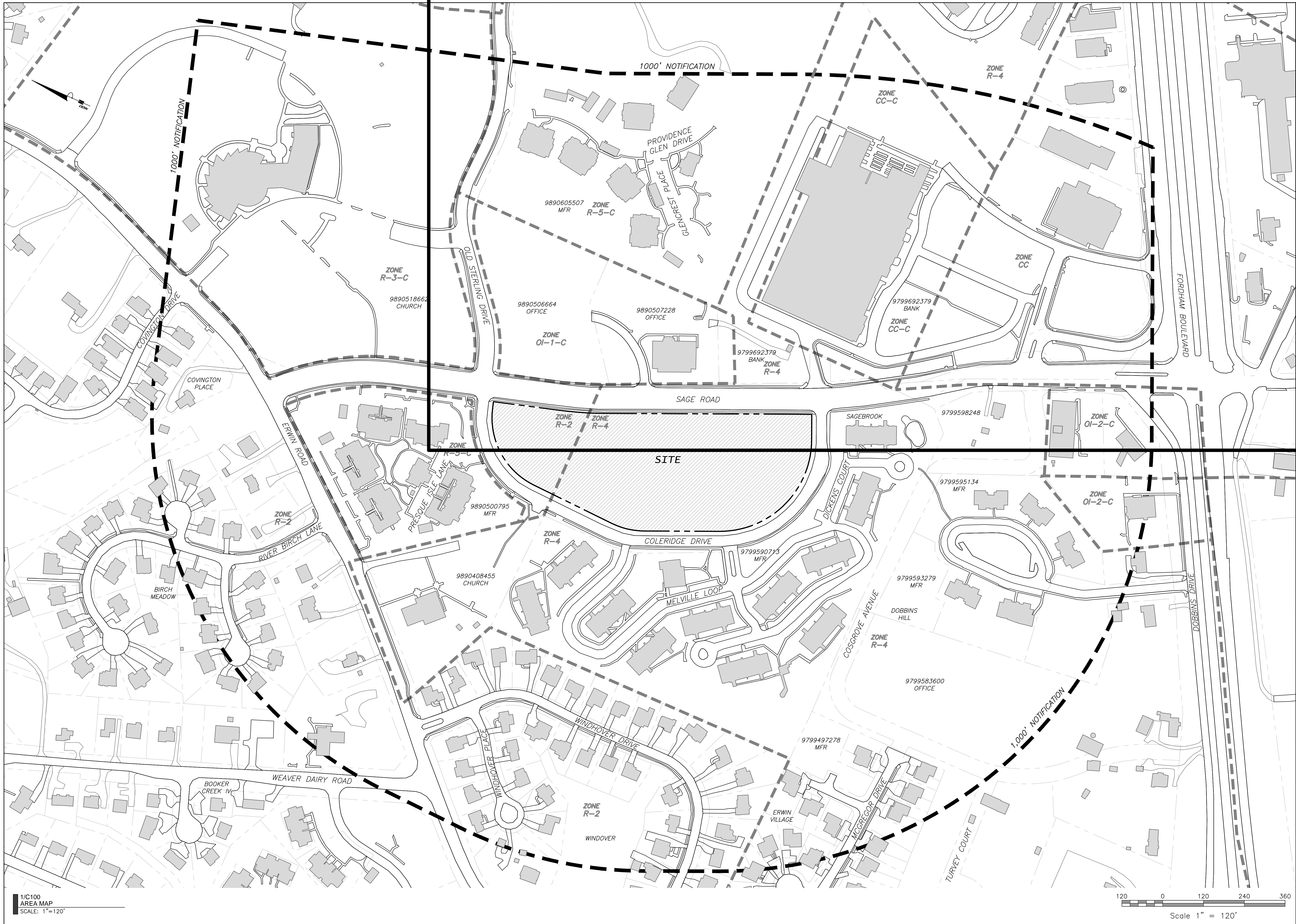
SPECIAL USE PERMIT

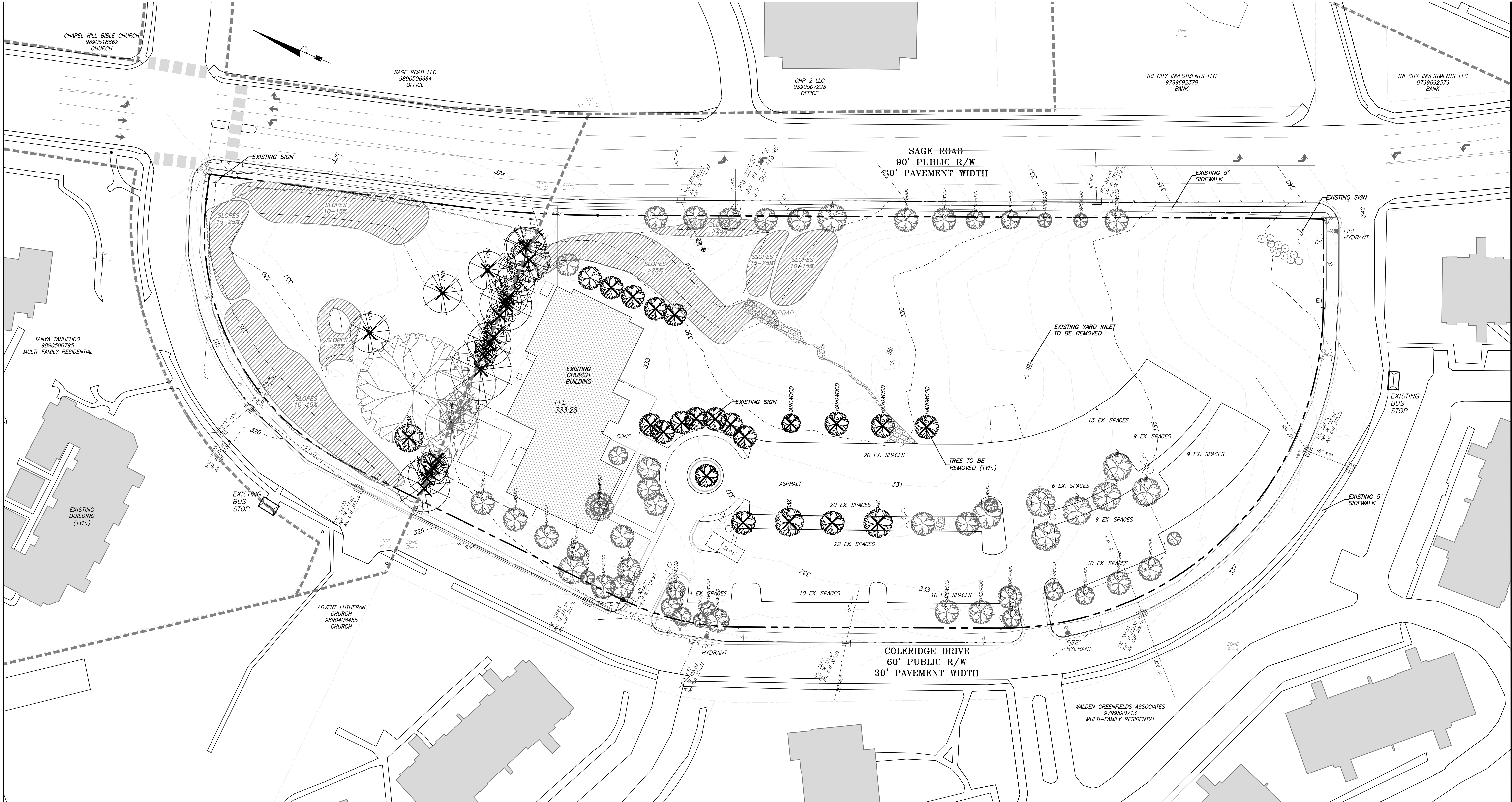
Title:

AREA MAP

t Number

C100





1/C101
EXISTING CONDITIONS PLAN
SCALE: 1"=40'

SITE NOTES

TOPOGRAPHICAL AND SITE INFO TAKEN FROM SURVEY PROVIDED BY COULTER JEWELL THAMES, PA DATED JANUARY 2014.

demolition notes

1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
2. SEE SITE PLAN SHEET C101 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
3. UTILITIES: SEE UTILITY PLAN C400. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
4. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
5. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
6. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
7. CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
8. ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION. THE METER, IF PRESENT, SHALL BE RETURNED TO OWASA.
9. ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
10. ALL PAVEMENT PATCHING SHALL BE PERFORMED PER CITY SPECIFICATIONS AND STANDARDS.
11. A DECONSTRUCTION ASSESSMENT WILL BE REQUIRED BEFORE A DEMOLITION PERMIT WILL BE ISSUED FOR THE EXISTING 2 STORY STRUCTURE.
12. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
13. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
14. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
15. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

TOPOGRAPHY/SLOPES:

THE SITE SLOPES FROM WEST TO EAST, AND DROPS APPROXIMATELY 23 FEET OVER THE LENGTH OF THE SITE.

THE SITE HAS SLOPES OF 1% TO OVER 25%. THE MAJORITY OF THE SITE HAS SLOPES UNDER 10%.

EXISTING SLOPES:
THERE ARE NO STEEP SLOPES TO NOTE ON THIS SITE.

HYDROLOGICAL FEATURES/DRAINAGE

THE SITE GENERALLY DRAINS FROM WEST TO EAST, CONCENTRATING AT AN EXISTING DRY STORMWATER POND AT THE WESTERN PROPERTY LINE, ADJACENT TO SAGE ROAD.

SOIL TYPES

THE USDA / NRCS WEB SOIL SURVEY CLASSIFIES TWO SOIL TYPES ON THIS SITE.
-Crb: CREEDMOOR FINE LOAM
-Wic2: WHITE STORE CLAY LOAM

SUN/SHADE PATTERNS

THE SUN WILL PASS AROUND THE SOUTH SIDE OF THE STRUCTURE DURING THE COURSE OF THE DAY. THE FRONT ENTRY WILL GET MORNING SUN. EXISTING TREES WILL BE RETAINED SOUTH AND WEST OF THE BUILDING TO PROVIDE SHADE FOR THESE SIDES OF THE BUILDING.

TREES WILL BE ADDED TO THE NEW PARKING TO PROVIDE SHADE AND MEET MINIMUM REQUIREMENTS. TREES AND SHRUBS WILL BE ADDED TO ALL UNPAVED AREAS TO PROVIDE AS MUCH SHADE AND LANDSCAPING AS POSSIBLE.

FEMA FLOODPLAIN INFORMATION.

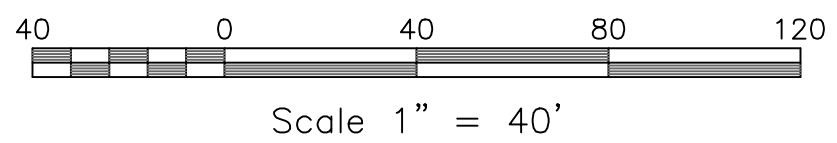
THERE IS NO MAPPED FLOODPLAIN ON SITE PER FEMA PANEL 3710978800J - FEB 2, 2007.

SPECIAL FEATURES

THIS PROPERTY HAS FRONTAGE ON SAGE ROAD AND COLERIDGE DRIVE.

VEGETATION

THE SOUTHERN PORTION OF THE SITE IS OPEN GRASS, USED AS OVERFLOW PARKING. THE NORTHERN PORTION OF THE SITE CONTAINS A STAND OF MIXED HARDWOODS, CEDARS AND YOUNG PINES. THERE ARE LANDSCAPE TREES AND SHRUBS OF VARIOUS CONDITION THROUGH-OUT THE REMAINDER OF THE SITE.



LEGEND

Water Valve	⊗	Light Pole	○LP
Curb Inlet/Catch Basin	□	Sewer Cleanout	○CO
Mail Box	☐	Flared End Section	◁
Traffic Signal Box	☐	Gas Valve	⊗GV
Electric Transformer	☐	Existing Iron Pipe (3/4" unless noted)	○IPS
Electric Junction Box	☐	1/2" Iron Pipe Set	○PK
Gas Meter	☐	Existing PK Nail	●PKS
Sanitary Sewer Manhole	⊗	PK Nail Set	△
Storm Sewer Manhole	⊗	Computed Point	⊗
Telephone Manhole	⊗	Concrete Monument	⊗
Electric Manhole	⊗	Tree Line	---
Sign	⊗	Fence	---
Telephone Pedestal	⊗	Underground Electric	---
Fire Hydrant	⊗	Underground Telephone	---
Post Indicator Valve	⊗	Gas Line	---
Water Manhole	⊗	Water Line	---
Water Meter	⊗	Overhead Utilities	---
Hot Box	⊗	Storm Sewer	---
Utility Pole	⊗	Sanitary Sewer	---
		Guard Rail	---
		Building Wall	---



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Project:

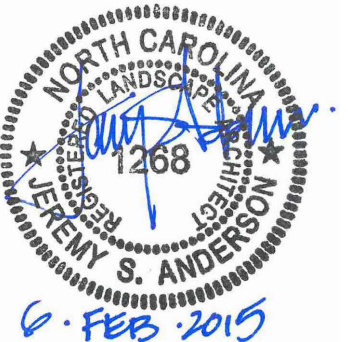
GRACE CHURCH
EXPANSION

200 SAGE ROAD
CHAPEL HILL, NC 27514

ORANGE COUNTY
NORTH CAROLINA

124

PIN: 9890503171



PRELIMINARY
NOT FOR CONSTRUCTION

Job Number: 1339

Drawn	JSA, TRM, CLJ, MTC
Checked	JSA, CBM
Date	11-24-2014
Revisions	02-06-2015
TOWN COMMENTS	

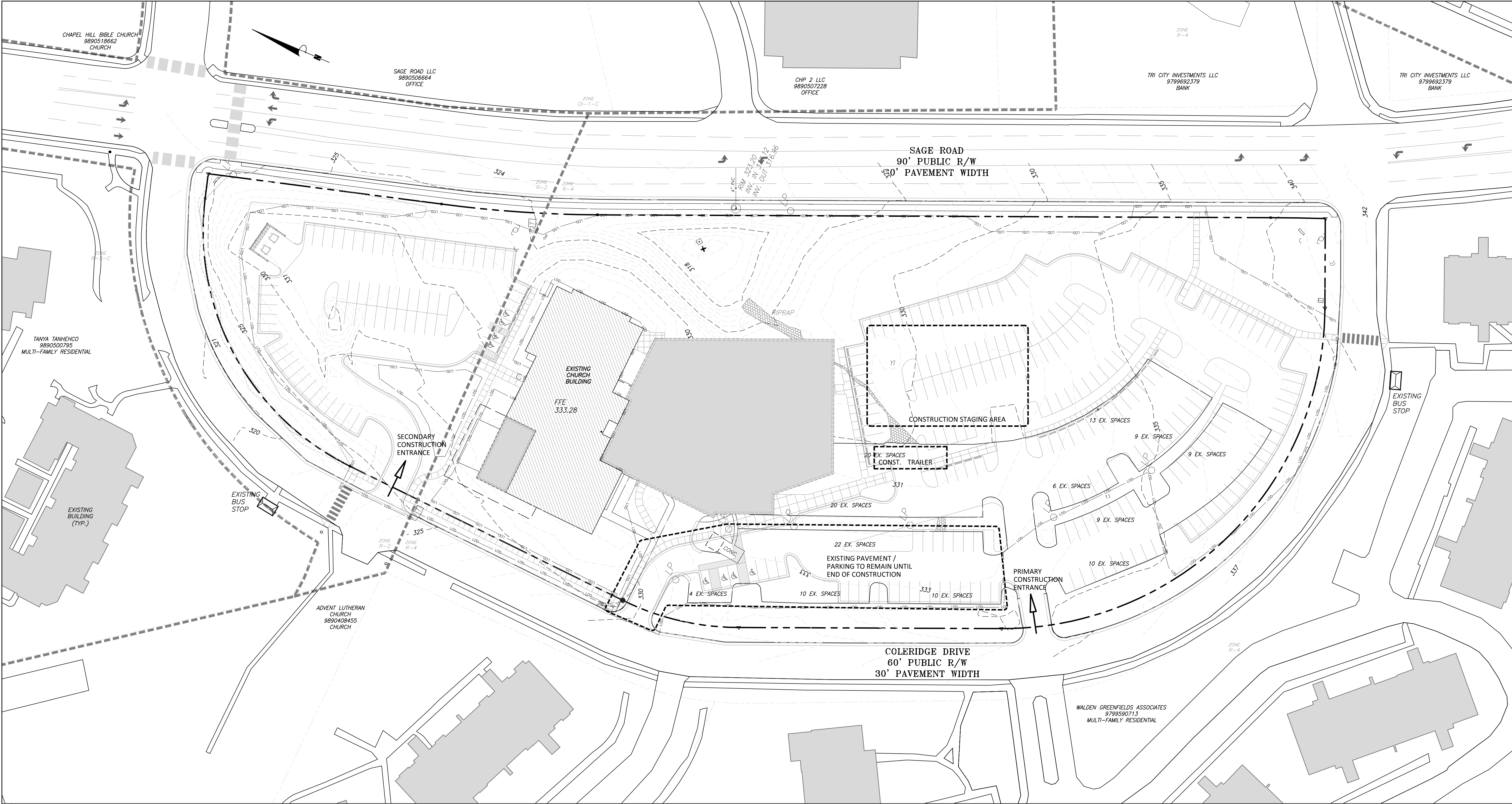
SPECIAL USE PERMIT

Sheet Title:

EXISTING
CONDITIONS
PLAN

Sheet Number

C101



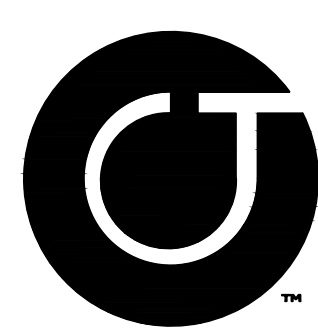
1/C102
DEMOLITION & CONSTRUCTION MANAGMENT PLAN
SCALE: 1"=40'

demolition notes

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LEGEND

Water Valve	⊗	Light Pole	○LP
Curb Inlet/Catch Basin	□	Sewer Cleanout	○CO
Mail Box	MB	Flared End Section	▽
Traffic Signal Box	TSB	Gas Valve	⊗GV
Electric Transformer	ET	Existing Iron Pipe (3/4" unless noted)	○IPS
Electric Junction Box	EJB	1/2" Iron Pipe Set	○PK
Gas Meter	GM	Existing PK Nail	●PKS
Sanitary Sewer Manhole	SSM	PK Nail Set	△
Storm Sewer Manhole	SSM	Computed Point	△
Telephone Manhole	TMH	Concrete Monument	⊗
Electric Manhole	EMH	Tree Line	---
Sign	TEL	Fence	---
Telephone Pedestal	TEL	Underground Electric	---
Fire Hydrant	FW	Underground Telephone	---
Post Indicator Valve	PIV	Gas Line	---
Water Manhole	WMH	Water Line	---
Water Meter	WM	Overhead Utilities	---
Hot Box	HB	Storm Sewer	---
Utility Pole	UP	Sanitary Sewer	---
		Guard Rail	---
		Building Wall	---



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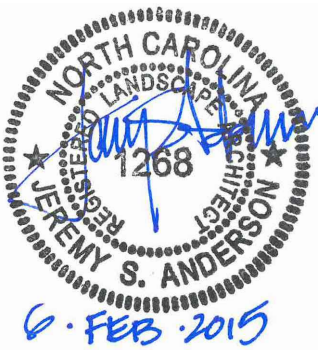
GRACE CHURCH
EXPANSION

200 SAGE ROAD
CHAPEL HILL, NC 27514

ORANGE COUNTY
NORTH CAROLINA

125

PIN: 9890503171



PRELIMINARY
NOT FOR CONSTRUCTION

Job Number: 1339

Drawn	JSA, TRM, CLJ, MTC
Checked	JSA, CBM
Date	11-24-2014
Revisions	02-06-2015
TOWN COMMENTS	

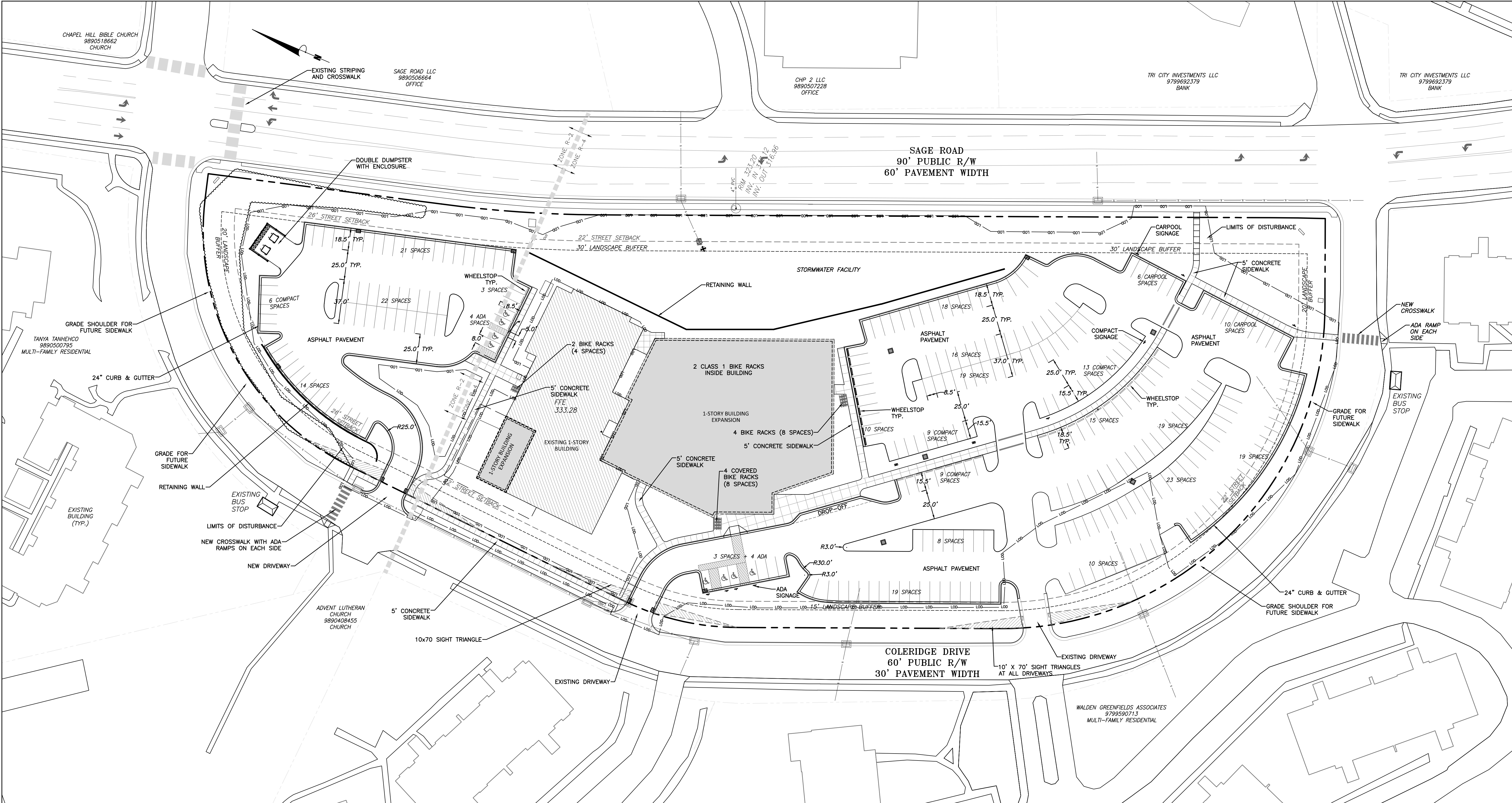
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Sheet Title:

DEMOLITION &
CONSTRUCTION
MANAGEMENT

Sheet Number

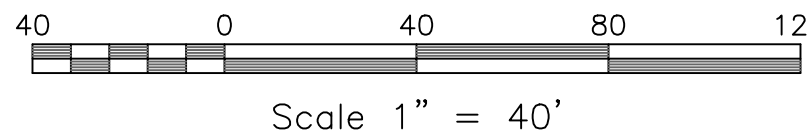
C102



1/C200
SITE LAYOUT PLAN
SCALE: 1"=40'

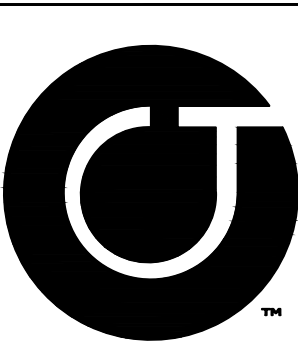
site plan notes

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE EXISTING CONDITION / DEMOLITION PLAN SHEETS C100 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
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- MASONRY WALLS WILL NOT BE REPAIRED BY THE TOWN RESULTING FROM MAINTENANCE ON TOWN OF CARY AND OWASA MAINTAINED UTILITIES.



LEGEND

Water Valve	⊗	Light Pole	○	OLP	○
Curb Inlet/Catch Basin	□	Sewer Cleanout	○	OCO	○
Mail Box	MB	Flared End Section	○		
Traffic Signal Box	TSB	Gas Valve	⊗	GV	⊗
Electric Transformer	ET	Existing Iron Pipe (3/4" unless noted)	○	IPS	○
Electric Junction Box	EJB	1/2" Iron Pipe Set	○	PK	●
Gas Meter	GM	Existing PK Nail	○	PKS	▲
Sanitary Sewer Manhole	SSM	Computed Point	○		
Storm Sewer Manhole	SSM	Concrete Monument	○		
Telephone Manhole	TMH	Tree Line	---		
Electric Manhole	EMH	Fence	---		
Sign	TEL	Underground Electric	---		
Telephone Pedestal	TEL	Underground Telephone	---		
Fire Hydrant	○	Gas Line	---		
Post Indicator Valve	○	Water Line	---		
Water Manhole	○	Overhead Utilities	---		
Water Meter	○	Storm Sewer	---		
Hot Box	○	Sanitary Sewer	---		
Utility Pole	○	Guard Rail	---		
		Building Wall	---		



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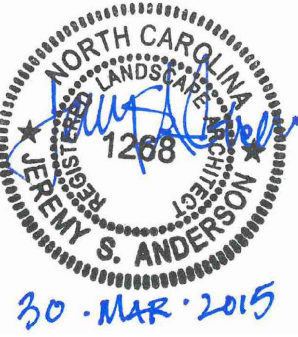
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EXPANSION

200 SAGE ROAD
CHAPEL HILL, NC 27514

ORANGE COUNTY
NORTH CAROLINA

126

PIN: 9890503171



PRELIMINARY
NOT FOR CONSTRUCTION

Job Number: 1339

Drawn	JSA, TRM, CLJ, MTC
Checked	JSA, CBM
Date	11-24-2014
Revisions	02-06-2015
	TOWN COMMENTS
	03-30-2015

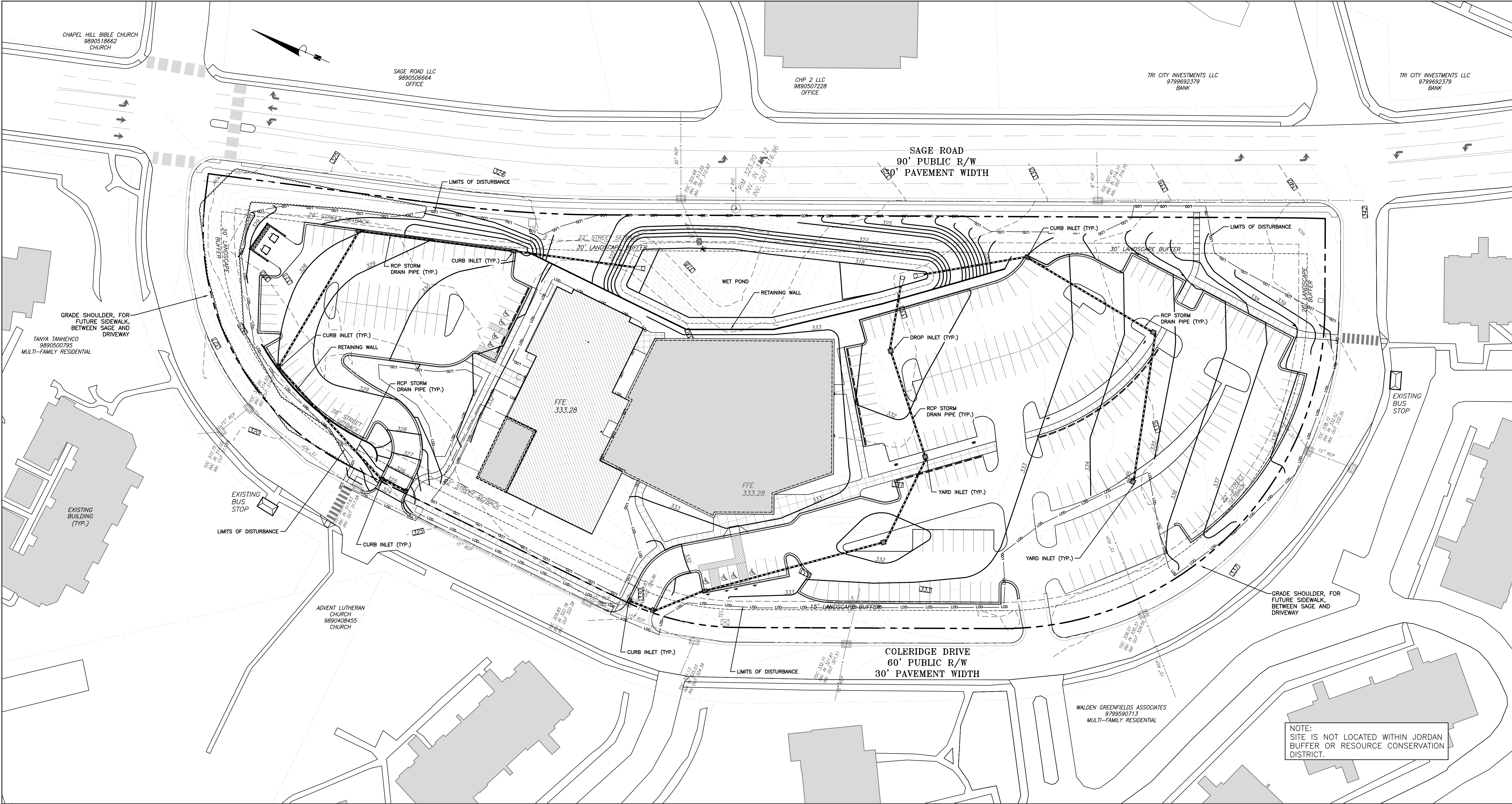
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Sheet Title:

SITE
LAYOUT
PLAN

Sheet Number

C200



1/C300
GRADING AND STORM DRAINAGE PLAN
SCALE: 1"=40'

grading and storm drainage notes

GRADING NOTES:

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-332-4848) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 5:1 (4%) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL.

ENGINEER, THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.

- ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
- ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.6% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
- CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
- CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-SA, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.

- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.

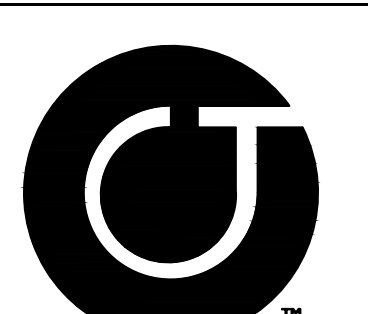
erosion control notes

EROSION CONTROL NOTES:

- EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES, SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
- THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT. SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
- THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
- EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

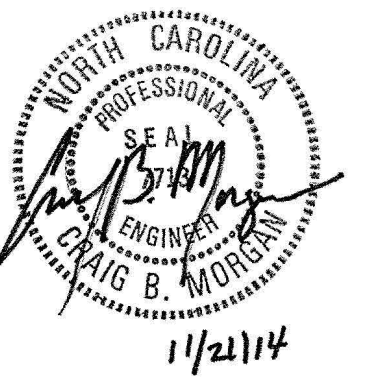
LEGEND

Water Valve	⊗	Light Pole	○LP
Curb Inlet/Catch Basin	□	Sewer Cleanout	○CO
Mail Box	☒	Flared End Section	▬
Traffic Signal Box	☒ TSB	Gas Valve	⊗ GV
Electric Transformer	☒	Existing Iron Pipe (3/4" unless noted)	○ IPS
Electric Junction Box	☒	1/2" Iron Pipe Set	○ PK
Gas Meter	☒	Existing PK Nail	● PK
Sanitary Sewer Manhole	⊙	PK Nail Set	△
Storm Sewer Manhole	⊙	Computed Point	⊠
Telephone Manhole	⊙	Concrete Monument	⊠
Electric Manhole	⊙	Tree Line	— · — · — · — · —
Sign	⊙	Fence	— · — · — · — · —
Telephone Pedestal	⊙ TEL	Underground Electric	— · — · — · — · —
Fire Hydrant	⊙ FH	Underground Telephone	— · — · — · — · —
Post Indicator Valve	⊙ PIV	Gas Line	— · — · — · — · —
Water Manhole	⊙	Water Line	— · — · — · — · —
Water Meter	⊙	Overhead Utilities	— · — · — · — · —
Hot Box	⊙	Storm Sewer	— · — · — · — · —
Utility Pole	⊙	Sanitary Sewer	— · — · — · — · —
		Guard Rail	— · — · — · — · —
		Building Wall	— · — · — · — · —



**Coulter
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111 West Main Street
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Project:
**GRACE CHURCH
EXPANSION**

200 SAGE ROAD
CHAPEL HILL, NC 27514

ORANGE COUNTY
NORTH CAROLINA

127

PIN: 9890503171

PRELIMINARY
NOT FOR CONSTRUCTION
Job Number: 1339

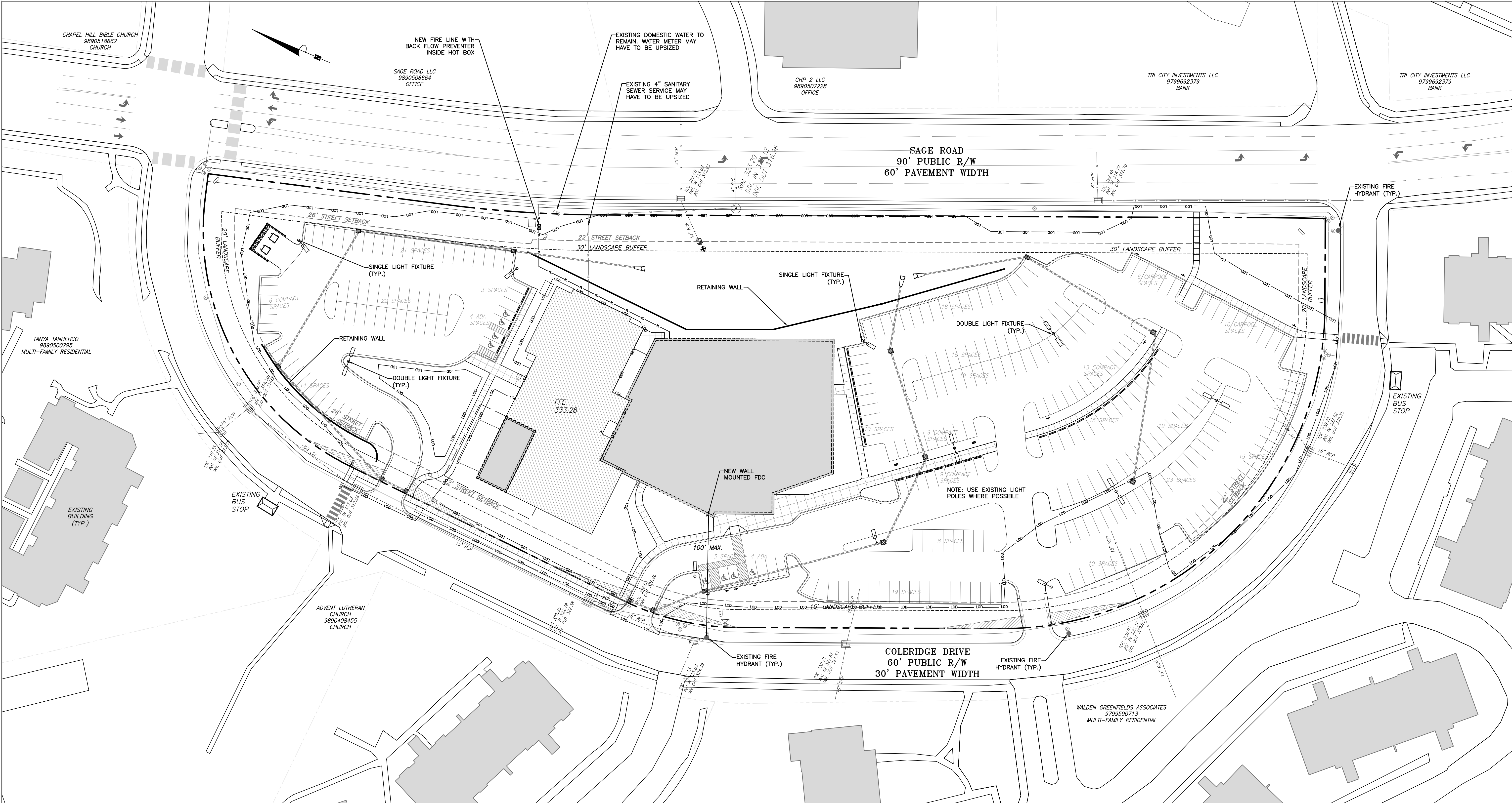
Drawn	JSA, TRM, CLJ, MTC
Checked	JSA, CBM
Date	11-24-2014
Revisions	02-06-2015 TOWN COMMENTS
	03-30-2015

SPECIAL USE PERMIT

Sheet Title:

**GRADING AND
STORM DRAINAGE
PLAN**

Sheet Number
C300



1/C400
UTILITY PLAN
SCALE: 1"=40'

GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL."
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY THE TOWN OF CHAPEL HILL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN: TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF

SUCH NOTIFICATION HAS NOT BEEN GIVEN.

- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).

SANITARY SEWER:

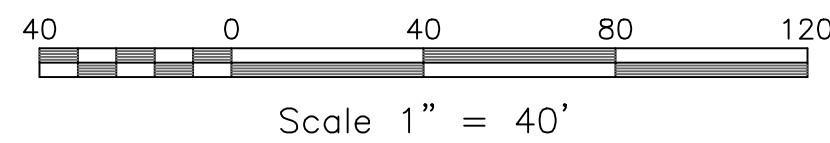
- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT

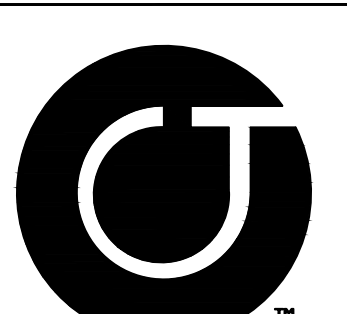
LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.

- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
- ALL FDC(S) AND HYDRANT(S) TO BE PROVIDED WITH 5 INCH DIAMETER STORZ CONNECTIONS.



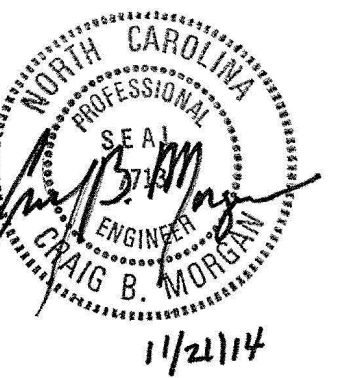
LEGEND

Water Valve	⊗	Light Pole	○LP
Curb Inlet/Catch Basin	□	Sewer Cleanout	○CO
Mail Box	☒	Flared End Section	▭
Traffic Signal Box	☒	Gas Valve	⊗GV
Electric Transformer	☒	Existing Iron Pipe (3/4" unless noted)	○IPS
Electric Junction Box	☒	1/2" Iron Pipe Set	○PK
Gas Meter	☒	Existing PK Nail	●PKS
Sanitary Sewer Manhole	⊗	PK Nail Set	△
Storm Sewer Manhole	⊗	Computed Point	⊗
Telephone Manhole	⊗	Concrete Monument	⊗
Electric Manhole	⊗	Tree Line	---
Sign	⊗	Fence	---
Telephone Pedestal	⊗TEL	Underground Electric	---
Fire Hydrant	⊗FH	Underground Telephone	---
Post Indicator Valve	○PIV	Gas Line	---
Water Manhole	⊗	Water Line	---
Water Meter	⊗	Overhead Utilities	---
Hot Box	⊗	Storm Sewer	---
Utility Pole	⊗	Sanitary Sewer	---
		Guard Rail	---
		Building Wall	---



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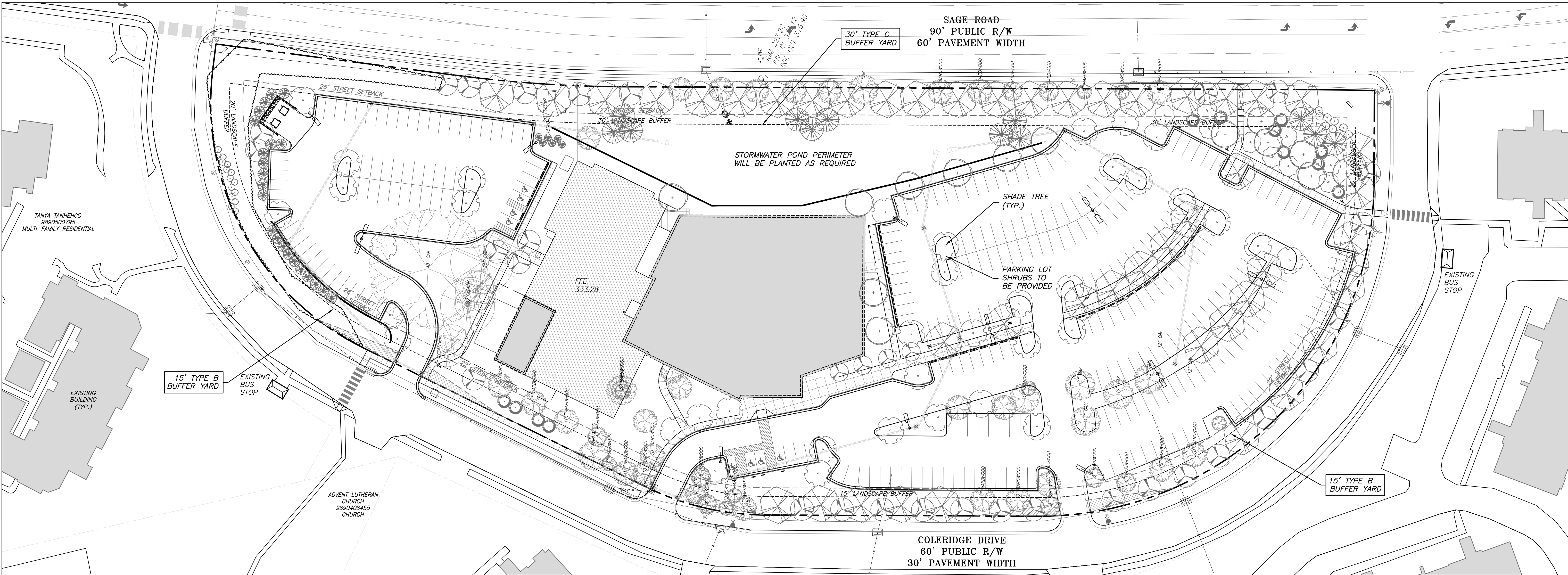
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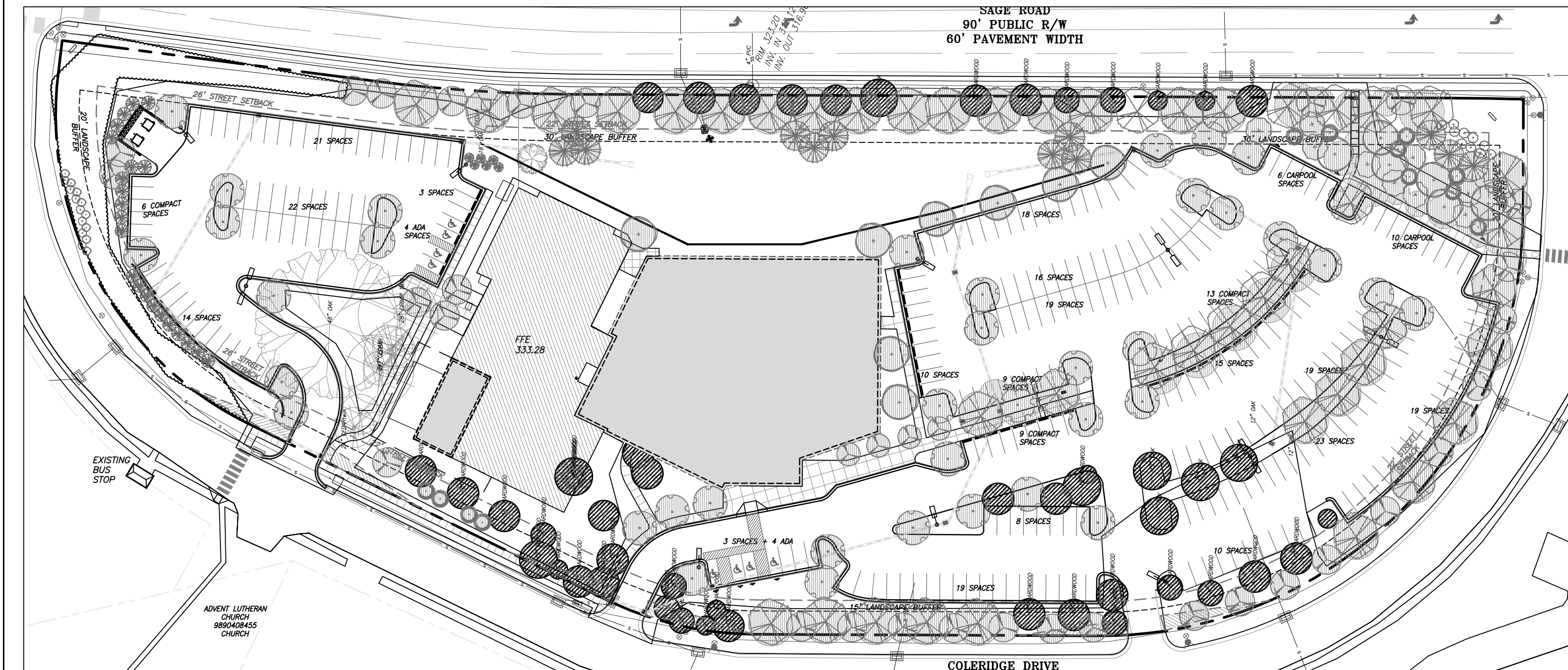
Sheet Title:

**UTILITY
PLAN**

Sheet Number
C400



1/C500
LANDSCAPE PLAN
SCALE: 1"=40'



2/C500
PROPOSED TREE CANOPY COVERAGE
SCALE: 1"=60'

USE CLASSIFICATION: INSTITUTIONAL
LOT SIZE IN R2: 45,846 sf
LOT SIZE IN R4: 225,754 sf
UTILITY EASEMENTS: -34,668 sf
NET LOT SIZE: 236,932 sf
MINIMUM TREE CANOPY COVERAGE
FOR INSTITUTIONAL USE = 40% = 108,640 sf
EXISTING TREE CANOPY PROTECTED = 26,939 sf = 9.9%
TREE CANOPY DEFICIT = 81,751.6 sf = 30.1%
REPLACEMENT TREES REQUIRED = 164
REPLACEMENT TREES PROVIDED = 164

landscape notes

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.

LEGEND

Water Valve	⊗	Light Pole	○LP
Curb Inlet/Catch Basin	□	Sewer Cleanout	○CO
Mail Box	MB	Flored End Section	▤
Traffic Signal Box	TSB	Gas Valve	⊗GV
Electric Transformer	ET	Existing Iron Pipe (3/4" unless noted)	○
Electric Junction Box	EJ	1/2" Iron Pipe Set	○IPS
Gas Meter	GM	Existing PK Nail	●PK
Sanitary Sewer Manhole	SSM	PK Nail Set	●PKS
Storm Sewer Manhole	SSSM	Computed Point	△
Telephone Manhole	TM	Concrete Monument	⊠
Electric Manhole	EM	Tree Line	---
Sign	⊗TEL	Fence	---
Telephone Pedestal	○PIV	Underground Electric	---
Fire Hydrant	⊗	Underground Telephone	---
Post Indicator Valve	⊗PIV	Gas Line	---
Water Manhole	⊗	Water Line	---
Water Meter	⊗	Overhead Utilities	---
Hot Box	⊗	Storm Sewer	---
Utility Pole	⊗	Sanitary Sewer	---
		Guard Rail	---
		Building Wall	---

QTY	%	EVGN	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CANOPY TREES								
		Y	CJ	Cryptomeria japonica	Japanese Cedar	2" CAL.	8' HT.	AS SHOWN SINGLE TRUNK & LEADER
		N	QP	Quercus Phellos	Willow Oak	2.5" CAL.	12' HT.	AS SHOWN SINGLE TRUNK & LEADER
		N	TD	Taxodium distichum	Bald Cypress	2.5" CAL.	12' HT.	AS SHOWN SINGLE TRUNK & LEADER
		N	BN	Betula Nigra	River Birch	12' HT.	AS SHOWN	MULTI-TRUNK
		Y	IA	Ilex opaca	American Holly	2" CAL.	8' HT.	AS SHOWN SINGLE TRUNK & LEADER
		N	UP	Ulmus parvifolia	Lace bark Elm	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER
0	0%							
UNDERSTORY TREES								
		N	AP	Acer palmatum 'Autumn Glory'	Autumn Glory Japanese Maple	10' HT.	AS SHOWN	SINGLE TRUNK & LEADER
SHRUBS								
		N	RK	Rosa 'Radrazz'	Knock Out Rose	15" HT.	36" O.C.	FULL AND MATCHING
		Y	IC	Ilex cornuta 'carissa'	Carissa Holly	15" HT.	36" O.C.	FULL AND MATCHING
		Y	RU	Raphiolepis umbellata	Indian Hawthorn	18" HT.	36" O.C.	FULL AND MATCHING
		Y	GS	Gelsemium sempervirens	Carolina Jasmine	60" Ht.	AS SHOWN	FULL AND MATCHING
		Y	RO	Rosmarinus 'officinalis'	Rosemary	15" HT.	36" O.C.	FULL AND MATCHING
		Y	VD	Viburnum davidii	David's Viburnum	15" HT.	36" O.C.	FULL AND MATCHING
0	0%							
GROUND COVER								
		AR		LAWN	AS REQUIRED TO MATCH EXISTING			

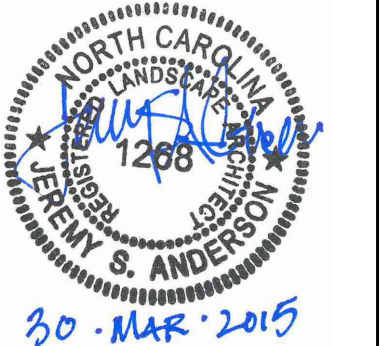
4/C500
PROPOSED LANDSCAPE PLANTING SCHEDULE

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Project:
GRACE CHURCH EXPANSION
200 SAGE ROAD
CHAPEL HILL, NC 27514
ORANGE COUNTY
NORTH CAROLINA

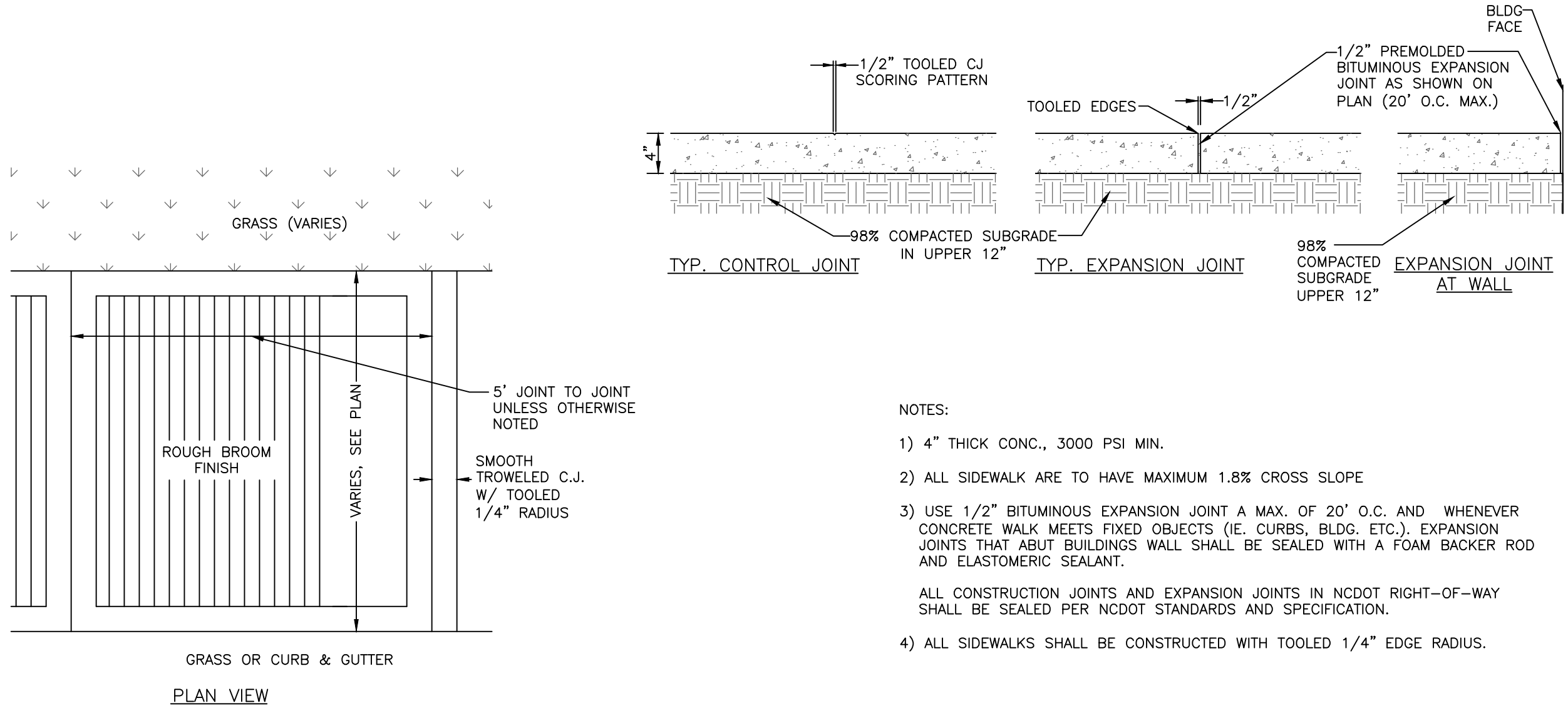
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PIN: 9890503171



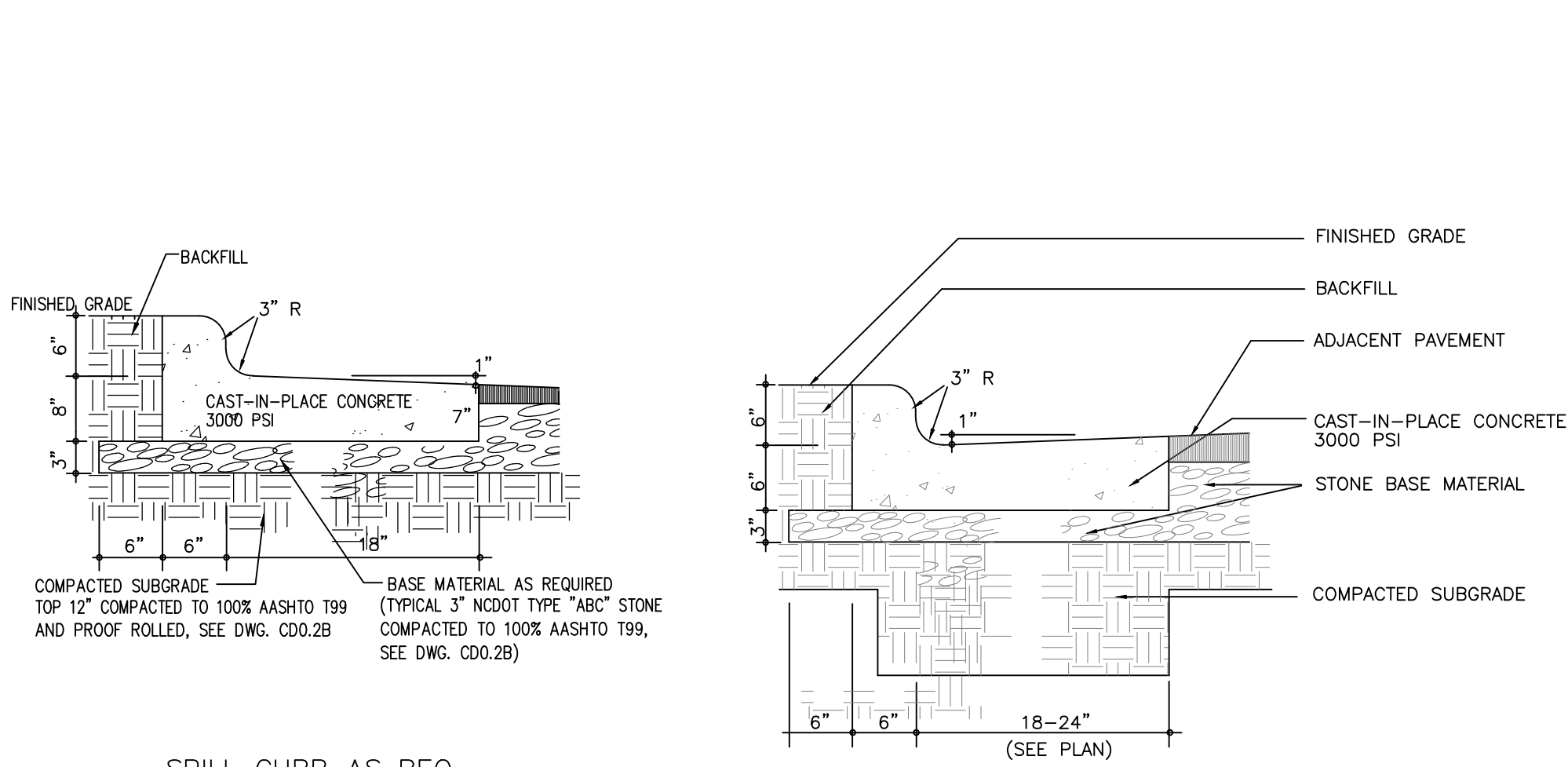
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TOWN COMMENTS	
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Sheet Title:
LANDSCAPE PLAN
Sheet Number
C500



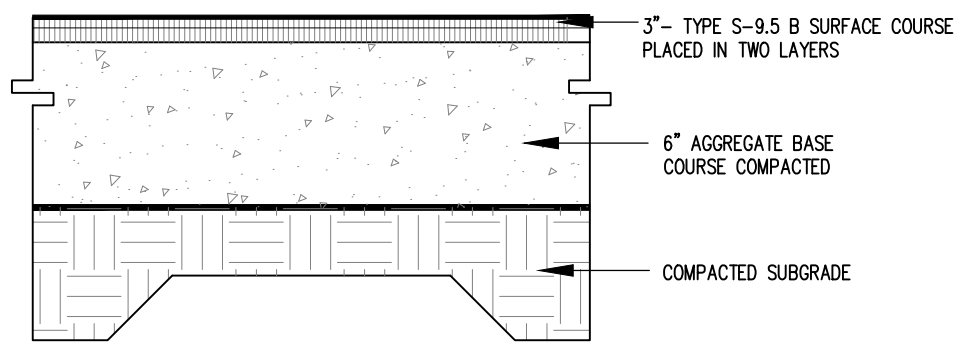
- NOTES:
- 1) 4" THICK CONC., 3000 PSI MIN.
 - 2) ALL SIDEWALK ARE TO HAVE MAXIMUM 1.8% CROSS SLOPE
 - 3) USE 1/2" BITUMINOUS EXPANSION JOINT A MAX. OF 20' O.C. AND WHENEVER CONCRETE WALK MEETS FIXED OBJECTS (IE. CURBS, BLDG. ETC.), EXPANSION JOINTS THAT ABUT BUILDINGS WALL SHALL BE SEALED WITH A FOAM BACKER ROD AND ELASTOMERIC SEALANT.
 - 4) ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
- ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS IN NCDOT RIGHT-OF-WAY SHALL BE SEALED PER NCDOT STANDARDS AND SPECIFICATION.

1 CONCRETE SIDEWALK
C600 no scale



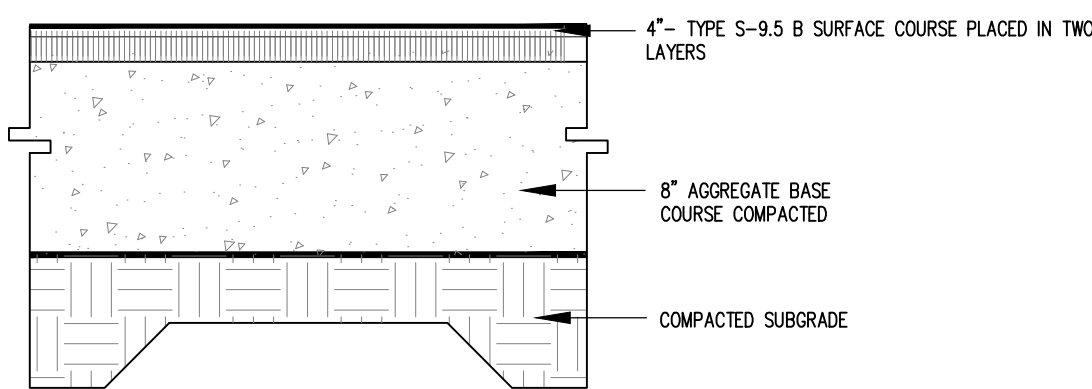
- CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
- CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.
- CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS.
- ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
- JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ABUTTING SIDEWALK.
- EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

2 CURB AND GUTTER
C600 no scale



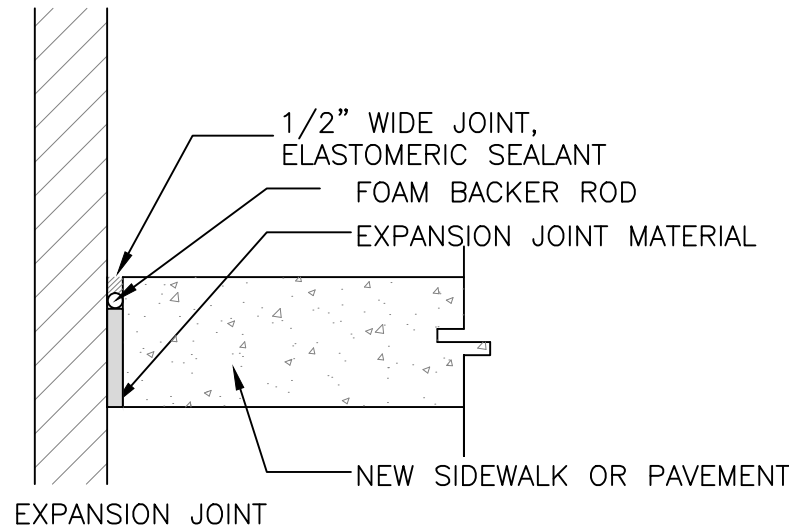
FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

3 LIGHT DUTY ASPHALT PAVING
C600 no scale

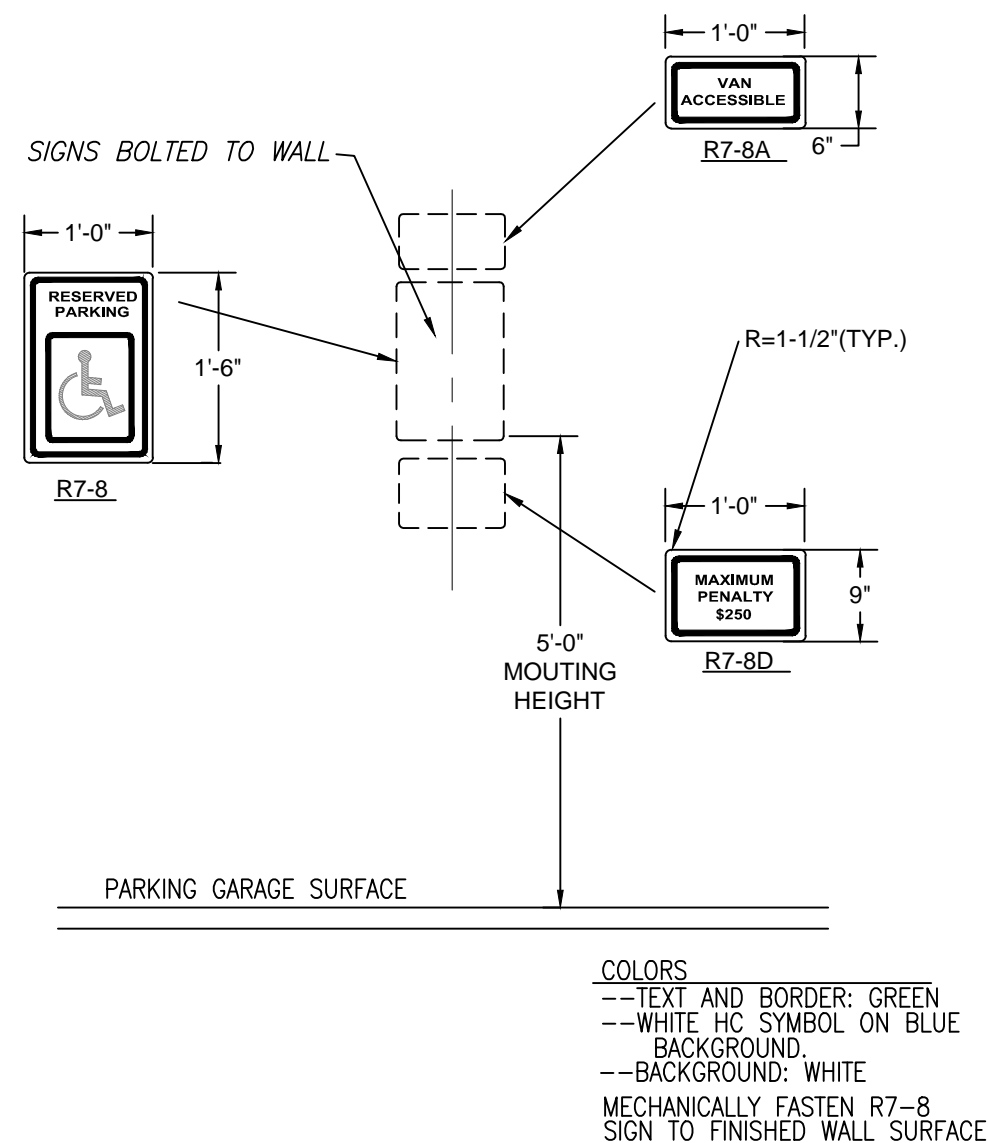


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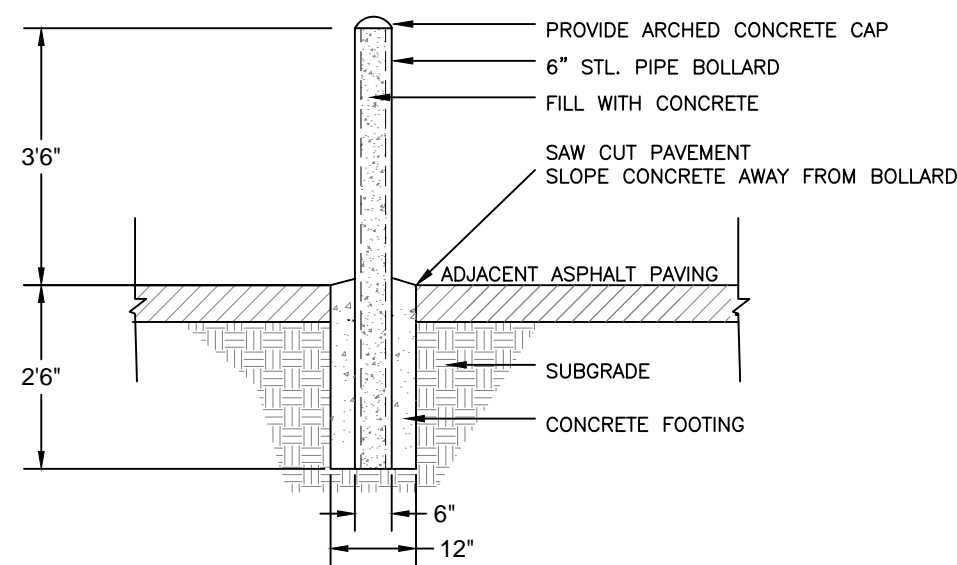
4 HEAVY DUTY ASPHALT PAVING
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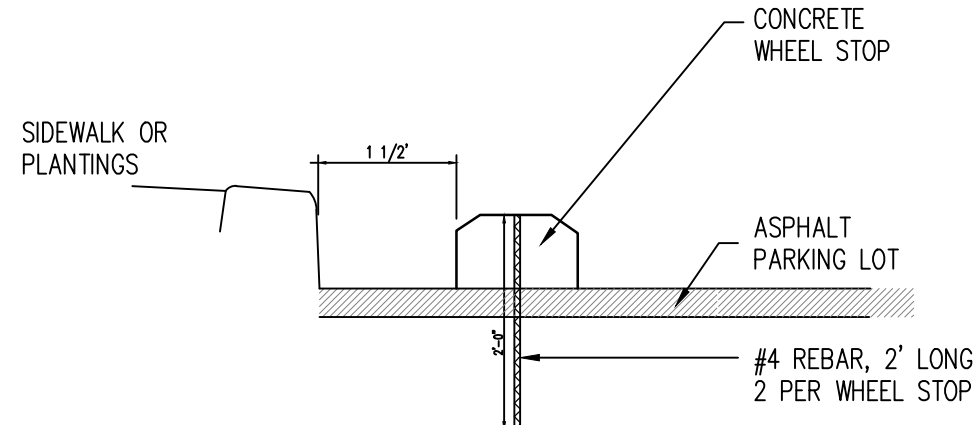
5 PAVING ADJACENT TO BUILDING
C600 no scale



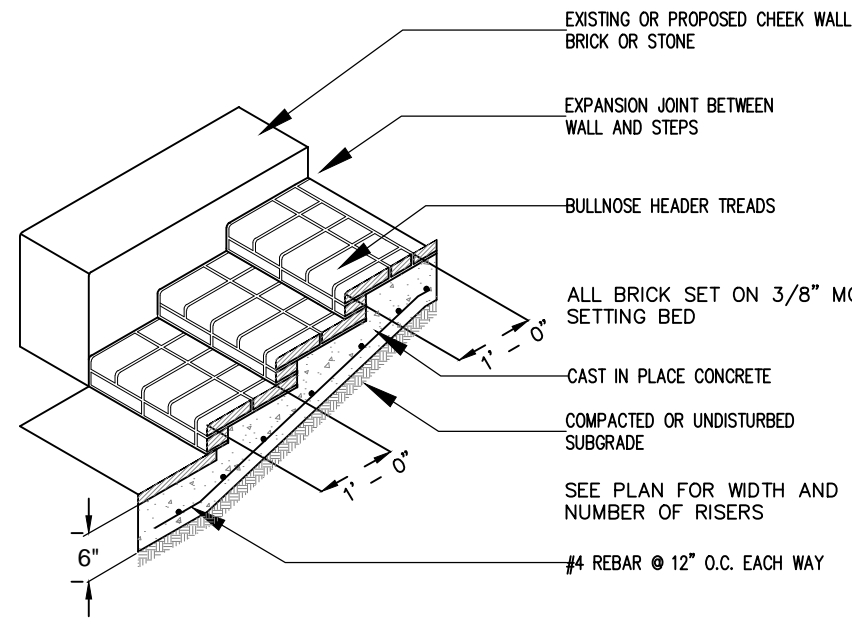
6 ADA SIGNAGE
C600 no scale



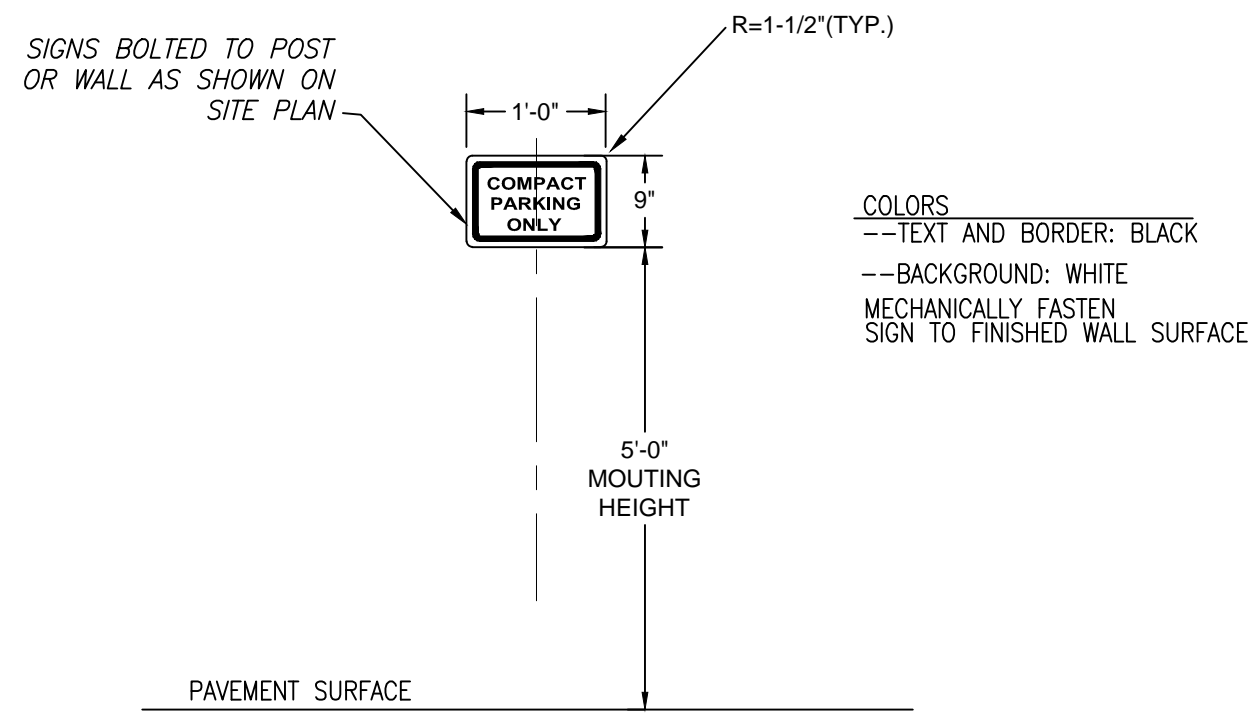
7 BOLLARD
C600 no scale



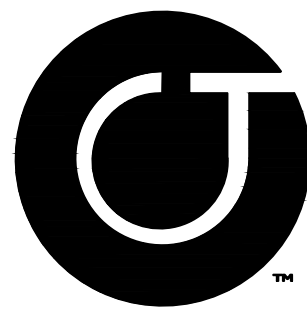
8 WHEELSTOP
C600 no scale



9 BRICK STEP DETAIL
C600 no scale

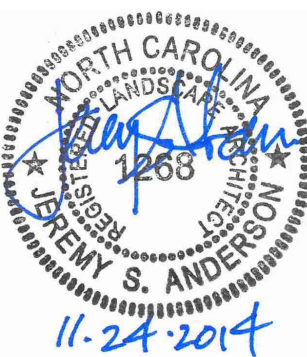


10 COMPACT PARKING SPACE SIGNAGE
C600 no scale



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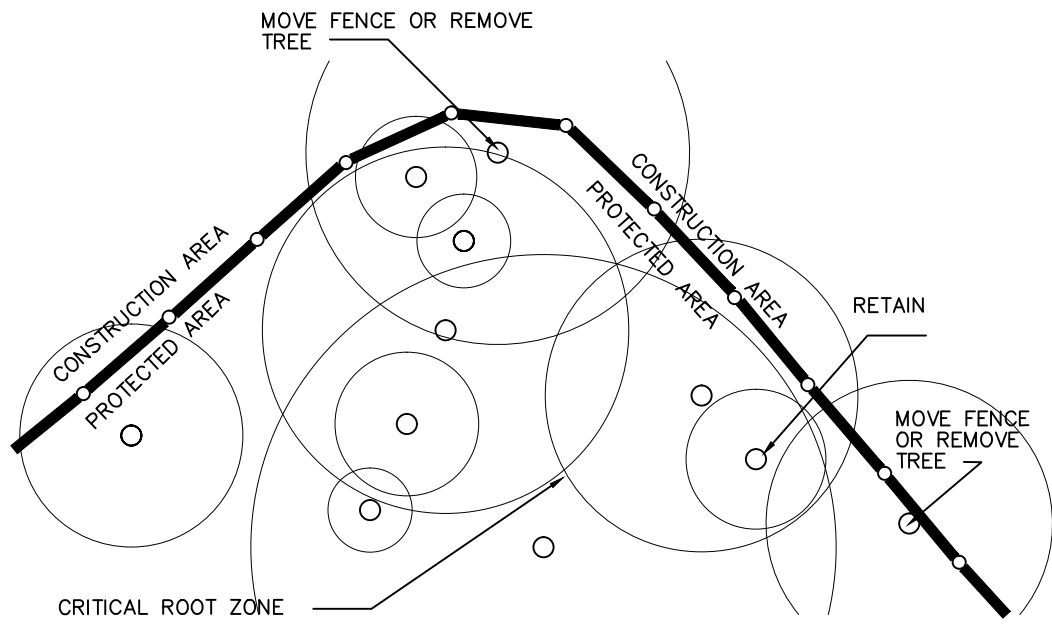
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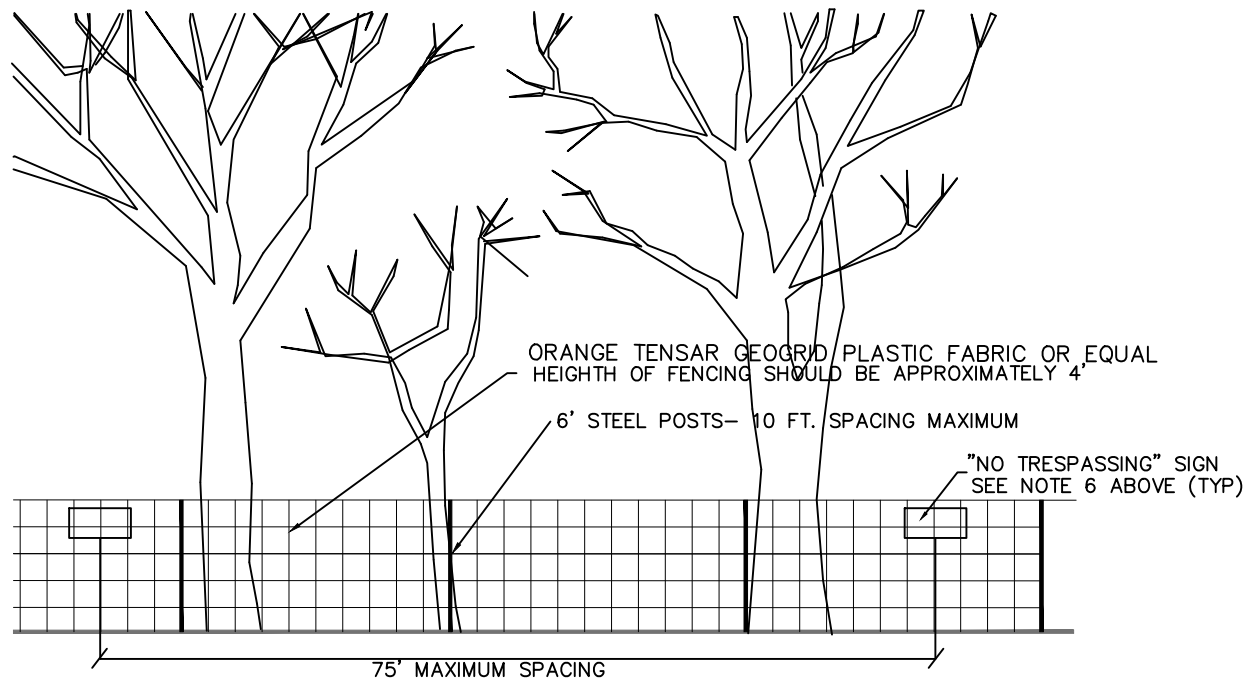
SITE
DETAILS

Sheet Number

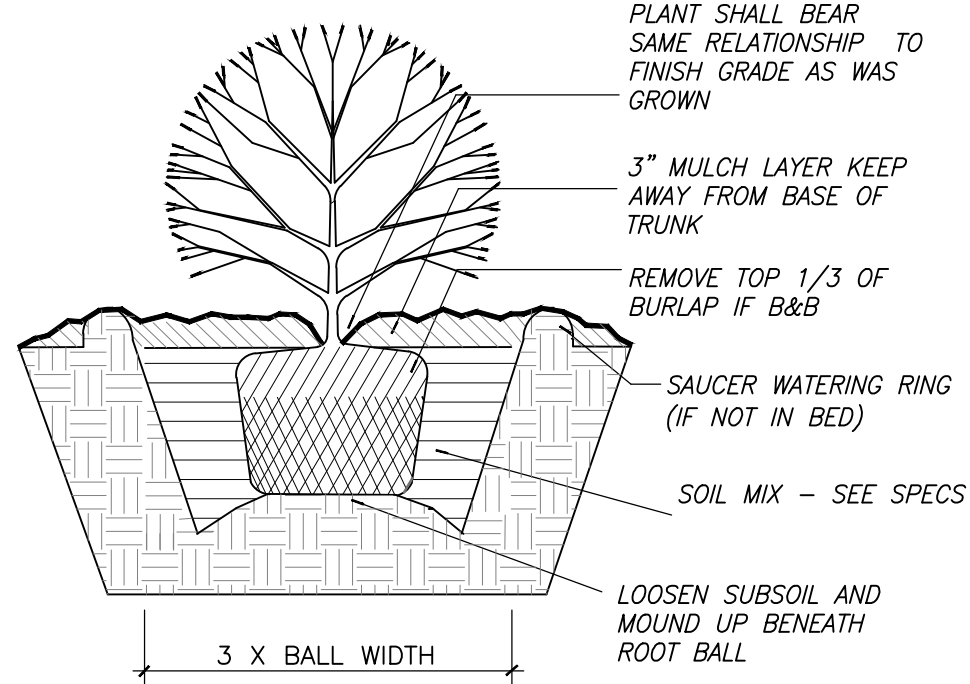
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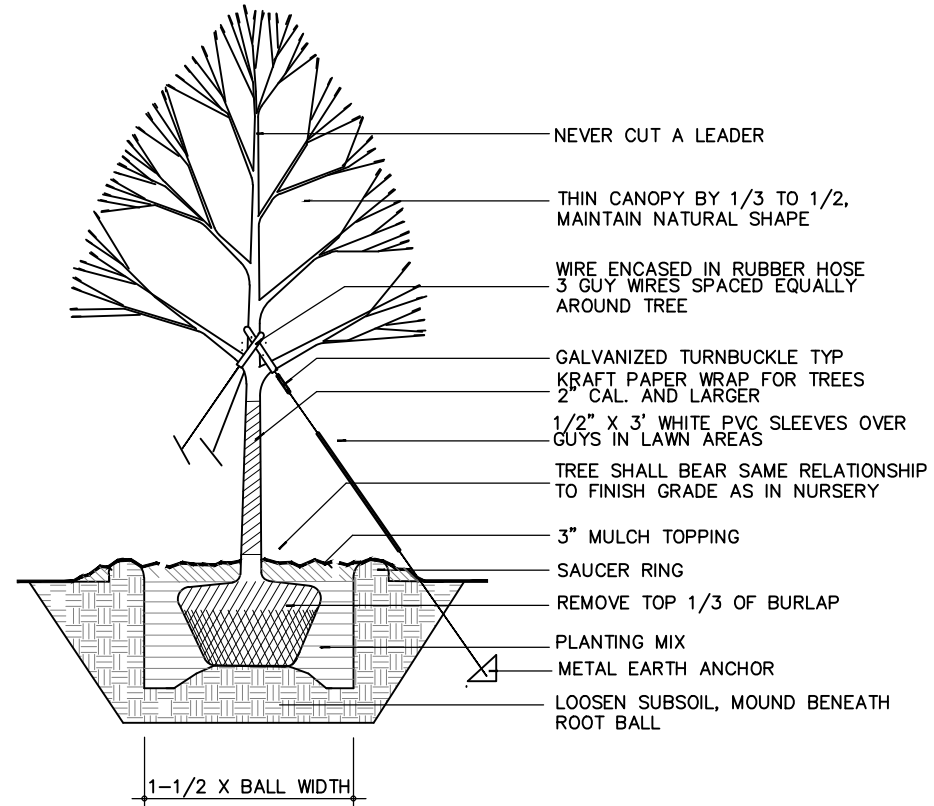
- NOTES:
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
 2. ROOT PRUNE TREES TO REMAIN WHERE CONSTRUCTIONACTIVITIES WILL SEVER ROOTS.
 3. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 4. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 5. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
 6. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MINIMUM MINIMUM SPACING OF 75' O.C., TO READ "TREE PROTECTION AREA - NO TRESPASSING WITHIN THE FENCE".



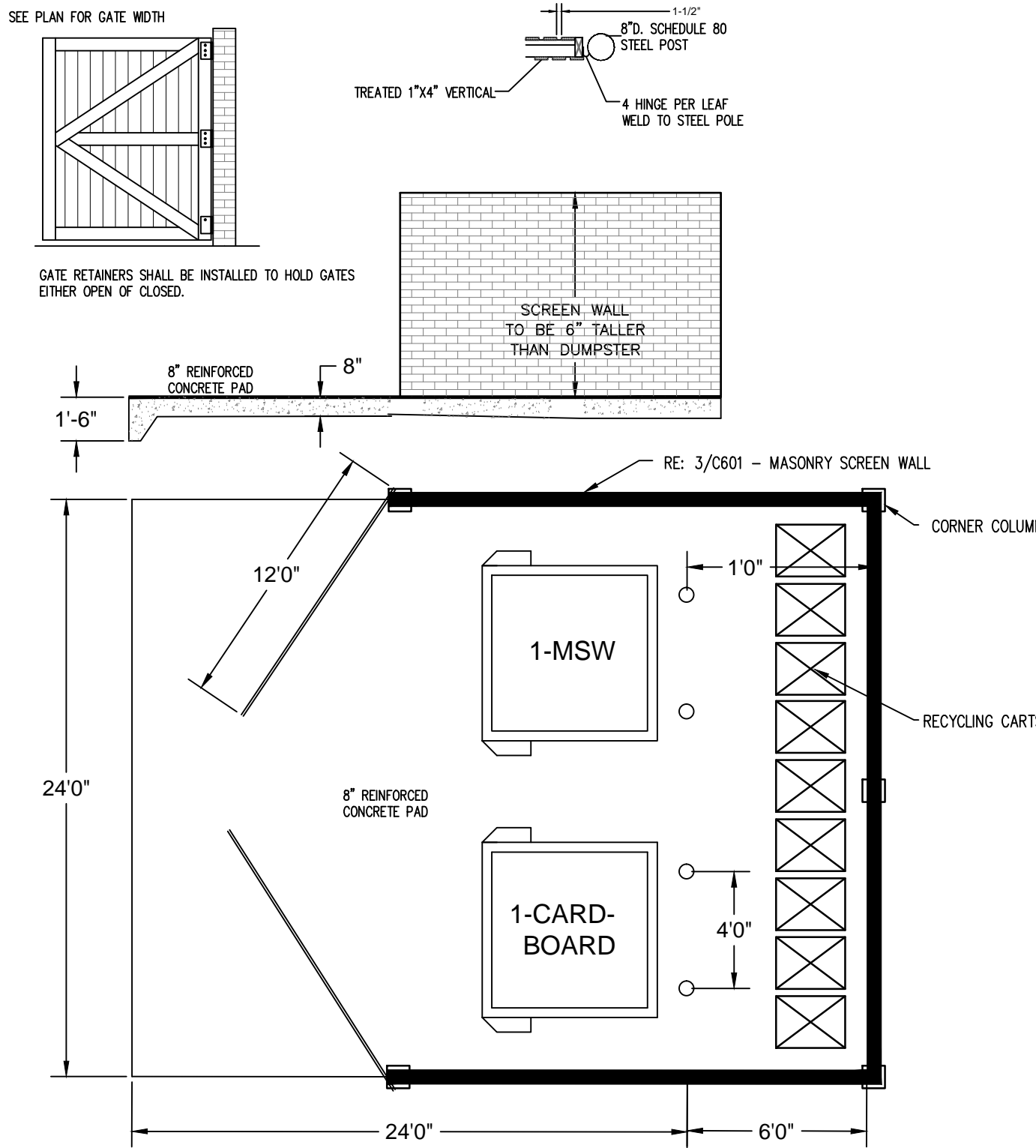
1 TREE PROTECTION FENCING
C601 1" = 4'-0"



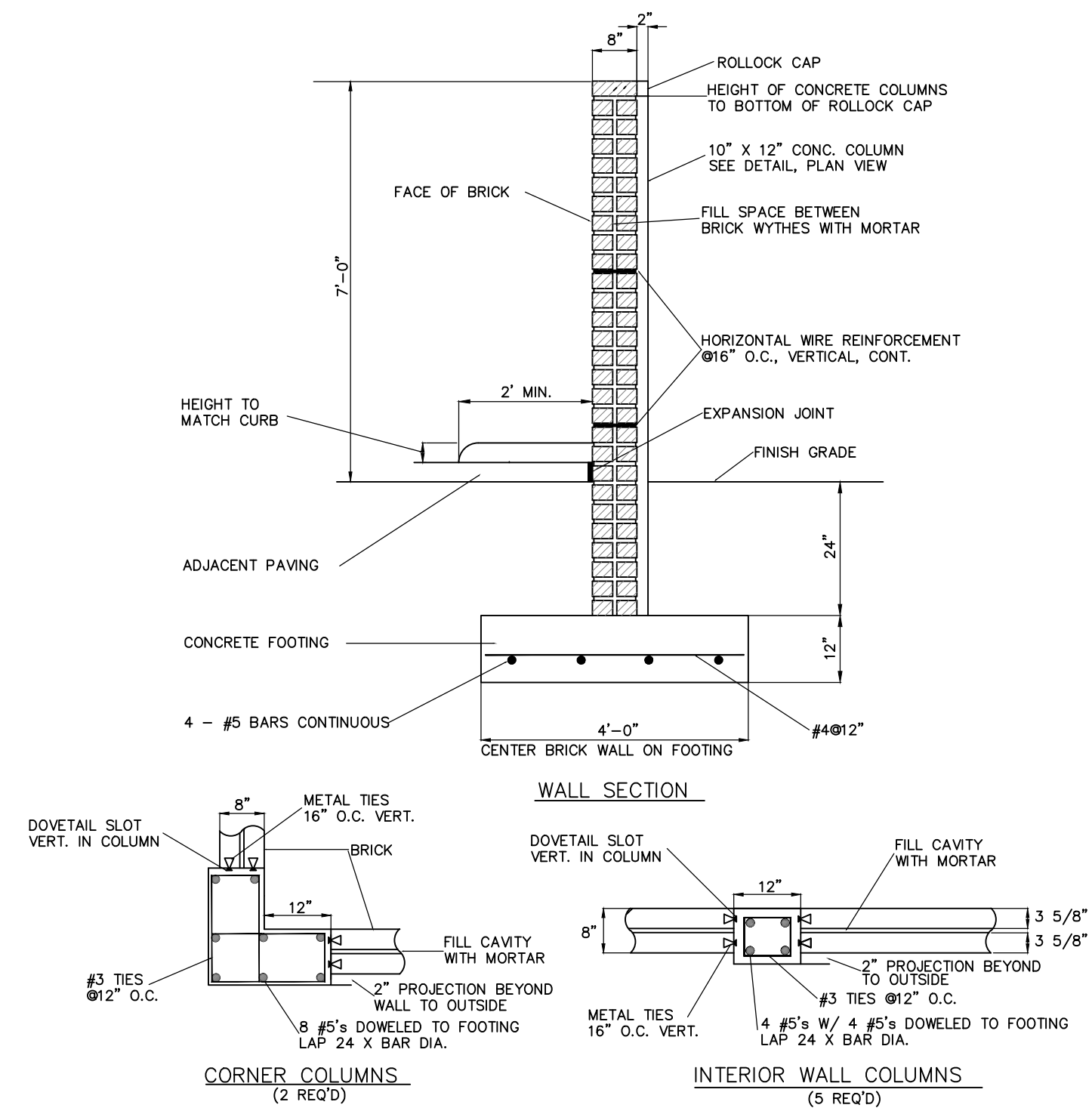
4 SHRUB DETAIL
C601 NO SCALE



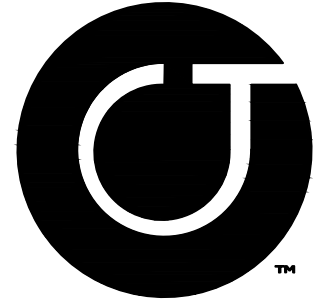
5 TREE PLANTING DETAIL
C601 NO SCALE



2 DOUBLE DUMPSTER
C601 NOT TO SCALE

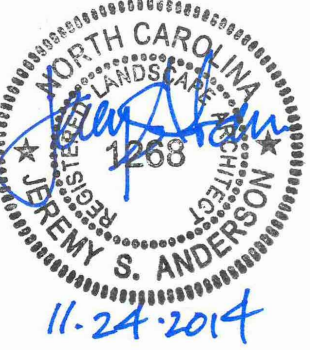


3 MASONRY DUMPSTER SCREEN WALL
C601 NOT TO SCALE



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Job Number: 1339

Drawn	JSA, TRM, CLJ, MTC
Checked	JSA, CBM
Date	11-24-2014
Revisions	

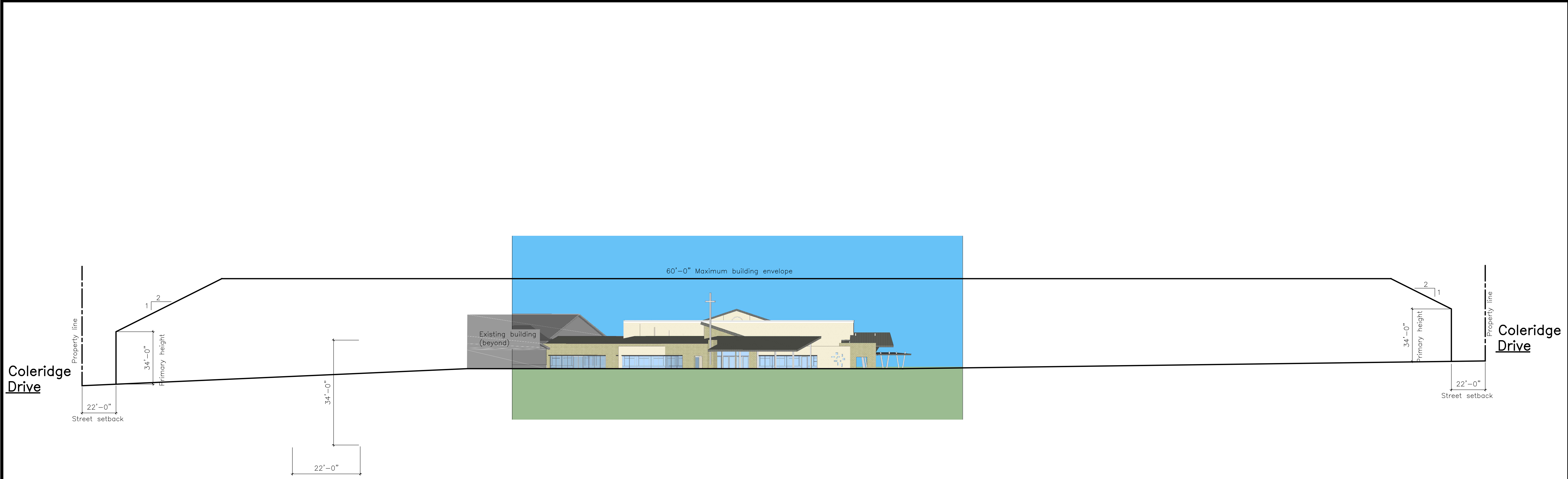
SPECIAL USE PERMIT

Sheet Title:

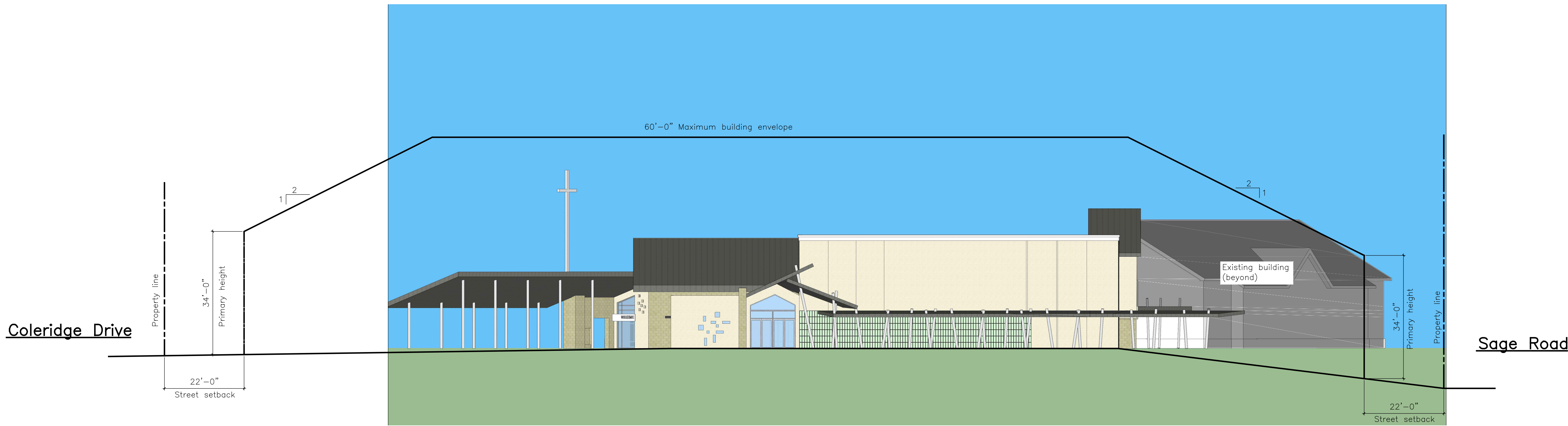
SITE
DETAILS

Sheet Number

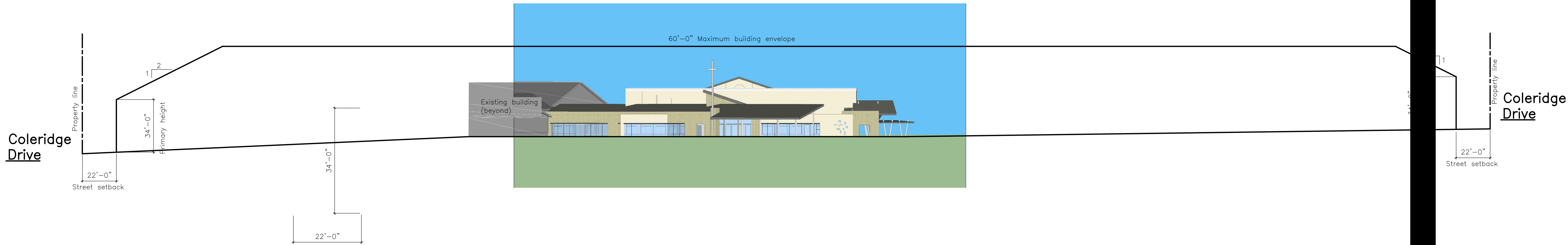
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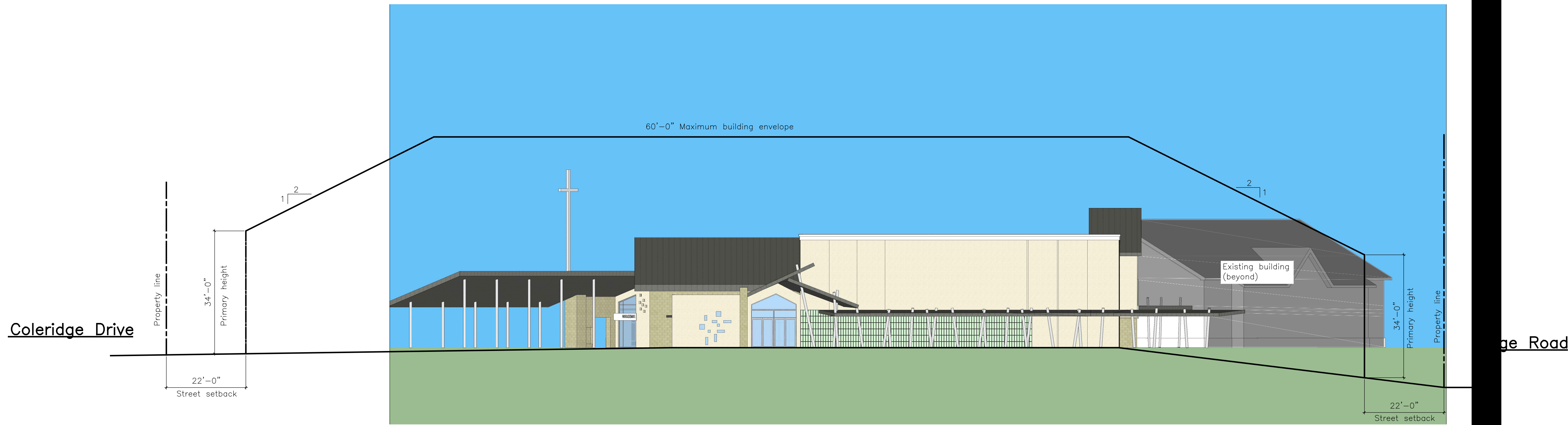
West Elevation
1/32" = 1'-0"



South Elevation
1/16" = 1'-0"



West Elevation
1/32" = 1'-0"



1/16" = 1'-0"

GRACE NEW TESTAMENT CHURCH EXPANSION

TRAFFIC IMPACT STUDY

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill
Public Works Department
Traffic Engineering Division

Prepared by:

HNTB North Carolina, PC

*343 East Six Forks Road
Suite 200
Raleigh, NC 27609*

NCBELS License #: C-1554

January 2015

HNTB

GRACE NEW TESTAMENT CHURCH EXPANSION

TRAFFIC IMPACT STUDY

EXECUTIVE SUMMARY



Prepared for:

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January 2015



1-20-15



EXECUTIVE SUMMARY

Project Overview

An expansion of the existing Grace New Testament Church facility, located along Coleridge Drive and Sage Road, is being proposed in Chapel Hill. The project proposes to construct an additional 22,923 square feet of space to the existing 15,000 square foot church building. **Figure ES-1** shows the general location of the site. The project is anticipated to be fully complete by 2016. This report analyzes the transportation impacts of the build-out scenario for the year 2017 (one year after anticipated completion), the no-build scenario for 2017, as well as 2014 existing year traffic conditions.

The proposed site concept plan shows the addition of a single full movement access driveway and new parking lot along Coleridge Drive. Two existing driveways and surface parking facilities will be retained and surface paved parking will be expanded in the current lot. No other vehicular access connections or transportation system changes are proposed. **Figure ES-2** displays the preliminary concept plan of the Grace New Testament Church Expansion and nearby land uses and roadways. The project is expected to provide 320 total parking spaces on the two surface parking lots, an increase from the 275 available currently on-site.

This report analyzes and presents the transportation impacts that the Grace New Testament Church Expansion will have on the following intersections in the project study area:

- Sage Road and Erwin Road
- Sage Road and Coleridge Drive (North) / Old Sterling Drive
- Sage Road and Coleridge Drive (South) / Lowe's Service Entrance
- Sage Road and Cosgrove Avenue / Lowe's Entrance
- Sage Road and US 15-501 (Fordham Boulevard)
- Coleridge Drive and Site Access South
- Coleridge Drive and Site Access North
- Coleridge Drive and Future Site Access

The impacts of the proposed site at the study area intersections will be evaluated during the highest peak hour of a Sunday morning. The proposed expansion is not expected to generate significant amounts of typical weekday peak period traffic.

Existing Conditions

Study Area

The site is located in northern Chapel Hill along Sage Road just to the north of the US 15-501 (Fordham Boulevard) corridor. The study area contains three signalized intersections and several unsignalized intersections. It also includes two existing driveway connections from the church to Coleridge Drive.

US 15-501 is a major arterial facility providing connectivity between Chapel Hill, Durham and the I-40 corridor. Remaining study area network roadways are either minor arterial/collector facilities or local neighborhood access streets.



Site Traffic Generation

With the addition of new peak hour trips during the Sunday AM peak hour (as estimated by current church service times and reported attendance), there are potential site traffic impacts to the study area intersections. **Table ES-1** shows the site trip generation details, with generation rates and methodologies taken from the *Institute of Transportation Engineers (ITE) Trip Generation Manual, Version 9* and compared to actual field data collected at site driveways. This data includes ITE AM and PM peak hour information, though these time periods were not specifically analyzed due to the insignificant additional potential traffic generation at these times.

Table ES-1
Weekday and Sunday Trip Generation Summary
Grace New Testament Church

Trip Generation Source – New Net Trips Due to Expansion	Weekday							Sunday			
	Daily Total	AM Peak Hour			PM Peak Hour			Daily Total	AM Peak Hour		
		Enter	Exit	Total	Enter	Exit	Total		Enter	Exit	Total
ITE Trip Generation Manual	208	8	5	13	6	7	13	840	135	141	276
Field-Collected Data	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	136	129	265

* - No ITE Data Available, Assumed Average of AM/PM Peak Hour Data

Actual field-collected data was used to derive future trip net trip generation data, as it reflects current trip generating conditions actually occurring at the church. The data also has very good correlation with ITE-predicted values.

Background Traffic

Background traffic growth for the 2017 analysis year is expected to come from two sources - ambient regional traffic growth and specific development-related traffic growth. Based on existing information, several Town-approved development projects near the project study area may be expected to contribute to background traffic growth by the 2017 analysis year, but in most cases the amount of traffic generated from these developments will be negligible on a Sunday morning. All remaining estimated traffic growth in the area is assumed to occur due to overall region-wide ambient growth. To account for this, an ambient area-wide traffic growth percentage of 1.0 percent per year was applied to existing traffic volumes, based on conservative growth projections based on historic daily traffic growth patterns in the project study area (NCDOT and Town of Chapel Hill daily traffic information).

Impact Analysis

Peak Hour Intersection Level of Service (LOS)

Study results indicate existing traffic operations at all study area intersections are acceptable during the Sunday AM peak hour. Even with the addition of peak hour site-generated trips to the projected 2017 background traffic volumes, only one study area intersection is projected to experience deficient traffic operations in the Sunday AM peak hour. However, closer inspection of peak hour traffic volume patterns, specifically within the peak hour itself, indicate that the traffic volumes at this intersection (Sage Road and Coleridge Drive – south) vary considerably as church-related traffic enters and exits the intersection at different times within the peak hour.



Town of Chapel Hill: Traffic Impact Study
Grace New Testament Church - Proposed Expansion

A summary of the traffic operations for each intersection, related to vehicular delays (intersection average as a whole if signalized, critical movement if stop-controlled) and the corresponding Level-of-Service (LOS) is shown in **Table ES-2**.

**Table ES-2. Grace New Testament Church Expansion
 LOS and Delay (Seconds/Vehicle) Summary**

Intersections	Peak Hour	2014 Existing		2017 No-Build		2017 Build		2017 Mitigated	
		LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay
Sage Road & Erwin Road	Sunday AM	B	17.9	B	18.0	B	18.4	N/A	N/A
Sage Road & Coleridge Drive / Old Sterling Drive*	Sunday AM	B*	14.9*	C*	15.3*	C*	18.8*	N/A	N/A
Sage Road & Coleridge Drive / Lowe's Entrance*	Sunday AM	C*	16.8*	C*	17.3*	F*	53.3*	N/A**	N/A**
Sage Road & Cosgrove Avenue / Lowe's Entrance	Sunday AM	A	7.0	A	7.1	A	7.1	N/A	N/A
Sage Road & US 15-501 (Fordham Boulevard)	Sunday AM	D	35.8	D	36.5	D	39.0	N/A	N/A
Coleridge Drive & Site Driveway #1 / Sagebrook Apartment Driveway*	Sunday AM	B*	12.3*	B*	12.3*	D*	28.4*	N/A	N/A
Coleridge Drive & Site Driveway #2*	Sunday AM	A*	8.9*	A*	8.9*	A*	9.3*	N/A	N/A
Coleridge Drive & Proposed Site Driveway*	Sunday AM	N/A	N/A	N/A	N/A	A*	9.6*	N/A	N/A

BOLD/ITALICS – Critical Movement or Overall Intersection Requires Mitigation Per Town TIS Guidelines

* - Worst-Case LOS/Delay for Unsignalized/Stop-Controlled Critical Movement

** - No Mitigation Recommended – See Recommendations Section of Executive Summary

Access Analysis

Vehicular site access is to be accommodated by two existing and one proposed full movement access driveway connecting to Coleridge Drive. Design details related to driveway throat lengths are shown on the concept plan and provide approximately 50 to 75 foot driveway throat at the driveways. An internal driveway circulation system to all surface parking areas is also shown on the plans. The middle driveway is currently used primarily as a drop-off location, and it would continue to function as such in the future concept plan.

Driveway distances along Coleridge Drive from its intersections at Sage Road are approximately 400 feet (to the north intersection) and 500 feet (to the south intersection) and are acceptable, based on recommendations of 100 foot minimum corner clearance as set forth in the 2003 *NCDOT Policy on Street and Driveway Access to North Carolina Highways* and the 50 foot minimum along local streets specified in the 2005 *Town of Chapel Hill Design Manual*. The proposed spacings between the three driveways (225 feet and 350 feet) is more than the recommended 50 foot spacing along local streets (Table 4-A-1 in the Town Design Manual).

Access for pedestrians and bicyclists is adequate in the project study area. Sidewalk is present on both sides of Sage Road and on the opposite side of Coleridge Drive adjacent to the site and



exists along the major street connections along Sage Road. Crosswalk and pedestrian signals exist across the major Sage Road study area intersections near the Grace New Testament Church Expansion site. Specific bicycle amenities are present along the Sage Road and Old Sterling Drive roadway facilities, with striped lanes present in both directions.

Signal Warrant Analysis

Based on projected 2017 traffic volumes and current/proposed access plans, no study area intersection would warrant the installation of a traffic signal, based on the methodology found in the *2009 Manual on Uniform Traffic Control Devices (MUTCD)*. The intersection of Sage Road and Coleridge Drive (south) was found to possibly experience deficient LOS F critical movement traffic operations in the 2017 with site traffic scenario. This intersection was tested for satisfaction of the Peak Hour Warrant thresholds and results indicated that it does not meet peak hour warrants with projected 2017 Sunday AM peak traffic volume estimates.

Other Transportation-Related Analyses

Other transportation-related analyses relevant to the 2001 Town of Chapel Hill Guidelines for the preparation of Traffic Impact Studies were completed as appropriate. The following topics listed in **Table ES-3** are germane to the scope of this study.

Table ES-3. Other Transportation-Related Analyses

Analysis	Comment
Long-Range Daily Volume-Capacity Analysis	Due to the fact that the proposed site expansion will add approximately 800 daily trips to the study area network, no long-range daily v/c analysis was conducted for this study.
Turn Lane Storage Requirements	Storage bay lengths at study area intersections were analyzed using Synchro and HCS 95 th percentile (max) queue length estimates for the 2017 Build Scenario. Existing southbound right-turn and northbound left-turn storage bays at the US 15-501/Sage Road intersection may have maximum queues exceeding existing storage bays. This condition also may occur during existing 2014 Sunday AM peak conditions. No other storage issues are noted. Given current intersection configurations and right-of-way limits, it may not be feasible to lengthen these storage bays without significant changes to the intersection and/or nearby frontage road.
Appropriateness of Acceleration / Deceleration Lanes	The site concept plan shows no specifics related to acceleration/deceleration lanes along Coleridge Drive. Based on the existing 25 mph speed limit on Coleridge Drive, the fact that it functions as a local access collector facility, and analysis results in this study, no specific acceleration or deceleration lanes are recommended at existing or proposed site access points. No other specific acceleration/deceleration lane issues were analyzed in the project study area.
Pedestrian and Bicycle Analysis	Existing pedestrian and bicycle access and connectivity is adequate in the project study area. Sidewalk exists along all major and minor study area roadways on at least one side of the road, with the exception of the US 15-501 corridor. Pedestrian crossings and signals are present along several Sage Road intersections. Delineated bicycle lanes are present in the project study area along the Sage Road extension. No sidewalk currently exists along the existing site frontage with Coleridge Drive and site plans do not indicate new sidewalk.



Table ES-3. (Continued) Other Transportation-Related Analyses

Analysis	Comment
Public Transportation Analysis	Public transportation service to the study area, and to the church site itself, is excellent with multiple bus stops and multiple local bus routes on Sage Road and Coleridge Drive proximate to the site. No CHT service exists in the project study area in the Sunday AM peak hour, however.

Mitigation Measures/Recommendations

Planned Improvements

There are no Town of Chapel Hill or North Carolina Department of Transportation improvement projects for study area roadway facilities within the analysis year time frame of 2014-2017.

Background Committed Improvements

There are no specific geometric or operational improvements to study area roadway intersections or facilities related to background private development projects that are expected to be completed between 2014 and 2017.

Applicant Committed Improvements

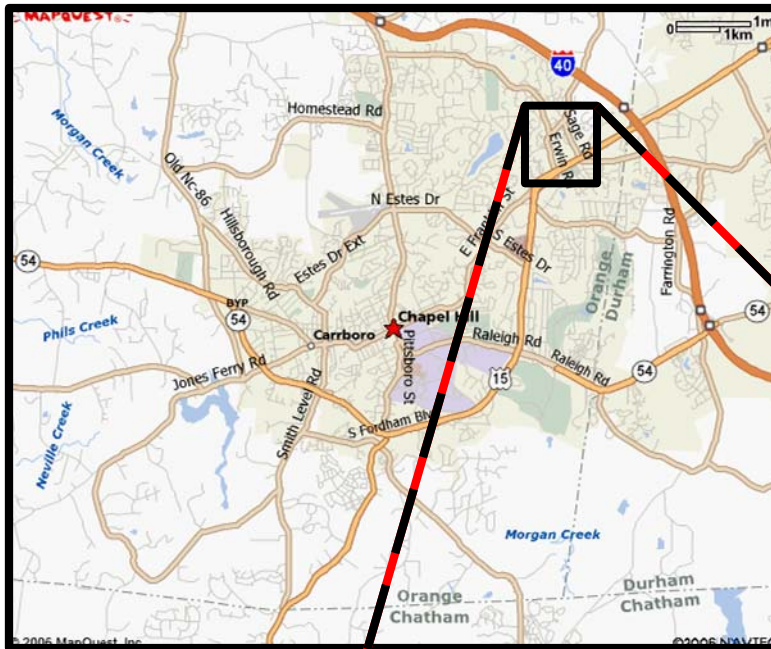
Based on the preliminary site concept plans and supporting development information provided, there are no specific external transportation-related improvements proposed adjacent to the Grace New Testament Church Expansion, other than the provision of an additional site access driveway.

Necessary Improvements

Based on traffic capacity analyses for the 2017 design year, and analyses of existing study area turning bay storage lengths and site access, the following improvements are recommended as being necessary for adequate transportation network operations (see **Figure ES-3**).

- 1) Provide sidewalk connection between existing sidewalk along Sage Road and the proposed site to better accommodate any potential future pedestrian trips to/from the site.

2017 capacity analyses of the Sage Road and Coleridge Drive (south) / Lowes Service Driveway intersection indicate that the westbound stop-controlled Lowes Driveway approach may operate at a LOS F in the Sunday AM peak hour with the addition of site expansion traffic volumes added to the eastbound Coleridge Drive approach at this intersection. Further investigation of existing traffic volume peaking characteristics within the peak hour indicate that peak traffic volumes entering the vicinity of the Grace New Testament Church do not coincide with exiting volumes during the period between church services. In addition, further analysis of peak hour signal warrant thresholds with 2017 site expansion traffic volumes included shows that this intersection would not meet warrants for signalization. Maximum predicted queue lengths for the westbound approach are approximately two vehicles and total volumes (45 vehicles) are not excessive. Therefore, no mitigation is recommended for this intersection due to site expansion-related impacts.

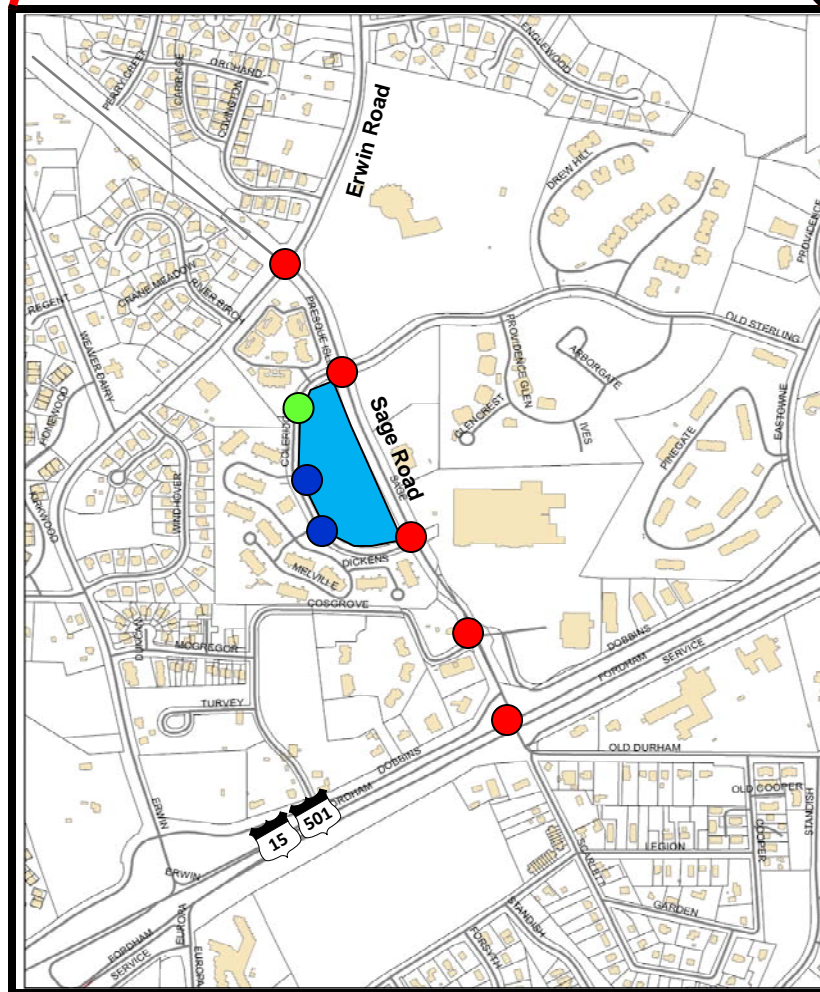


LEGEND

- = Existing Building Footprint
- = Existing Study Area Intersection
- = Existing Site Driveway
- = Proposed Site Driveway
- = Proposed Site Parcel



NOT
TO
SCALE



HNTB



Grace New Testament Church Expansion Traffic Impact Study

PROJECT STUDY AREA MAP

DATE: January 2015

FIGURE ES-1



DATE: January 2015

FIGURE ES-3



**NOT
TO
SCALE**

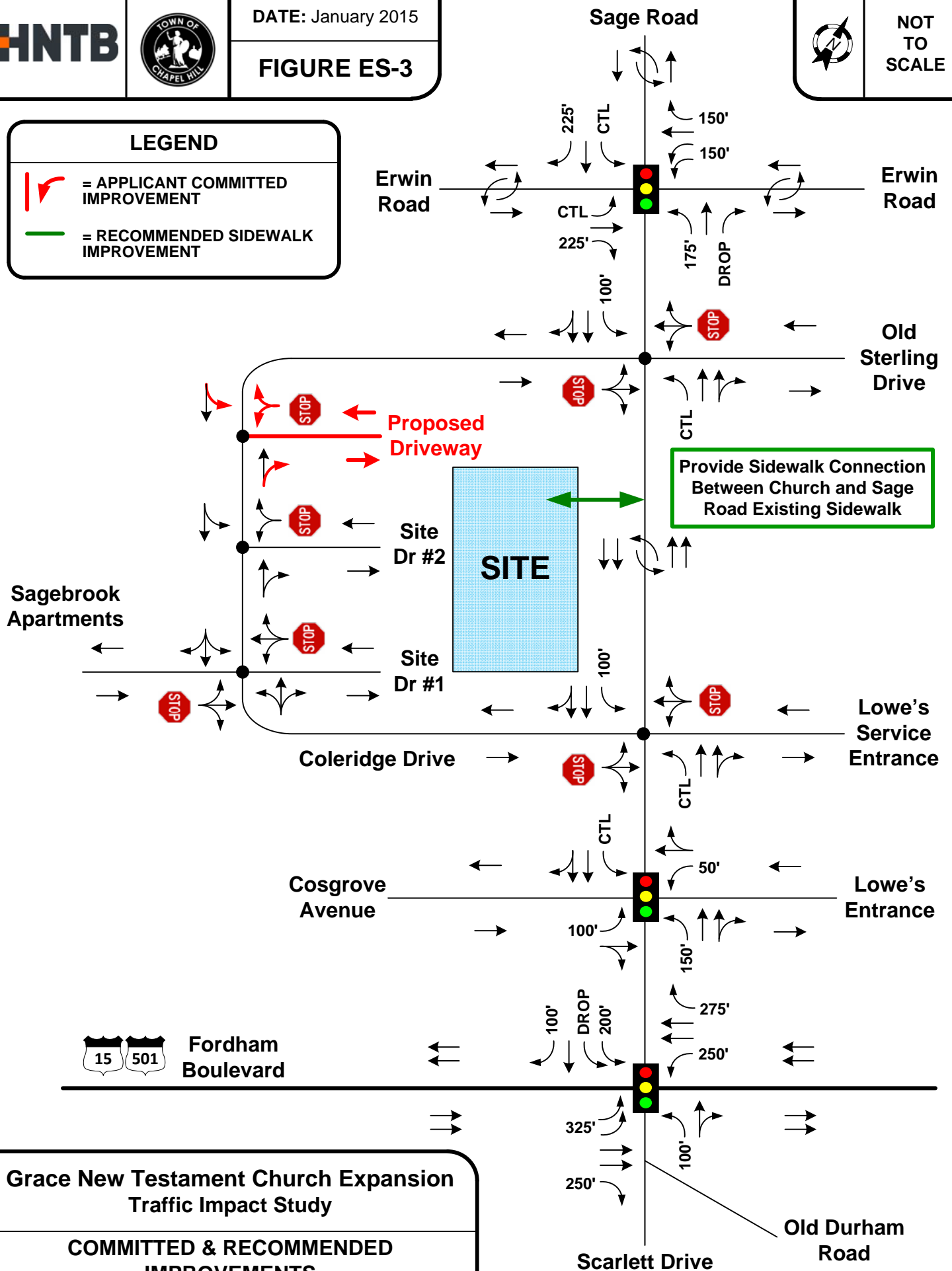
LEGEND

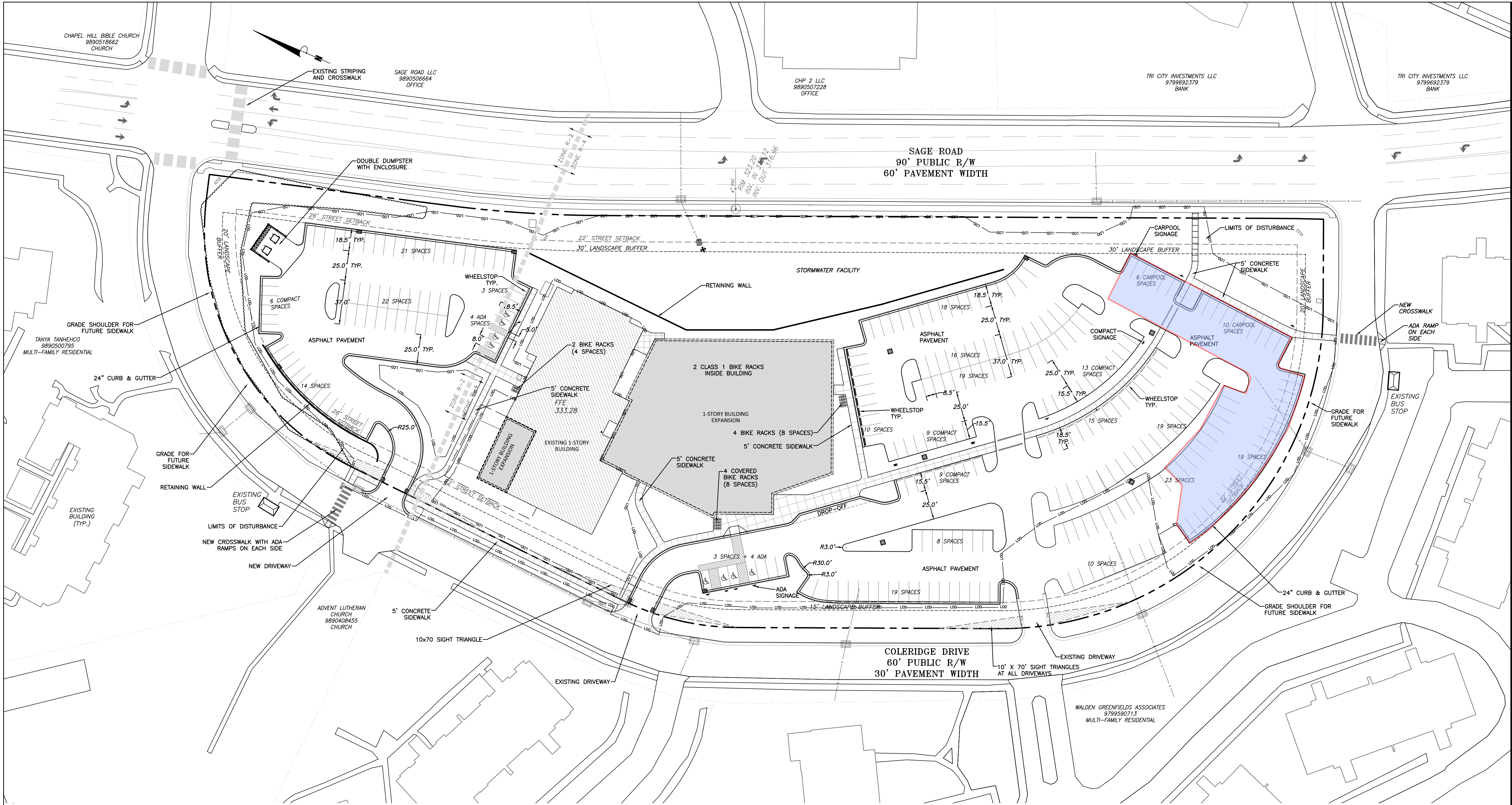


= APPLICANT COMMITTED IMPROVEMENT



= RECOMMENDED SIDEWALK IMPROVEMENT





1/C200
SITE LAYOUT PLAN
SCALE: 1"=40'

site plan notes

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE EXISTING CONDITION / DEMOLITION PLAN SHEETS C100 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- MASONRY WALLS WILL NOT BE REPAIRED BY THE TOWN RESULTING FROM MAINTENANCE ON TOWN OF CARY AND OWASA MAINTAINED UTILITIES.

LEGEND

Water Valve	⊗	Light Pole	○	OLP	○
Curb Inlet/Catch Basin	□	Sewer Cleanout	○	OCO	○
Mail Box	MB	Flared End Section	—		
Traffic Signal Box	TSB	Gas Valve	⊗	GV	⊗
Electric Transformer	ET	Existing Iron Pipe (3/4" unless noted)	—	IP	—
Electric Junction Box	EJB	1/2" Iron Pipe Set	—	PK	—
Gas Meter	GM	Existing PK Nail	—	PKS	—
Sanitary Sewer Manhole	SSM	Computed Point	—		△
Storm Sewer Manhole	SSM	Concrete Monument	—		△
Telephone Manhole	TM	Tree Line	—		—
Electric Manhole	EM	Fence	—		—
Sign	TEL	Underground Electric	—		—
Telephone Pedestal	TEL	Underground Telephone	—		—
Fire Hydrant	FW	Gas Line	—		—
Post Indicator Valve	PIV	Water Line	—		—
Water Manhole	WM	Overhead Utilities	—		—
Water Meter	WM	Storm Sewer	—		—
Hot Box	HB	Sanitary Sewer	—		—
Utility Pole	UP	Guard Rail	—		—
		Building Wall	—		—



Coulter
Jewell
Thames RA

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Project:

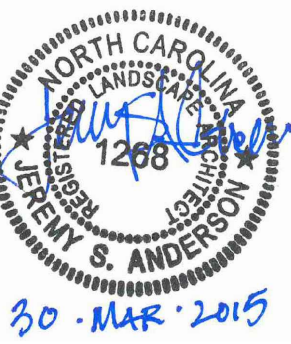
GRACE CHURCH
EXPANSION

200 SAGE ROAD
CHAPEL HILL, NC 27514

ORANGE COUNTY
NORTH CAROLINA

144

PIN: 9890503171



PRELIMINARY
NOT FOR CONSTRUCTION

Job Number: 1339

Drawn	JSA, TRM, CLJ, MTC
Checked	JSA, CBM
Date	11-24-2014
Revisions	02-06-2015
TOWN COMMENTS	03-30-2015

SPECIAL USE PERMIT

Sheet Title:

SITE
LAYOUT
PLAN

Sheet Number

C200

From: Dan Jewell [mailto:djewell@cjtpe.com]
Sent: Thursday, June 18, 2015 11:21 AM
To: Kay Pearlstein
Cc: Jeremy Anderson
Subject: Grace Church - additional information

Hello Kay

As additional evidence in support of Finding #3 relative to values of contiguous property, particularly in response to a neighbor across the street stating concern about decreasing her property values, we would like to offer the following:

“As none of the speakers from Presque Isle identified themselves as Certified Real Estate Appraisers, their concerns about property values are based on speculation rather than evidence. What we would counter with are the following facts: Grace Church was already constructed and operating prior to Presque Isle being built. When Presque Isle was finally built and unit sales taking place, the northern end of the Church property (which had been a field when the first purchased by Grace Church) was populated by scrub pines 5’-8’ tall that had germinated from wind-blown seed. Those pines have grown to the current size over the ensuing 15-18 years. Also, when Presque Isle was built, the Developer cleared nearly every tree from the previously heavily wooded property. We would therefore submit that a) scrubby vegetation on the Church property at the time of initial sales of Presque Isle units did not seem to affect the desirability of those units b) the fact that there was little or no mature vegetation on the Presque Isle property itself did not seem to negatively affect desirability of those units c) For the residents of Presque Isle to count on views of vegetation on private property that they do not control to affect their property values simply does not seem right, and d) the Church is proposing to maintain a buffer of existing vegetation in this viewshed and enhance with additional plantings that well exceed the LUMO requirements. The view from their properties will be largely unaffected, and we would say actually enhanced”

Please do not hesitate to contact me if you have questions about this

Best

Dan

Daniel Jewell, RLA, ASLA
President
Coulter Jewell Thames, PA
111 W. Main St., Durham, NC 27701
919.682.0368



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #13

TO: Roger L. Stancil, Town Manager

FROM: Dwight Bassett, Economic Development Officer
Mary Jane Nirdlinger, Planning and Sustainability
Gene Poveromo, Planning Manager

SUBJECT: Status Report on Initiating an Economic Development Agreement on Property Proposed for The Edge

Recommended Council Action

- That the Council receive the report, review and offer feedback on the proposed approach and process, and consider adopting a Resolution calling a public hearing.

Explanation of Recommendation

- When the Council approved a Special Use Permit (SUP) for The [Edge development on February 23, 2015](#)¹, Council also [adopted a resolution](#)² directing staff to begin working on an economic development agreement for this project. Tonight's item frames five topics and next steps for an agreement. It also offers a direction for bringing the five topics back to the Council for formal consideration at a public hearing.

Initiating an Agreement

- As directed by Council, Town staff engaged The Edge applicant in a preliminary discussion about a possible economic development agreement for some aspects of The Edge development.
- The below preliminary list was developed based on discussions received from Council during the February 23, 2015 public hearing on The Edge and subsequent conversations with the applicant. The list includes:
 - Road Improvement Participation;
 - Annexation;
 - Affordable Housing; and
 - Resource Conservation and Jordan Buffers.
- Staff believes that a reasonable approach for an economic development agreement is to focus on improvements to Eubanks Road, but also to address mutually beneficial outcomes on other matters.

¹ <http://chapelhillpublic.novusagenda.com/Bluesheet.aspx?itemid=3075&meetingid=327>

² http://chapelhill.granicus.com/MetaViewer.php?view_id=&clip_id=2319&meta_id=95343

Possible Elements of an Economic Development Agreement

- This section outlines proposed contents of an agreement.
- 1. Road Improvement Participation
The Town will consider funding 30% of the Road Improvement Cost that is estimated at \$3,500,000. The Town's total participation would be no more than \$1,050,000 and may include non-cash contributions such as delaying the annexation agreement effective date until after the construction of the infrastructure and/or a contribution of permit fees. The balance of the Town's contribution would be in the form of direct payments occurring after the first Certificate of Occupancy is issued. Payments would be in the form of a reimbursement limited to 50% of the new property tax receipts received by the Town for the completed portion of the project.
- 2. Annexation: As noted above the Town and applicant would agree that the applicant would submit an annexation application as required in the SUP. Annexation may be delayed to a future set date, which has value to the developer and may be considered as a part of the Town's contribution toward the road improvements. Annexation would take place prior to the Town issuing Certificates of Occupancy to any buildings.
- 3. Affordable Housing: The Special Use Permit requires the applicant to apply for a tax-credit affordable housing project with 50 units in five years or offer to sell to the Town an affordable housing site for the tax value. As a part of this agreement the applicant will be asked to extend the commitment to seek an affordable housing project to 10 years and at the end of that period if the 50 affordable units have not been approved/developed, the applicant will be asked to sell/transfer to the Town the land allocated for the affordable project for \$1.00. The minimum size of the affordable housing site will be 1 acre.
- 4. Resource Conservation and Jordan Buffers: During the Special Use Permit presentation, the applicant presented the Council with a "conceptual plan" that located a building within a portion of the Resource Conservation District (RCD) and the Jordan Buffer. When the Council approved the Special Use Permit, they also [adopted a resolution](#)³ directing staff to "begin researching a Land Use Management Text Amendment to amend the Resource Conservation District Regulations."

As part of this agreement the Town might consider authorizing building within a limited section of the RCD and support removing the Jordan stream buffer in this area. The retail potential of the site would increase by approximately 40,000-100,000 sq. ft. of additional retail space. The agreement would also specify that the Town will approve the necessary text amendment to the RCD and Jordan Buffer to allow an encroachment.

By allowing a larger portion of the property to be visible from Martin Luther King Jr. Blvd. and the I-40 ramp, the site will be able to compete for nationally-recognized anchor tenants and will in turn attract additional smaller retail tenants, restaurants and services.

³ http://chapelhill.granicus.com/MetaViewer.php?view_id=7&clip_id=2319&meta_id=95793

As of this time, staff held a meeting in which the applicant briefly described to staff the intended work in the RCD and what state/federal permit might be required. The applicant has also met with the State to determine the feasibility of this request and may offer additional information tonight.

Next Steps

- Staff believes that the outlines of the issues above are within the framework of Council's discussion with the applicant.
- Staff further recommends that the Council authorize the staff to continue to work with the applicant to prepare a draft of an Economic Development Agreement and set a date for a public hearing at which to receive a complete draft of an Economic Development Incentive Agreement for review and consideration.

Fiscal Note

- The fiscal impact of this project is related to the level of commitments and their timing. During the Special Use Permit a Fiscal Impact report was completed and showed a positive contribution to the Town's tax base from this development.

Council Goal:

- Create A Place for Everyone
- Facilitate Getting Around
- Develop Good Places New Spaces
- Nurture Our Community
- Support Community Prosperity and Engagement

Attachments

- Resolution

**A RESOLUTION CALLING A PUBLIC HEARING ON A PROPOSED AGREEMENT
BETWEEN THE TOWN OF CHAPEL HILL AND THE APPLICANT FOR THE EDGE
DEVELOPMENT (2015-06-22/R-13)**

WHEREAS, the Council of the Town of Chapel Hill approved the Special Use Permit for The Edge development located on Eubanks Road on February 23, 2015; and

WHEREAS, the Council has an interest in affordable housing; resource conservation district, Jordan Buffers, transportation improvements and enhanced economic development, and

WHEREAS, the Council desires to discuss further details of the proposed incentive for road building associated with this development; and

WHEREAS, there is belief that this development can benefit the commercial tax base, create jobs and bring further retail development for Chapel Hill.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council does hereby accept the framework of issues associated with the Economic Development Incentive Agreement and agrees to further discussion by calling for a Public Hearing on September 16, 2015.

This the 22nd day of June, 2015.



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #14

TO: Roger L. Stancil, Town Manager

FROM: Mary Jane Nirdlinger, Planning and Sustainability
Gene Poveromo, Development Manager
Eric Feld, Planner II

SUBJECT: Concept Plan: [Siena Hotel Expansion, 1505 East Franklin Street](#)¹

Recommended Council Action

- That the Council review the Concept Plan and provide the applicant with feedback.

Explanation of Recommendation

- Section 4.3.1(b)(1) of the Land Use Management Ordinance requires concept plan review by the Town Council where proposed floor area is greater than 100,000 square feet in zoning districts outside of the Town Center. The applicant's concept plan proposes approximately 130,000 square feet of floor area.

Key Review Considerations

- The proposed project requires a rezoning and a Special Use Permit application including a possible text amendment to the Mixed-Use Zoning district.
- The development is within the Area 5 (North 15-501) identified in the Chapel Hill 2020 Comprehensive Plan. Chapel Hill 2020 encourages enhanced bicycle and pedestrian connections to link new residential and commercial uses in Area 5.
- Anticipated improvements to the East Franklin Street frontage as shown in the Chapel Hill Bike Plan include new sharrows for bicycle traffic.
- This property is encumbered by a Shared Agreement (attached) that limits vehicular access from the Siena Hotel to North Estes Drive.

Background

- On December 17, 1985 the Chapel Hill Planning Board approved a Site Plan for the Siena Hotel.
- On March 5, 1986 and July 31, 1986, the property became subject to a Settle Agreement and Declaration of Restriction (attached).
- The Community Design Commission reviewed a Concept Plan on April 28, 2015. Their summary comments are included in this memorandum.

¹ <http://www.townofchapelhill.org/town-hall/departments-services/planning-and-sustainability/development-projects/development-activity-report/siena-hotel-expansion>

Fiscal Note

- Fiscal impacts not determined.

Council Goal:

- Create A Place for Everyone
- Facilitate Getting Around
- Develop Good Places New Spaces
- Nurture Our Community
- Support Community Prosperity and Engagement

Attachments

- Staff Memorandum
- Resolution
- Excerpt From Land Use Management Ordinance Section 4.3 – Concept Plan Review
- Settlement Agreement and Declaration of Restriction
- Applicant's Materials
- Maps (1000' Notification; Aerial; Chapel Hill Land Use Plan; Development Activity; Chapel Hill 2020 Focus Area 5; Chapel Hill Bike Plan)

MEMORANDUM

TO: Roger L. Stancil, Town Manager

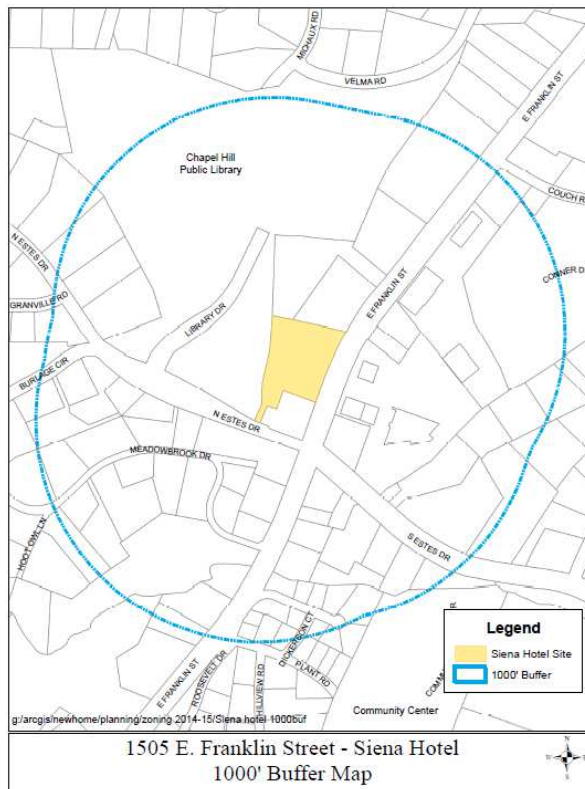
FROM: Mary Jane Nirdlinger, Planning and Sustainability
Gene Poveromo, Development Manager
Eric Feld, Planner II

SUBJECT: Concept Plan: [Siena Hotel Expansion, 1505 East Franklin Street](#)

DATE: June 22, 2015

PURPOSE

Tonight's Concept Plan presentation provides an opportunity for the Council to consider a development expansion proposed at 1505 East Franklin Street, also known as the Siena Hotel. The site is in Area 5 (North 15-501) of the Chapel Hill 2020 Comprehensive Plan. Current zoning for the site is Community Commercial (CC).



Because this is a Concept Plan submittal, nothing stated by individual Council members this evening can be construed as an official position or commitment on the part of a Council member with respect to the position they may take when and if a formal application for development is subsequently submitted to the Council for formal consideration. This proposed project will require both a Special Use Permit and rezoning applications.

In accordance with [Article 4.3](#)¹ in the Land Use Management Ordinance, there has been no formal staff review of this Concept Plan submittal. When the Town receives a formal application, another notice will be mailed to property owners within 1,000 feet of the site and staff will begin its formal review.

¹https://www.municode.com/library/nc/chapel_hill/codes/code_of_ordinances?nodeId=CO_APXALOUSMA_ART4PR_4.3COPLRE

APPLICABLE COMPREHENSIVE PLANS & STUDY AREAS

The following chart compares the plans and study areas associated with this proposed redevelopment.

Study Area and Adoption Date	Goals, Objectives, Key Considerations and Opportunities
Chapel Hill 2020 Comprehensive Plan ² (June 25, 2012)	<p><i>Key Considerations for Area 5 (North 15-501):</i></p> <ul style="list-style-type: none"> Enhanced bicycle and pedestrian connections could link existing and new residential and commercial uses in this area. Redevelopment opportunities exist in this area, which currently has underutilized commercial capacity. <p><i>Area 5 Actions:</i></p> <ul style="list-style-type: none"> Focus additional efforts, in partnership with property owners in the area, to identify sections to rezone and to provide enhanced connectivity for bicycles, transit, pedestrians, and vehicles using the complete streets approach.
Chapel Hill Bike Plan ³ (June 9, 2014)	<p>The Chapel Hill Bike Plan proposes sharrows along the site's East Franklin Street frontage as part of the Short Term Plan.</p>

PROJECT DESCRIPTION

The Concept Plan has been submitted by Summit Design and Engineering on behalf of The Focus Properties. The proposed site is an existing development on the west side of East Franklin Street and the north side of North Estes Drive. The property is currently located in the Community Commercial (CC) zoning district and is identified as Orange County Parcel Identifier Number 9789-93-7400 (Project #15-026).

The Concept Plan proposes construction of a 1-story addition to the existing 4-story hotel, as well as a new 6-story addition. The total proposed change is approximately 64,000 square feet of new floor area including 61 new hotel rooms. The applicant proposes overflow surface parking in a leased lot 730 feet away at the FastMed Building (also known as the Collier Cobb Office Building). Please see the applicant's materials for additional information.

At their April 28, 2015 meeting, the [Community Design Commission](#)⁴ reviewed this Concept Plan. Highlights of their comments are as follows:

² <http://www.townofchapelhill.org/home/showdocument?id=15001>

³ <http://www.townofchapelhill.org/town-hall/departments-services/design-chapel-hill/connected-community/the-chapel-hill-bike-plan>

⁴ <http://www.townofchapelhill.org/Home/Components/Calendar/Event/7464/15?curm=4&cury=2015>

- The proportions of the building are good.
- It is exciting to see an expansion like this in Chapel Hill.
- The building could be closer to the street.

The Concept Plan has been unchanged since review by the Community Design Commission.

PROCESS

The Council has the opportunity tonight to hear this applicant's presentation, receive a set of comments from the Community Design Commission, hear public comments, and offer suggestions to the applicant for consideration as further plans are drawn.

RECOMMENDATION

We recommend that the Council review this Concept Plan, receive comments from the public, and adopt the attached resolution transmitting comments to the applicant for the Concept Plan for the Siena Hotel Expansion.

A RESOLUTION TRANSMITTING COUNCIL COMMENTS ON A CONCEPT PLAN FOR THE SIENA HOTEL EXPANSION, 1505 EAST FRANKLIN STREET (2015-06-22//R-14)

WHEREAS, a Concept Plan has been submitted for review by the Council of the Town of Chapel Hill for Siena Hotel Expansion, 1505 East Franklin Street; and

WHEREAS, the Council has heard presentations from the applicant and the public; and

WHEREAS, the Council has discussed the proposal, with Council members offerings reactions and suggestions.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council transmit comments to the applicant regarding this proposal, as expressed by Council members during discussions on June 15, 2015 and reflected in minutes of that meeting.

This the 22nd day of June, 2015.

4.3 Concept Plan Review

Purpose Statement: *It is the intent of the Site Analysis Data and Conceptual Development Plan process to provide an opportunity for the Town Council, Town Manager, the Community Design Commission and citizens to review and evaluate the impact of a major development proposal on the character of the area in which it is proposed to be located. This process is intended to take into consideration the general form of the land before and after development as well as the spatial relationships of the proposed structures, open spaces, landscaped areas, and general access and circulation patterns as they relate to the proposed development and the surrounding area.*

4.3.1 Applicability

(a) *Proposals Subject to Review by Community Design Commission*

This Section applies to any:

- (1) Special Use Permit or a Special Use Permit Modification; or
- (2) Master Land Use Plan or a Master Land Use Plan Modification; or
- (3) Major Subdivisions.

(b) *Proposals Subject to Additional Review by Town Council*

- (1) An application that meets any of the minimum thresholds established in subsections (1) or (2), below, shall require Town Council review as provided in Section [4.3.2](#), below, in addition to Community Design Commission review:

Thresholds (minimum)	TC-1, TC-2 Zoning Districts	All Other Zoning Districts
Land Area	15,000 square feet	5 acres
Floor Area	20,000 square feet	100,000 square feet
Dwelling Units	35 dwelling units	50 dwelling units

- (2) If an application does not meet the thresholds established in subsection (1), above, the applicant may request review by the Town Council. The Town Council may determine to review the application, or it may decline to review the application. Such request shall be filed at least fifteen (15) days in advance of a regular meeting of the Town Council. The Town Council's determination shall be rendered at its next regular meeting after receiving a complete request for Town Council review.

4.3.2 Procedures

(a) Application Submittal Requirements

Applications for Site Analysis Data and Conceptual Development Plan review shall be filed with the Town Manager. The Town Manager shall prescribe the form(s) on which information shall be submitted. Forms shall include the name and address of the applicant, the name and address of the owner of each zoning lot involved, and the relationship of the applicant and property owner in connection with the plan. If the applicant or property owner is an entity other than an individual, the plans shall also include detailed information regarding the principals of the entity. Forms shall include the name of the project principals and indicate the project principals development experience. The Town Manager shall prescribe any other material that may reasonably be required to determine compliance with this Chapter and relationship to the Town's Comprehensive Plan with sufficient copies for necessary referrals and records.

No application shall be accepted by the Town Manager unless it complies with such submittal requirements. Applications that are not complete shall be returned forthwith to the applicant, with a notation of the deficiencies in the applications

(b) Time Frame for Action on Concept Plans

Upon receipt of a complete Concept Plan, the Town Manager shall forward all information submitted by the applicant for review by the Community Design Commission within thirty (30) days.

(c) Aspects of Review

The Town Council and Community Design Commission, in examining development applications, are to consider the various aspects of design, with special emphasis on whether the proposed development is consistent with the Town's Design Guidelines and the Goals and Objectives of the Town's Comprehensive Plan.

(d) Community Design Commission Review

- (1) The Community Design Commission shall review the application and shall submit its written recommendation to the applicant and Town Council, if applicable.
- (2) The Community Design Commission shall consider public comments and shall base its recommendation on its determination of whether or not the application conforms to applicable provisions of this Chapter.
- (3) The Community Design Commission shall provide its recommendations to the applicant within thirty-five (35) days of the meeting at which a complete application is considered, or within such further time consented to in writing

by the applicant or by Town Council resolution. If the Community Design Commission fails to prepare its recommendation to the applicant within this time limit, or extensions thereof, that agency shall be deemed to recommend the application without conditions.

(e) Town Council Review

- (1) After receiving the recommendations of the Community Design Commission, the Town Council shall review the application in the same manner as prescribed in subsection (d), above. The Town Council may appoint a subcommittee to review the application. The Mayor shall determine the membership of the subcommittee.
- (2) The Town Council may conduct its review concurrent with the Community Design Commission.
- (3) After considering public comments and the recommendations of the Community Design Commission, the Town Council shall adopt a resolution transmitting its preliminary recommendations to the applicant.

4.3.3 Criteria

The Concept Plan is a preliminary step toward the preparation of a formal development plan. All Concept Plans should demonstrate a high quality of overall site design. The design and construction of site elements should include appropriate descriptions and explanations of the relationship and balance among site elements, the relationship of the development to natural features, neighboring developments and undeveloped land, access and circulation systems, retention of natural vegetation, minimal alteration of natural topography, mitigation of erosion and sedimentation, mitigation of stormwater drainage and flooding, arrangement and orientation of buildings and amenities in relation to each other and to neighboring developments and streets, landscaping, preservation or enhancement of vistas, and mitigation of traffic impacts.

NORTH CAROLINA

AGREEMENT

ORANGE COUNTY

THIS AGREEMENT made and entered into this 5th day of ~~February~~ March, 1986 by and between M. Joseph Hakan and Siena Partnership, a North Carolina General Partnership, hereinafter collectively referred to as "Developers;" and P. Craig Gaskell and Julia Gaskell, F. Kay Snipes, and Barney Koszalka, hereinafter collectively referred to as "Appellants;"

W I T N E S S E T H:

WHEREAS, Developers were granted site plan approval for the development of the Siena Hotel on December 17, 1985, by the Chapel Hill Planning Board pursuant to the Chapel Hill Land Development Ordinance; and

WHEREAS, the action of the said Planning Board in granting said site plan approval was appealed by Appellants to the Chapel Hill Board of Adjustment pursuant to the Chapel Hill Land Development Ordinance; and

WHEREAS, Appellants are members of a neighborhood group which has expressed concern regarding the height of the Siena Hotel as approved by the Chapel Hill Planning Board, maintenance of buffers and landscaping, and regarding the possibility of the vehicular access for said hotel being routed directly from the hotel property onto Estes Drive in Chapel Hill, North Carolina; and

WHEREAS, Developers have met with the aforesaid neighborhood group and attempted to resolve said concerns by minor modifications in the site plan for the Siena Hotel which modifications address the concerns of said neighborhood group and specifically the concerns of Appellants; and

WHEREAS, said modifications to the site plan are agreeable to the Developers and to the Appellants as a full and complete resolution of the aforesaid appeal which remains pending before the Chapel Hill Board of Adjustment; and

WHEREAS, it is anticipated by the parties hereto that the agreed upon minor modifications of the aforesaid site plan will constitute a "minor" modification such that same may be approved by the Town Manager pursuant to Section 15.5 of the Chapel Hill Land Development Ordinance and other applicable sections of said Ordinance;

NOW, THEREFORE, in consideration of the mutual covenants and agreements contained herein, the parties hereto agree as follows:

1. Developers shall forthwith modify the plans for the Siena Hotel so as to reduce the height of said building to forty (40) feet from the mean natural grade and an additional five (5) feet to the top of the parapet wall. Such reduction in height to forty-five (45) feet in height shall be exclusive of minor protrusions exceeding said height on account of the location of utility equipment, interior stairwells, or antennae (not to include any satellite dish) which are appurtenant to the

structure and used in the operation of the hotel or required by the Building Code.

2. Upon acquiring ownership of the land upon which the Siena Hotel is to be built, Developers shall forthwith record restrictive covenants regarding said land prohibiting the use of said land for any form of vehicular travel or for right of way for egress and ingress between the lands shown on the site plan approved for the Siena Hotel by the Town on December 17, 1985, and Estes Drive in Chapel Hill, North Carolina. The parties specifically understand and agree that to the extent the lands to be purchased by Developers are not part of the site plan for the Siena Hotel and to the extent that said lands include frontage on the said Estes Drive, Developers shall not be prohibited from using said lands which are not a part of the Siena Hotel site plan for any lawful purpose and shall not be prohibited by said restrictive covenant from access to and from Estes Drive for such land which is not a portion of the Siena Hotel site plan, so long as such use is in no way accessory to the Siena Hotel. Developers shall at no time create a direct or indirect means of vehicular access from the hotel property as depicted in the aforesaid site plan and Estes Drive.

3. Developer shall cause the conditions required by the Planning Board of the Town of Chapel Hill for the Siena Hotel and made a part of its resolution of December 17, 1985 to be amended at number 4 of said conditions to additionally provide that the landscape maintenance plan required there include adequate

maintenance of all plantings for landscaping and for buffers as depicted on the site plan and replacement of plants as may be necessary on account of the death or destruction of such plants. Such replacement of plants in any buffer shall only be to the extent that same is necessary to comply with the then existing buffer requirements contained in the Chapel Hill Land Development Ordinance. The parties understand and agree that the Appellants' willingness to enter into this Agreement is in substantial part in reliance upon the buffers, screens and landscapings shown on the Developers' approved site plan and landscape plan actually being installed and maintained so as to remain healthy and verdant.

4. The aforesaid restriction in the height of the Siena Hotel, the agreement and restriction regarding maintenance and replacement of plantings shown on the landscape plan and the restrictions in the use of the lands to be acquired by Developers for vehicular access to Estes Drive, shall be, by the consent of the parties hereto, made a part of the conditions in the modification to site plan approval and zoning compliance permit to be issued by the Town of Chapel Hill so that said restrictions and agreements are enforceable by the Town of Chapel Hill as a part of its normal enforcement procedures related to the Chapel Hill Land Development Ordinance. Specifically, any violation of the provisions of paragraphs 1, 2 and 3 of this Agreement, as same are made conditions of site plan approval, shall be determined by the Town Manager of the Town of Chapel Hill or his

designee, and enforcement measures taken by said Town as may be appropriate. However, Appellants retain all other rights to enforce this Agreement.

5. Immediately after the execution of this Agreement by all parties, Developers shall seek the modification of the site plan and Zoning Compliance Permit as referred to above. In the event that said modification is not permitted by the Town Manager of the Town of Chapel Hill, or is otherwise prohibited, then and in that event, this Agreement shall be null and void and of no force and effect and all of the parties hereto may pursue any and all legal remedies which they had prior to the execution of this Agreement.

6. Appellants shall not appeal or encourage any appeal or act in concert with others who may attempt to appeal the modification of the aforesaid site plan by the Town Manager of the Town of Chapel Hill.

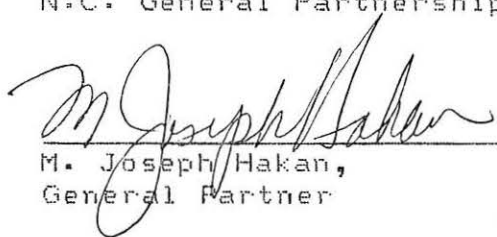
7. Appellants agree that Developers may apply for the modification of the site plan and zoning compliance permit contemplated by this Agreement while the appeal hereinabove mentioned is pending. Appellants shall continue the hearing on said appeal for at least thirty (30) days from its present setting. Developers agree to such continuance of the hearing. Appellants agree that the Town Manager for the Town of Chapel Hill may consider and approve the modifications required by this Agreement while said appeal is pending. Upon the written approval of the said modifications and issuance of the modified

site plan approval containing conditions consistent with this Agreement by the said Town Manager, then Appellants shall forthwith dismiss their appeal with prejudice.

8. This Agreement shall be construed under the laws of the State of North Carolina. This Agreement is the full and complete understanding and agreement between the parties hereto. There are no other understandings or agreements which are extrinsic to this Agreement which are not contained herein. Any modification of this Agreement shall be contained in writing and executed by the parties with the same formality as the terms of this Agreement.


IN WITNESS WHEREOF, the parties hereto have set their hands and seals, this the date and place first above written.

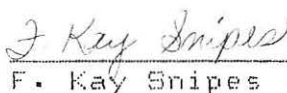
SIENA PARTNERSHIP,
N.C. General Partnership

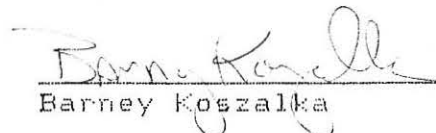
 (SEAL)
M. Joseph Hakan,
General Partner

 (SEAL)
M. Joseph Hakan,
Individually

 (SEAL)
P. Craig Gaskell

 (SEAL)
Julia Gaskell

 (SEAL)
F. Kay Snipes

 (SEAL)
Barney Koszalka

NORTH CAROLINA

BOOK 592 PAGE 306

DECLARATION OF RESTRICTION

ORANGE COUNTY

THIS DECLARATION OF RESTRICTION made this 31st day of JULY, 1986, by SIENA PARTNERSHIP, a North Carolina General Partnership, 121 South Estes Drive, Chapel Hill, North Carolina 27514 (hereinafter referred to as "Declarant");

W I T N E S S E T H:

WHEREAS, Declarant is the owner of that certain parcel of real property known and designated as Lot 1 (Revised), Re-Combination of the Property of the D. B. McLennan Estate as shown on the plat of same recorded in Plat Book 45, at Page 54, in the Orange County Registry; and

WHEREAS, Declarant has entered into an agreement dated March 5, 1986 with certain third parties whereby Declarant has agreed to restrict the use of a portion of said lot which adjoins Estes Drive in the Town of Chapel Hill so as to prevent vehicular access to or for a hotel development known as the Siena Hotel on the main portion of said lot to or from Estes Drive; and

WHEREAS, this Declaration of Restriction is intended to comply with the aforesaid agreement;

NOW, THEREFORE, KNOW ALL BY THESE PRESENTS that Declarant does hereby covenant, agree and declare that Lot 1 (Revised), Re-Combination of the Property of D. B. McLennan Estate as it appears in Plat Book 45, at Page 54, Orange County

Registry shall be subject to the following covenants and

9789-93-7400 7.38. B. 10 size

Prepared By & Return To: COLEMAN, BERNHOLZ Firm, 20 NCNB Plaza, Chapel Hill, NC 27514

RECEIVED

JUL 31 1986

COLEMAN, BERNHOLZ FIRM, ATTORNEYS AT LAW

restrictions as to the use thereof, which covenants and restrictions shall run with the land, to wit:

1. In the event that said lot or parcel of land is developed in accordance with the site plan approved by the Town of Chapel Hill for the Siena Hotel (SPR-38-B-12), then in that event said lands shall not be used for direct or indirect vehicular access between the said hotel and Estes Drive.

2. The purpose of this restriction is to prevent vehicular travel for ingress and egress associated with the operation of the Siena Hotel from Estes Drive upon that portion of said lot or parcel of land, a portion of which adjoins Estes Drive.

3. To the extent the said lot or parcel of land is not part of the aforesaid site plan for the Siena Hotel and to the extent that such lot or parcel is not improved or developed according to the aforesaid site plan for the Siena Hotel, such lot or parcel may be used for any lawful purpose, including vehicular access to and from Estes Drive, so long as such use is not vehicular travel to or from Estes Drive for parking or other purposes accessory to the Siena Hotel.

IN WITNESS WHEREOF, Siena Partnership has caused this instrument to be executed by its authorized General Partner on the day and year first above written.

SIENA PARTNERSHIP, a
North Carolina General Partnership

By: 

M. Joseph Hakan
Authorized General Partner

BOOK 592 PAGE 308

NORTH CAROLINA, ORANGE COUNTY

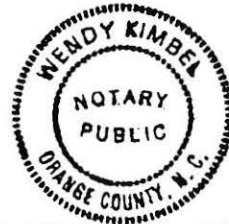
I, a Notary Public for said County and State, do hereby certify that M. Joseph Hakan, Authorized General Partner of Siena Partnership, personally appeared before me this day and acknowledged the due execution of the foregoing and attached Declaration of Restriction.

WITNESS my hand and notarial seal, this the 31st day of JULY, 1986.

My Commission Expires:

7-4-88

Wendy Kimbel
Notary Public



NORTH CAROLINA - ORANGE COUNTY

The foregoing certificate(s) of _____
Wendy Kimbel,

A Notary ~~for the State~~ Public of the designated Governmental units is ~~not~~ certified to be correct. Filed for registration this the 31st day of July 1986, at 5:21 o'clock, PM
in Record Book 592 Page 306.

Return: _____

By: *Deborah B. Brown*
Assistant/Deputy
Register of Deeds

KIMBEL & HARGRAVE ATTORNEYS AT LAW



919.732.3883 SUMMIT-ENGINEER.COM

504 Meadowland Drive, Hillsborough, NC 27278

March 24, 2015

Town of Chapel Hill
Planning Department
Town Hall, 3rd Floor
405 Martin Luther King Jr Blvd
Chapel Hill, NC 27514

Planning Department Staff:

We are pleased to present our Concept Plan application for a six story addition attached to the Siena Hotel along with one story added to the existing hotel located at 1505 East Franklin St. The existing Siena has been a great addition to this section of Chapel Hill and this addition will only add to the potential and functionality of the site. We look forward to beginning the planning process for this exciting project.

Please let me know if there are any questions or requests for additional information.

Respectfully,

A handwritten signature in blue ink that reads "David E. Cates".

David Cates

Project Engineer

Summit Design and Engineering Services

CONCEPT PLAN APPLICATION

TOWN OF CHAPEL HILL
Planning Department
 405 Martin Luther King Jr. Blvd
 phone (919) 968-2728 fax (919) 969-2014
 www.townofchapelhill.org

Parcel Identifier Number (PIN): 9789937400

Date: 3/24/2015

Section A: Project Information

Project Name: Siena Hotel Expansion

Property Address: 1505 East Franklin St Zip Code: 27514

Existing Zoning District: CC-Community Commercial

Project Description: 1 story addition to existing 79 room - 4 story hotel with connected 6 story addition adding approximately 64,000 SF resulting in 140 total rooms

Section B: Applicant, Owner and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed)

Name: Summit Design and Engineering (David Cates)

Address: 504 Meadowland Dr

City: Hillsborough State: NC Zip Code: 27278

Phone: (919) 732-3883 Email: david.cates@summitde.net

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature: David E. Cates Date: 3/23/2015

Owner/Contract Purchaser Information:

☒ **Owner**

☐ **Contract Purchaser**

Name: The Focus Properties (Prateek Chandak)

Address: 8315 Six Forks Rd., Suite 103

City: Raleigh State: NC Zip Code: 27615

Phone: (919) 977-5577 Email: pchandak@thefocusproperties.com

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature: [Signature] Date: 3/23/15



**CONCEPT PLAN APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Section C: Project Information

Project Size (acres)	2.47 acres	Square feet	107,593.2 SF
Floor Area (permitted)	46,158 SF	Proposal	approx. 130,000 SF
Proposed number of dwelling units	N/A	Units per Acre	N/A
Existing Impervious Surface	66,880 SF	Proposed Impervious Surface	67,583 SF

Please indicate which organization should receive this application for review

☒ Community Design Commission
 ☐ Historic District Commission
 ☒ Town Council

Section D: Submittal Requirements

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919)968-2728 or at planning@townofchapelhill.org. For detailed information, please refer to the Description of Detailed Information handout.

Yes	Application fee (<u>refer to fee schedule</u>)	Amount Paid \$	\$360.00
3/17/15	Pre-Application meeting – with appropriate staff		
Yes	Digital Files - provide digital files of all plans and documents		
Yes	Mailing list of owners of property within 1,000 feet perimeter of subject property (<u>see GIS notification tool</u>)		
Yes	Mailing fee for above mailing list	Amount Paid \$	\$135.52
Yes	Application Cover Sheet (8 copies) (on top of application)		
Yes	Statement of Compliance with Design Guidelines (8 copies)		
Yes	Statement of Compliance with Comprehensive Plan (8 copies)		
Yes	Digital Photographs of site and surrounding properties (8 copies)		
Yes	Developer's Program: A brief written statement of the development program, including developer's goals and objectives. The development program should be based on the constraints of the site as identified by the site analysis and include marketing objective of the developer. This preliminary development program will help evaluate the conceptual plan for the site, while also determining traffic impact and demand on community facilities and infrastructure.		
Yes	Reduced Site Plan Set (reduced to 8.5"x11")		



**CONCEPT PLAN APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Plan Sets (10 copies to be submitted no larger than 24"x36")

Plans should be legible and clearly drawn. All plan sets sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property Boundaries with bearing and distances
- Scale (engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetland Boundaries, where applicable

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, and greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicle parking areas, bicycle parking, handicapped parking, street names
- f) 1,000 foot notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Existing topography at minimum 2-foot intervals and finished grade
- f) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries

Proposed Plan

- a) General location of proposed structures
- b) Parking areas
- c) Open spaces and landscaped areas
- d) Conceptual recreation areas
- e) Conceptual building masses
- f) Conceptual utility locations (optional)
- g) Conceptual grading plan (optional)

The Siena Hotel Expansion Developer Program

I. Site Overview

- i. The Hotel expansion will be located on The Siena Hotel's existing parcel of land situated between Sherwin Williams, Chapel Hill public library, and the Kangaroo gas station located on the corner of Estes Dr. and Franklin St.
- ii. The expansion will be located behind the Kangaroo gas station towards Estes Dr.

II. Project Overview / Goals & Objective

- i. The proposed expansion will include 61-keys and will continue in the Siena's upscale theme of an Italian Villa. Hotel parking will be provided on-site with an additional valet parking located off-site at the corner of Franklin and Estes Dr. at the current Fast Med lower parking lot.
- ii. Over the past 25 years the Siena Hotel has created a very successful unique travel destination. Travelers on business and pleasure often extended their stay to enjoy the Siena's and Chapel Hill's warm heartfelt hospitality.
- iii. The Siena Hotel's unique product is in popular demand. We are turning away guests that want to specifically stay at the Siena, as we are sold out over 100 nights per year.
- iv. The Hotel will continue to serve business travelers, leisure visitors to Chapel Hill, parents visiting UNC, visiting University professionals, as well as the UNC Hospital system

III. Community Benefits

- i. The Siena Hotel expansion provides a natural transition from our current building.
- ii. Significant financial impact to the Town of Chapel Hill and Orange County through increased property taxes and occupancy taxes
 - projected to produce over \$175,000 in property taxes annually
 - Occupancy Tax – The Town of Chapel Hill and Orange County are each projected to receive over \$185,000 in annual, recurring occupancy tax revenues
- vi. The hotel will continue to provide its guests with complimentary shuttle service throughout Chapel Hill to help ease the burden with traffic.
- vii. Job Creation – the Hotel will provide job opportunities for local residents and is anticipate to create over 50 construction jobs and 15-20 additional permanent jobs at the Hotel itself

Statement of Compliance with the Comprehensive Plan

A Place for Everyone

The Siena Hotel is located between the University/downtown area and Interstate 40 providing convenient access to everyone. The hotel is a destination for more than just accommodations offering a world-class restaurant, Il Palio, 4,000 square feet of meeting space for training seminars, birthday parties, and corporate events and is also a great location for weddings for the community.

Community Prosperity and Engagement

Clearly the hotel is prospering exhibited by the need to expand. The hotel is a destination hotel bringing in patrons that might not otherwise frequent Chapel Hill which in turn helps to sustain the financial health of the community. This type of development is safe and attracts vibrant individuals. Existing and local businesses benefit as patrons of the hotel utilize the local gas stations, restaurants and shopping venues as well as retail establishments downtown and visitors to the University whether on business or pleasure.

Getting around

The relative close proximity of the Siena to the surrounding community helps to make it easily accessible to pedestrians as well as the existence of sidewalks along both sides of East Franklin Street and nearby Estes Drive. The hotel is located adjacent East Franklin Street which has three bus routes (CL, D and F) utilizing this facility and a bus stop is within 600 feet of the site. The hotel is relatively close to the Interstate making it convenient to RDU airport. Additionally the Siena provides its guests complimentary shuttle service throughout Chapel Hill and Carrboro.

Town and Gown Collaboration

For over 25 years The Siena Hotel has provided great service to the town and University of North Carolina by providing a unique and creative hotel, dining and event space. The hotel is a great venue to entertain and host visitors to the University whether they are here for the many sporting events, academic pursuits or for medical reasons.

Statement of Compliance with the Design Guidelines

Site Development

Preservation of natural drainage patterns and impact on existing plant and animal life

The proposed development preserves natural drainage patterns by building up rather than out thereby reducing the need to encroach on nearby creeks. Because most of the addition will occur over existing impervious there will be a relatively small amount of additional impervious added to the site.

Siting of Building

The addition will be set back significantly from the street (approximately 179' from the right-of-way) as compared to the existing hotel (approximately 97') thereby reducing its impact on the existing hotel's street presence.

Slope Design

The majority of the site is fairly flat. 85.5% of the site is less than a 10% slope. 9% of the site is 10% to less than 15%. 3% of the site is 15% to less than 25% and only 2.5% of the site is at a slope of 25% or greater. There will be little harm to existing plant and animal life because of the limited amount of site disturbance.

Traffic Patterns – Streets, parking and circulation, pedestrians, bicycles and transit

The existing traffic patterns will not noticeably change because where the addition would have impacted the traffic flow around the building the addition will be two stories high essentially creating a bridge between the old and the new. There are no new entrances or exits proposed on the site unless required. Because of the increase in rooms the subsequent need for additional parking will be met by utilizing a valet service and parking the overflow in a leased parking area (730' away at the parking lot behind the FastMed building on Estes Drive). The Town of Chapel Hill Engineering Department has been contacted regarding developing the traffic impact analysis of the proposed project. There are existing sidewalks along both sides of E Franklin St and Estes Drive. It has been observed that a sidewalk may need to be constructed to facilitate pedestrian access from E Franklin St to the hotel site. There are existing bus stops on the hotel side of E. Franklin St east and west of the site with the closest being within 600'.

Stormwater Management

Due to the land disturbance being under the ½ acre and 20,000 SF thresholds there will be no Jordan nutrient requirements and no erosion control plans required respectively. However, 85% total suspended solids and mitigation of the 1, 2 and 25 year storms will have to be addressed for any new impervious areas added. All stormwater management will be managed onsite per Town of Chapel Hill guidelines. It has not been determined at this stage whether the stormwater controls will be above ground or below ground.

Architectural Character

One of the distinctive elements of the Siena is its Tuscan Villa inspiration and the addition will be sensitive to this theme. Exterior building materials and details will match the existing building as much as possible. The addition is currently planned to be six stories and the existing 4 story hotel will have a 1 story addition (2 stories if structurally feasible and within zoning restrictions). As stated earlier the face of the new addition will be set back almost twice as far as the current building thereby reducing its impact at street level and not overpowering the existing hotel. The face of the existing hotel is approximately 193' and the exposed face of the addition is approximately 134' therefore from a massing perspective the addition will not appear larger than the existing building. One objective of the addition of one story to roof of the existing hotel is to give patrons a great view of the surrounding area which is not possible at four stories. Existing HVAC units which are located at ground level will be placed on the roof.

Landscape character

Currently there exists a fence and substantial planted area along E. Franklin Street in front of the site and surrounding the site which helps to create the on-site ambiance. Similar levels of buffering, screening, planting and fencing are planned in keeping with the same theme, especially considering the adjacent use of a quickie mart/gas station to the west and paint store to the east. No changes to the entranceways are planned at this time and as little modification to the parking areas as possible. There will be a Type C 20' buffer between the western and northern property lines and the new addition.

[illegible]



57



58



59



60



61



62

178



63



64



65



66



67



68



Know what's below.
Call before you dig.

Slopes Table				
Number	Minimum Slope	Maximum Slope	Color	Area
1	0.00%	10.00%		90753
2	10.00%	15.00%		8916
3	15.00%	25.00%		4373
4	25.00%	349.92%		2602

SLOPES ANALYSIS
NOT TO SCALE

SITE INFORMATION

OWNER: AANIKA HOTELS
PO BOX 39104
RALEIGH, NC 27624
9789937400
PIN: 9789937400
JURISDICTION: TOWN OF CHAPEL HILL
CITY: CHAPEL HILL
STATE: NORTH CAROLINA
RIVER BASIN: CAPE FEAR
WATERSHED: LITTLE CREEK
REFERENCE: DB 4785 PG 324 PB 45/54
TOTAL AREA: 106,509 SF (2.445 AC)
EXISTING USE: COMMERCIAL (HOTEL)
PROPOSED USE: COMMERCIAL (HOTEL)
EXISTING ZONING: CC (NEIGHBORHOOD COMMERCIAL)
ADJACENT ZONING: R-1, R-5 & CC
SETBACKS
MINIMUM STREET SETBACK: 22'
MINIMUM INTERIOR SETBACK: 8'

SOILS LEGEND
WsB: WHITE STORE LOAM, 2 TO 6 PERCENT SLOPES
WwC: WHITE STORE-URBAN LAND COMPLEX, 2-8 PERCENT SLOPES

181

LEGEND

- TELEPHONE PEDESTAL
- CONTROLLER CABINET
- CURB INLET
- DROP INLET
- LIGHT POLE
- WATER METER
- WATER VALVE
- TRAFFIC SIGNAL BOX
- EXISTING SEWER MANHOLE
- CLEAN OUT
- FIRE HYDRANT
- POWER/LIGHT POLE
- GUY WIRE
- EXISTING MONUMENT FOUND
- IRON ROD OR PIPE
- CONCRETE MONUMENT SET
- CONCRETE MONUMENT
- EXISTING PIPE/CULVERT
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING TELEPHONE
- EXISTING GAS LINE
- EXISTING OVERHEAD UTILITY
- EXISTING UNDERGROUND UTILITY
- EXISTING WOODS LINE
- LIMITS OF DISTURBANCE LINE

CONCEPT PLAN
THE SIENA HOTEL EXPANSION
1505 EAST FRANKLIN STREET
CHAPEL HILL, NC

EXISTING CONDITIONS PLAN

PROJECT NO.
15-0051
DRAWING NAME:
SHEET NO.
XC

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Nancy J. Summitt
Hillsborough, NC 27278-6551
Voice: (919) 732-3883 Fax: (919) 732-4676
www.summitinc.com

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REGISTERED PROFESSIONAL
ENGINEER
JDC
12/27/2015
PROVIDE E-CATES

PROJECT ENGINEER/ARCHITECT
DEC
PROJECT MANAGER
DEC
DRAWN BY
JDC
SCALE
1" = 30'

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NO.	DATE	BY
1		
2		
3		
4		
5		
6		
7		

GRAPHIC SCALE
15 0 7.5 15 30 60
(IN FEET)
1 inch = 30 ft.

TAYLOR FAMILY
PROPERTIES LLC
PIN # 9789939745
DB 3883/172

THE RETREAT AT FRANKLIN CONDOMINIUM
COMPLEX
PB 38/36

TOWN OF
CHAPEL HILL
PIN # 9789945308
DB 2908/142

LEON I & AMALIA
FERSHLEISER
PIN # 9789936186
DB 5873/50

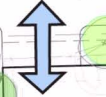
AANIKA HOTELS LLC
PIN # 9789934700
DB 4785/324
2.45 ACRES
4 STORY BUILDING



NC NATIONAL BANK

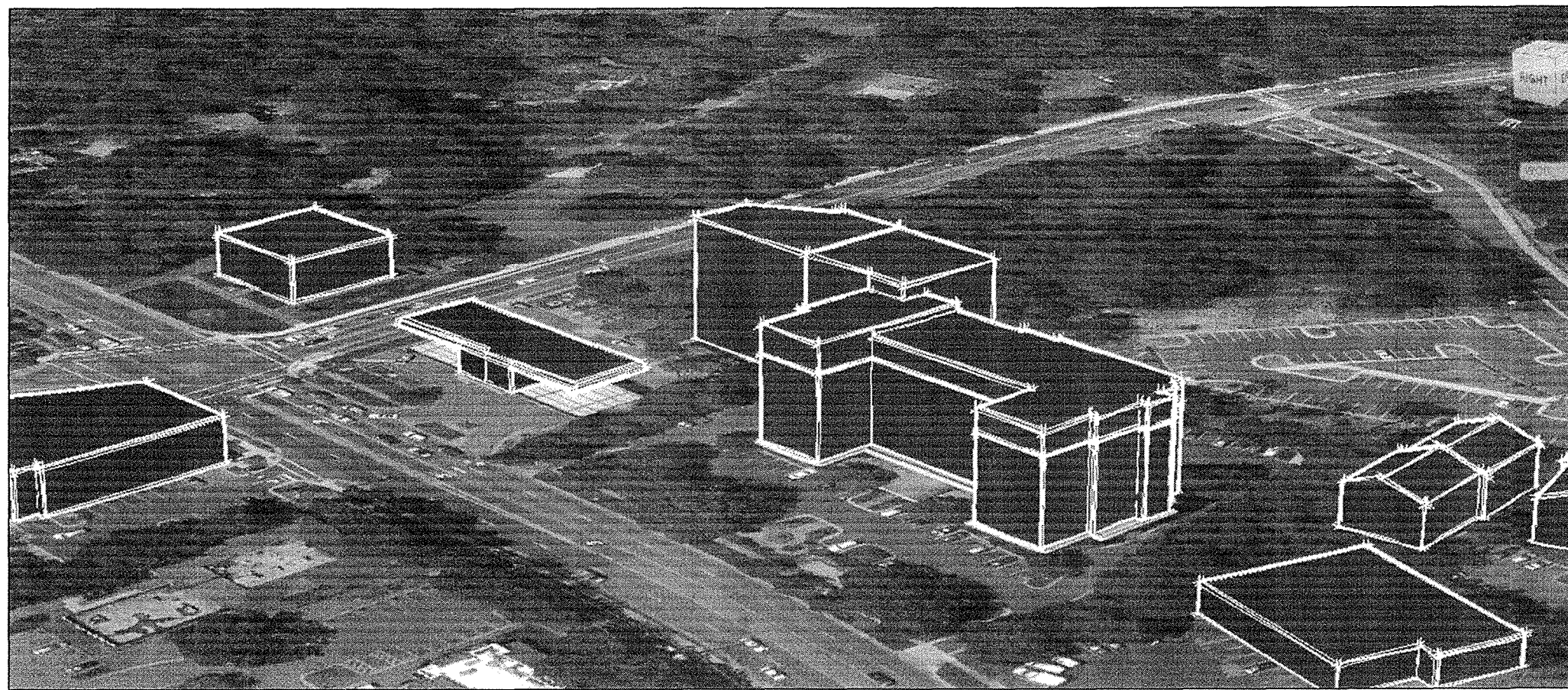
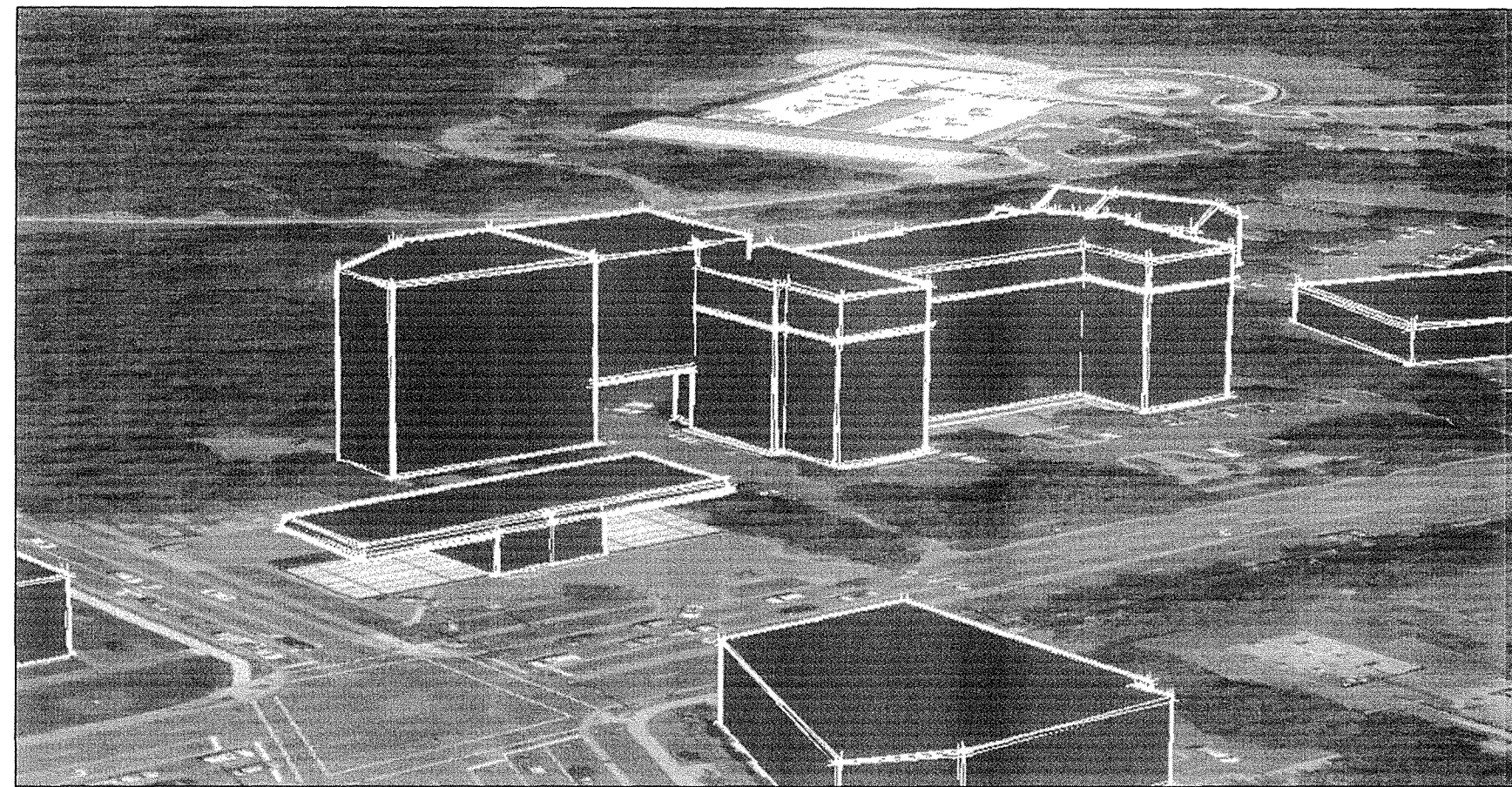
TIMBERLYNE VILLAGE

WEAVER DAIRY ROAD



182

WEAVER CROSSING



CONCEPTUAL BUILDING MASSES
NOT TO SCALE

SITE INFORMATION	
OWNER:	AANIKA HOTELS PO BOX 99104 RALEIGH, NC 27624
PIN:	9789937400
JURISDICTION:	TOWN OF CHAPEL HILL
CITY:	CHAPEL HILL
STATE:	NORTH CAROLINA
RIVER BASIN:	CAPE FEAR
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EXISTING ZONING:	CC (NEIGHBORHOOD COMMERCIAL)
ADJACENT ZONING:	R-1, R-5 & CC
SETBACKS:	
MINIMUM STREET SETBACK:	22'
MINIMUM INTERIOR SETBACK:	8'

IMPERVIOUS CALCULATIONS

Parcel (SF)	Existing Impervious (SF)	Proposed Additional Impervious (SF)	Proposed New Pervious (SF)	Final Build Out Impervious (SF)
106509	66880	3771	3068	67583
Percentage	62.79%			63.45%

7	6	5	4	3	2	1	...	DATE	BY

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PERMISSION OF THE AUTHOR.

PROJECT ENGINEER/ARCHITECT	DEC
PROJECT MANAGER	DEC
DRAWN BY	JDC
SCALE	1" = 30'

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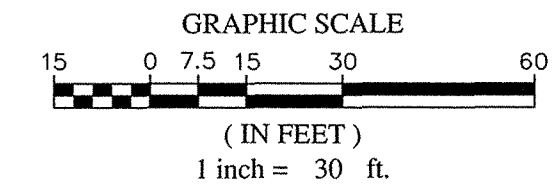
CONCEPT PLAN
THE SIENA HOTEL EXPANSION
1505 EAST FRANKLIN STREET
CHAPEL HILL, NC
PROPOSED PLAN

PROJECT NO.
15-0051
DRAWING NAME:
15-0051_S
SHEET NO.
S CP

183

LEGEND

- TELEPHONE PEDESTAL
- CONTROLLER CABINET
- CURB INLET
- DROP INLET
- LIGHT POLE
- WATER METER
- WATER VALVE
- TRAFFIC SIGNAL BOX
- EXISTING SEWER MANHOLE
- CLEAN OUT
- FIRE HYDRANT
- POWERLIGHT POLE
- GUY WIRE
- EXISTING MONUMENT FOUND
- IRON ROD OR PIPE
- CONCRETE MONUMENT SET
- CONCRETE MONUMENT
- EXISTING PIPE/CULVERT
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING TELEPHONE
- EXISTING GAS LINE
- EXISTING OVERHEAD UTILITY
- EXISTING UNDERGROUND UTILITY
- EXISTING WOODS LINE
- LIMITS OF DISTURBANCE LINE





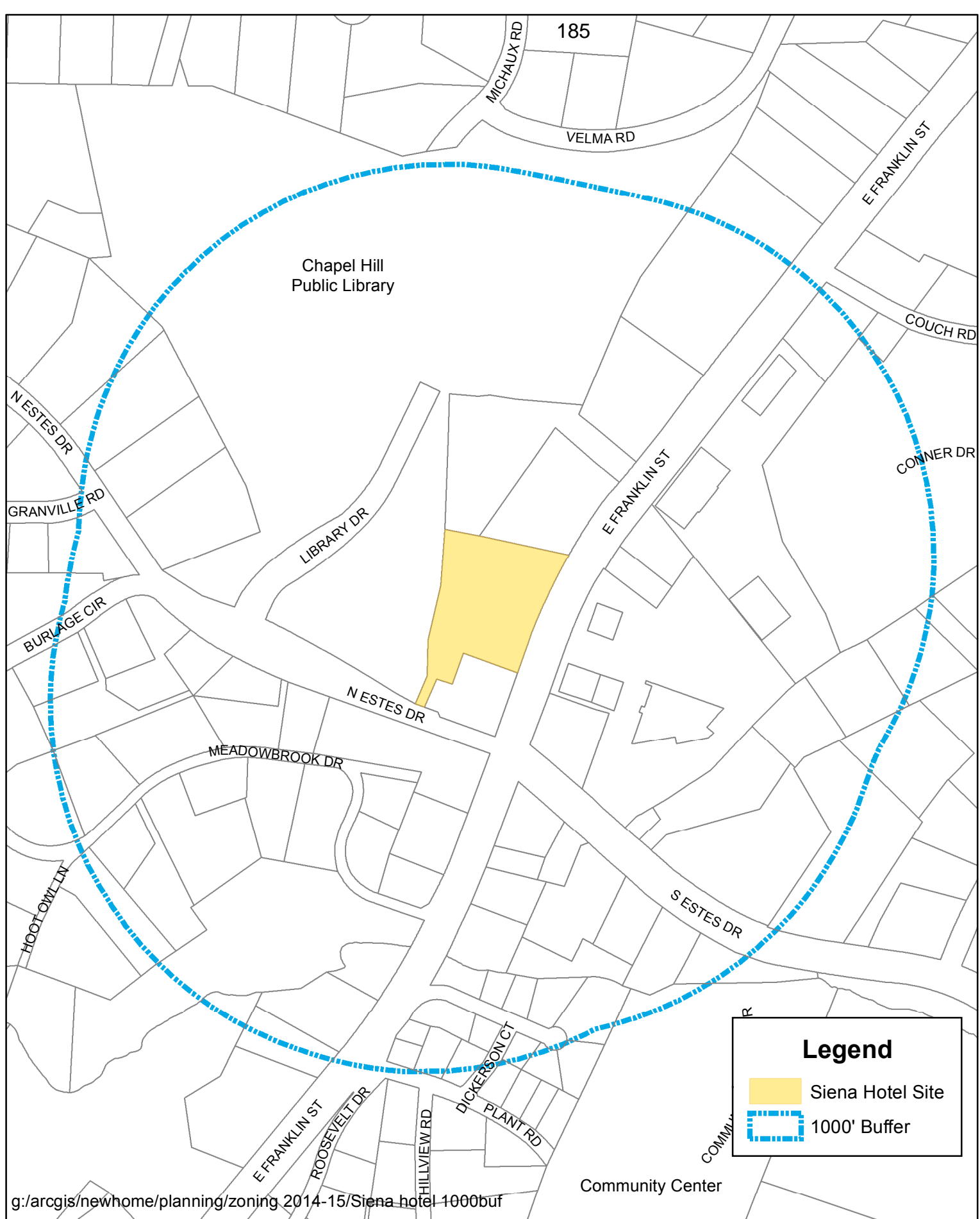
NC NATIONAL BANK

TIMBERLYNE VILLAGE

WEAVER DAIRY ROAD

184

WEAVER CROSSING



1505 E. Franklin Street - Siena Hotel 1000' Buffer Map

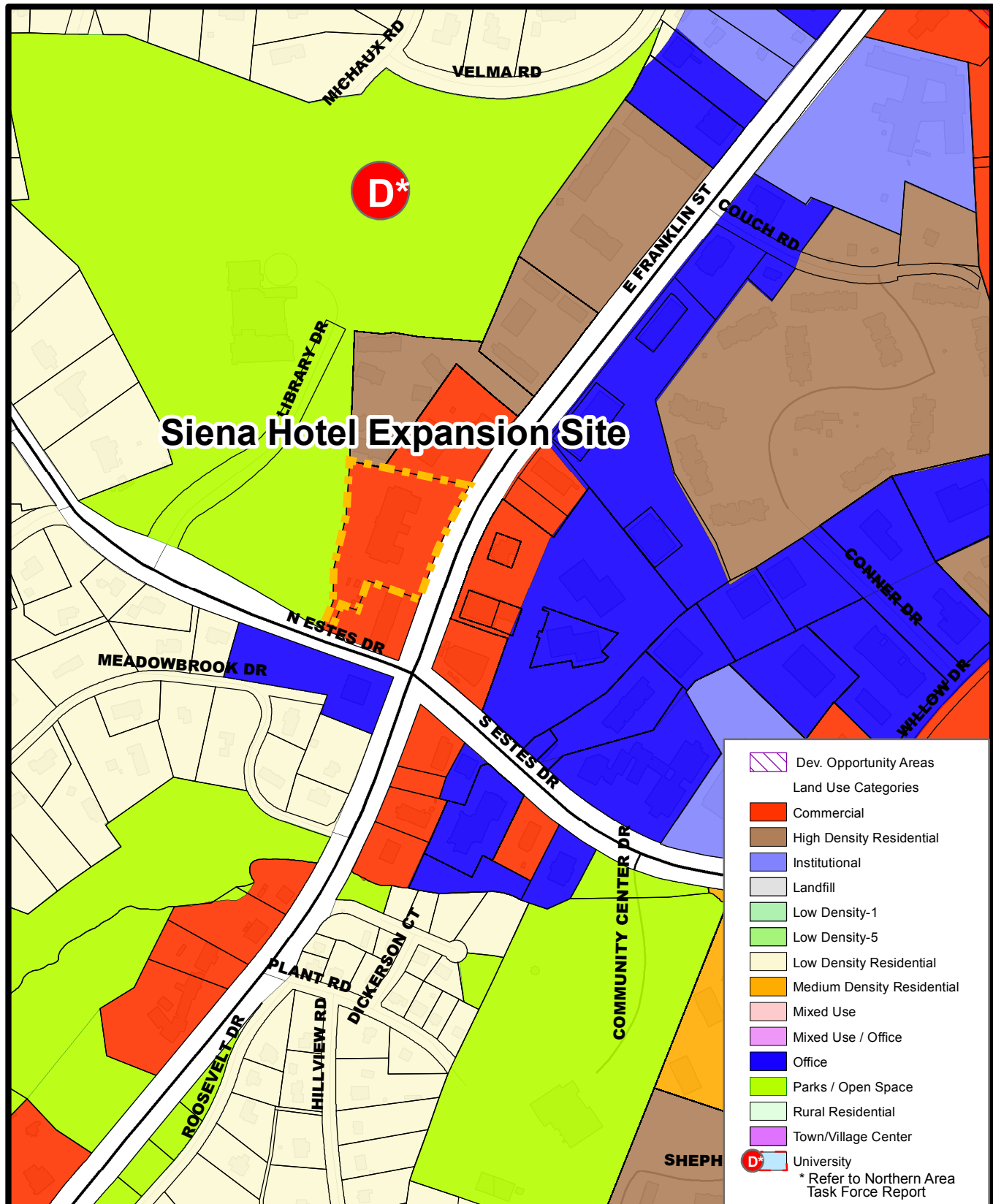


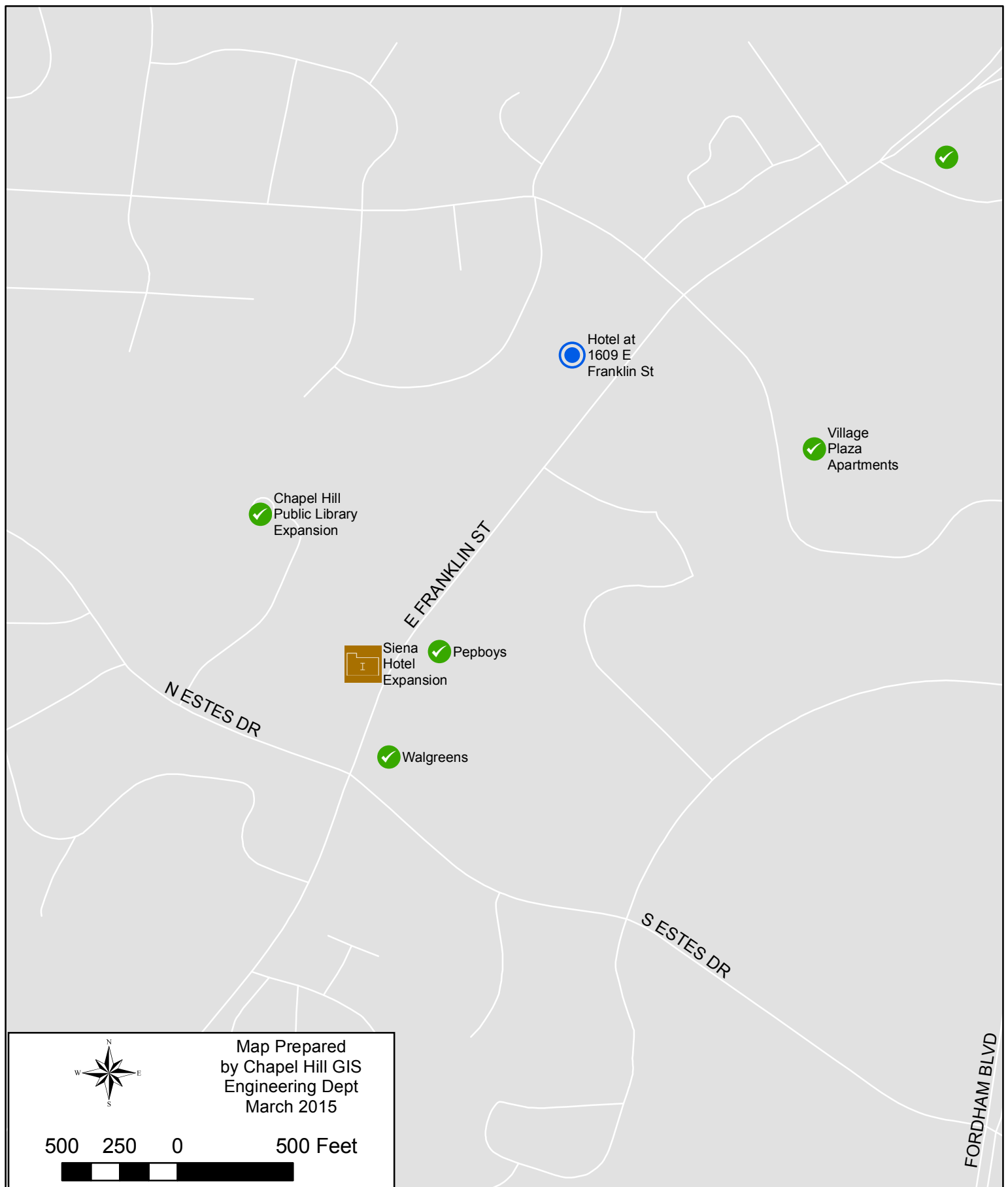
Aerial Map Siena Hotel Expansion





Excerpt of Chapel Hill LAND USE PLAN Siena Hotel Expansion





Except from Chapel Hill 2020 Comprehensive Plan

Focus Area 5, North 15-501





TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #15

TO: Roger L. Stancil, Town Manager

FROM: Sabrina Oliver Communications and Public Affairs Director/Town Clerk
Jennifer Phillips Community Participation Coordinator

SUBJECT: Appointments to the Cemeteries Advisory Board

Recommended Council Action

- That the Council make an appointment to the Cemeteries Advisory Board

Context with Key Issues

The Council may make one (1) appointment to the Cemeteries Advisory Board..

Council Goal:

- Create A Place for Everyone

Attachments

- Ballot
- Application

BALLOT
CEMETERIES ADVISORY BOARD
JUNE 22, 2015

Total Membership: 5 (Town Residents)
Current Membership: 4 (2 Females, 2 Males, 3 Caucasian, 1 African American)
Number of Vacancies: 1 (Effective June 30, 2015 1 Town Resident)
Number of Applicants: 1

You may vote for up to one (1) applicant. Please sign your ballot.

APPLICANTS

_____ Jane Slater
_____ Other; please list: _____

Council Member Signature

APPLICATION FOR MEMBERSHIP ON ADVISORY BOARD,
COMMISSION, COMMITTEE OR TASK FORCE

Submit Date: Jun 15, 2015
Status: eligible

TOWN OF CHAPEL HILL

Profile

jane	m	slater
First Name	Middle Initial	Last Name

jmcslater1@gmail.com
Email Address

204 galway drive
Street Address

Suite or Apt

chapel hill
City

NC
State

27517
Postal Code

Mobile: (919) 360-1296
Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

Chapel Hill Town limits (Purple)

What area do you live in?

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cemeteries Advisory Board

Cemeteries Advisory Board

Which Board is your First Choice?

If you chose "Other" from the list above, please specify specify:

Select one of the following

- ☐ answer 1
☐ answer 2
☐ answer 3

Interests & Experiences

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Yes, if appointed, I pledge to comply with the following ethics guidelines for advisory boards and commissions as adopted by the Chapel Hill Town Council. (Other Council committees and OWASA are excluded.) Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. Any member who violates this provision may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Please provide a brief statement outlining why you wish to serve on the Advisory Board(s), Commission(s), Committee(s) or Task Force(s) to which you are applying.

Cemeteries are special places, deserving of our care and respect. I have been visiting Chapel Hill Memorial Cemetery since 1963, when a family member was buried there. While a UNC student in the 70's, I often explored Old Chapel Hill Cemetery - history and cemetery sculpture have always been of interest to me. As our community grows larger, special needs will probably arise, and I would like to participate in the thoughtful steering of our cemeteries, as places of both reverence and beauty. Thank you.

You may submit a supporting document. However, most documents will be subject to the public records law, which means they will be posted on the website.

Upload a File (ex. Resume)

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Caucasian/Non-Hispanic

Ethnicity

Female

Gender

over 55

Please select your age from the following list.

volunteer, investor, homemaker

Occupation



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #16

TO: Roger L. Stancil, Town Manager

FROM: Sabrina Oliver Communications and Public Affairs Director/Town Clerk
Jennifer Phillips Community Participation Coordinator

SUBJECT: Appointments to the Justice in Action Committee

Recommended Council Action

- That the Council make appointments to the Justice in Action Committee

Context with Key Issues

- The Council may make appointments to the committee.

Council Goal:

- Create A Place for Everyone
- Nurture Our Community
- Support Community Prosperity and Engagement

Attachments

- Ballot
- Applications

BALLOT
JUSTICE IN ACTION COMMITTEE

June 22, 2015

Total Membership: TBD (Composed of one or more Town Council members, citizens
and others as determined by the Council)

Current Membership: 10 (8 Females, 2 Males; 1 Asian/Pacific; 1 Hispanic; 1 Multiethnic;
7 Caucasian; 4 non-Town Residents)

Number of Vacancies: TBD

Number of Applicants: 2

APPLICANTS

_____ Kelli Council-Lattie (Orange County ETJ)

_____ Deborah J. Harris (Orange County ETJ)

_____ Other; please list: _____

Council Member Signature

Note: Currently, 40% of appointed Justice in Action members live outside the corporate limits of the Town of Chapel Hill. If both applicants are appointed then the residency status of the appointed members would be 50% non-Town resident.

The Council Procedures Manual states that “in considering appointments to any board, committee or task force where the membership is not otherwise restricted by law or ordinance, the Council may appoint non-residents, not to exceed 40% of membership.” Council has never established the membership size of the Justice in Action Committee.

APPLICATION FOR MEMBERSHIP ON ADVISORY BOARD,
COMMISSION, COMMITTEE OR TASK FORCE

Submit Date: Mar 10, 2015
Status: eligible

TOWN OF CHAPEL HILL

Profile

<u>Kelli</u>	<u></u>	<u>Council-Lattie</u>
First Name	Middle Initial	Last Name
<u>kelcl919@aol.com</u>		
Email Address		
<u>1730 Purefoy Drive</u>		<u></u>
Street Address		Suite or Apt
<u>Chapel Hill</u>	<u>NC</u>	<u>27516</u>
City	State	Postal Code
<u>Home: (919) 259-9625</u>		<u></u>
Primary Phone		Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

Orange County-ETJ (Blue)

What area do you live in?

[Please consult the town maps **HERE** if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

- ☐ 0-12 months
- ☐ 1-3 years
- ☐ 4-9 years
- ☐ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Justice in Action Committee, Planning Commission

Justice in Action Committee

Which Board is your First Choice?

Question applies to Planning Commission.

Select a Seat Category for the Planning Commission

If you chose "Other" from the list above, please specify specify:

Select one of the following

- ☐ answer 1
☐ answer 2
☐ answer 3

Interests & Experiences

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Yes, if appointed, I pledge to comply with the following ethics guidelines for advisory boards and commissions as adopted by the Chapel Hill Town Council. (Other Council committees and OWASA are excluded.) Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. Any member who violates this provision may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Please provide a brief statement outlining why you wish to serve on the Advisory Board(s), Commission(s), Committee(s) or Task Force(s) to which you are applying.

I wish to serve on the board to be a voice for my community as well as to get an understanding of the decision making process. I was raised in the Carrboro Chapel Hill community and have resided here all my life. I feel I would be an asset to the community by sitting on the board and would represent the needs of the community. Being a native of this area I've watched and seen growth and would love to give back to the community with the future growth. I would appreciate the opportunity to serve my neighbors and community. Thank you! Class of 88 CHHS ;)

You may submit a supporting document. However, most documents will be subject to the public records law, which means they will be posted on the website.

Upload a File (ex. Resume)

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

African American

Ethnicity

Female

Gender

35-54

Please select your age from the following list.

Cosmetologist

Occupation

APPLICATION FOR MEMBERSHIP ON ADVISORY BOARD,
COMMISSION, COMMITTEE OR TASK FORCE

Submit Date: Mar 10, 2015
Status: eligible

TOWN OF CHAPEL HILL

Profile

Deborah

First Name

J

Middle
Initial

Harris

Last Name

pukka2me@yahoo.com

Email Address

104 Jubilee Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (919) 883-1258

Primary Phone

Business: (919) 962-0679

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

Orange County-ETJ (Blue)

What area do you live in?

[Please consult the town maps **HERE** if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Justice in Action Committee, Planning Commission

Justice in Action Committee

Which Board is your First Choice?

Question applies to Planning Commission.

Select a Seat Category for the Planning Commission

Sharron Reid-Habitat for Humanity

If you chose "Other" from the list above, please specify specify:

Select one of the following

- ☐ answer 1
☐ answer 2
☐ answer 3
-

Interests & Experiences

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Yes, if appointed, I pledge to comply with the following ethics guidelines for advisory boards and commissions as adopted by the Chapel Hill Town Council. (Other Council committees and OWASA are excluded.) Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. Any member who violates this provision may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Please provide a brief statement outlining why you wish to serve on the Advisory Board(s), Commission(s), Committee(s) or Task Force(s) to which you are applying.

Never thought about it - Sharron Reid sent me a letter asking me to consider it. If there is a need and I can help- why not? I would not mind serving- it sounds interesting.

You may submit a supporting document. However, most documents will be subject to the public records law, which means they will be posted on the website.

Upload a File (ex. Resume)

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

African American

Ethnicity

Female

Gender

over 55

Please select your age from the following list.

Student Services Manager

Occupation



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #17

TO: Roger L. Stancil, Town Manager

FROM: Sabrina Oliver Communications and Public Affairs Director/Town Clerk
Jennifer Phillips Community Participation Coordinator

SUBJECT: Appointments to the Parks, Greenways and Recreation Commission

Recommended Council Action

- That the Council make an appointment to the Parks, Greenways and Recreation Commission

Context with Key Issues

The Council may make one (1) appointment to the Parks, Greenways and Recreation Commission

Council Goal:

- Create A Place for Everyone
- Develop Good Places, New Spaces
- Nurture Our Community

Attachments

- Ballot
- Applications
- Recommendation

BALLOT**PARKS, GREENWAYS AND RECREATION ADVISORY BOARD****JUNE 22, 2015**

Total Membership: 9 (8 Town Residents, 1 Orange County Resident)
Current Membership: 8 (4 Females, 4 Males; 1 Asian-Pacific Islander, 1 African American, 6 Caucasians)
Number of Vacancies: 1 (Town Resident)
Number of Applicants: 4

APPLICANTS**Town Resident**

Please vote for up to 1 applicant.

_____ Christine Berndt

_____ Jochen Schwarz

_____ Cinthya Garcias

_____ Other _____

_____ Susan Helm-Murtagh

Council Member Signature

APPLICATION FOR MEMBERSHIP ON ADVISORY BOARD,
COMMISSION, COMMITTEE OR TASK FORCE

Submit Date: Apr 20, 2015
Status: eligible

TOWN OF CHAPEL HILL

Profile

Christine

First Name

S.

Middle
Initial

Berndt

Last Name

bberndt500@aol.com

Email Address

621 Rock Creek Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

919-942-4560

Primary Phone

919-969-5054

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

Chapel Hill Town limits (Purple)

What area do you live in?

[Please consult the town maps **HERE** if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission, Parks, Greenways and Recreation Commission

Community Design Commission

Which Board is your First Choice?

Question applies to Community Design Commission.

Chapel Hill Resident

Select a Seat Category for the Community Design Commission

Question applies to Parks, Greenways and Recreation Commission.

Chapel Hill Resident

Select a Seat Category for the Parks, Greenways and Recreation Commission

If you chose "Other" from the list above, please specify specify:

Select one of the following

- ☐ answer 1
- ☐ answer 2
- ☐ answer 3

Interests & Experiences

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Yes, if appointed, I pledge to comply with the following ethics guidelines for advisory boards and commissions as adopted by the Chapel Hill Town Council. (Other Council committees and OWASA are excluded.) Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. Any member who violates this provision may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Please provide a brief statement outlining why you wish to serve on the Advisory Board(s), Commission(s), Committee(s) or Task Force(s) to which you are applying.

I served on the Greenways Commission for seven years, and on the Community Design Commission for one year. I am interested in continuing service to the community on either the Community Design Commission or the Parks, Greenways, and Recreation Commission. As a retired city planner, I believe my training and experience would make me a good candidate for these positions. I have a good knowledge of Town policies and ordinances. I am an advocate of sound environmental planning, as well as appropriate site design that balances development with ecological principles. I am interested in sustainable development practices, and building design which respects the Chapel Hill environment and our history, while using the best of modern design principles. I would also enjoy continuing to be an advocate for the Town's parks and greenway system.

You may submit a supporting document. However, most documents will be subject to the public records law, which means they will be posted on the website.

Upload a File (ex. Resume)

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Caucasian/Non-Hispanic

Ethnicity

Female

Gender

over 55

Please select your age from the following list.

retired planner

Occupation



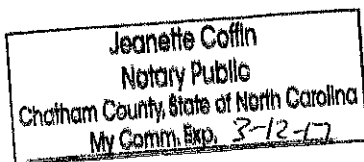
STATE OF NORTH CAROLINA
COUNTY OF ORANGE

OATH OF OFFICE

I, Christina S. Berndt, do solemnly swear (or affirm) that I will support and maintain the Constitution and laws of the United States, and the Constitution and laws of North Carolina not inconsistent therewith, and that I will faithfully discharge the duties of my office as a member of the Community Design Commission, so help me God.

Christina S. Berndt
Signature

The above oaths were subscribed and sworn to before me this the 10 day of August, 20 14.



Jeanette Coffin
Notary Public

My Commission Expires 3-12-17

PLEDGE TO FOLLOW ETHICS GUIDELINES FOR ADVISORY BOARDS AND COMMISSIONS

Ethics Guidelines for Town Advisory Boards and Commissions

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. Any member who violates this provision may be subject to removal from the board or commission.

If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area.

Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

Advisory board and commission applicants shall agree to comply with the ethics guidelines as stated above.

I, Christine S. Berndt pledge to comply with the ethics guidelines for advisory boards and commissions as adopted by the Chapel Hill Town Council.

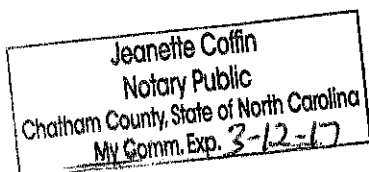
Advisory Board or Commission Community Design Commission

Christine S. Berndt
Applicant's Signature

8/18/14
Date

The above Ethics statement was subscribed and sworn to before me this the 18 day of August, 2014

Jeanette Coffin
Notary Public



My Commission Expires 3-12-17

APPLICATION FOR MEMBERSHIP ON ADVISORY BOARD,
COMMISSION, COMMITTEE OR TASK FORCE

Submit Date: May 10, 2015
Status: eligible

TOWN OF CHAPEL HILL

Profile

Cinthya

First Name

G

Middle
Initial

Garcia

Last Name

cgarci17@live.unc.edu

Email Address

2701 Homestead Rd.

Street Address

APT 1013

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (713) 478-6576

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

Chapel Hill Town limits (Purple)

What area do you live in?

[Please consult the town maps **HERE** if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Parks, Greenways and Recreation Commission, Transportation and Connectivity Advisory Board

Parks, Greenways & Recreation Commission

Which Board is your First Choice?

Question applies to Parks, Greenways and Recreation Commission.

Chapel Hill Resident

Select a Seat Category for the Parks, Greenways and Recreation Commission

Question applies to Transportation and Connectivity Advisory Board .

Chapel Hill Resident

Select a Seat Category for the Transportation and Connectivity Advisory Board

If you chose "Other" from the list above, please specify specify:

Select one of the following

- ☐ answer 1
- ☐ answer 2
- ☐ answer 3

Interests & Experiences

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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☒ I Agree *

Please provide a brief statement outlining why you wish to serve on the Advisory Board(s), Commission(s), Committee(s) or Task Force(s) to which you are applying.

As a graduate student of UNC who fell in love with Chapel Hill and hopes to stay and permanently live in the area post graduation, I am interested in becoming more involved with the town and become part of improvements in transportation as well as an advocate for the green spaces as I run and love the Carolina North Forest.

You may submit a supporting document. However, most documents will be subject to the public records law, which means they will be posted on the website.

[Resume.CinthyaGarcia.NC.03.30.15.pdf](#)

Upload a File (ex. Resume)

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Hispanic

Ethnicity

Female

Gender

18-24

Please select your age from the following list.

UNC Graduate

Student/Summer Hospital

Administration Intern

Occupation

CINTHYA GARCIA

2701 HOMESTEAD RD. APT 1013, CHAPEL HILL, NC 27516
(713)-478-6576 • CGARCI17@LIVE.UNC.EDU

EDUCATION

UNC Gillings School of Public Health

Chapel Hill, NC

MHA, Master of Health Administration, Expected Graduation: May 2016

Johns Hopkins University

Baltimore, MD

BA Neuroscience, Minor: Spanish Literature, Graduated: May 2013

MacArthur High School

Houston, TX

Salutatorian, Ranked 2/625 students, Graduated: May 2009

RELEVANT COURSEWORK

- Statistical Methods
- Institute for Healthcare Improvement-Certified
- Operations Research
- Public Health Concepts & Systems Context
- Management Accounting
- Healthcare Reimbursement
- Healthcare in the US-Structure & Policy
- Healthcare Quality & Information Management
- Healthcare Strategies and Marketing
- Leadership and Management in Healthcare Org
- Healthcare Financial Accounting
- Hospital Functions and Operations

EXPERIENCE

HBO's TV Show VEEP, Season 3

Baltimore, MD

Assistant to Exec Producers Chris Godsick & Frank Rich

August 2013-March 2014

- High paced problem solving & managing of production problems as they arose
- Managed & analyzed production budgets & expenses
- Successfully communicated across departments
- Managed and coordinated schedules of executive producers

MEDLIFE (Medicine, Education, and Development for Low Income Families Everywhere)

Baltimore, MD

JHU Chapter Co-Founder & Treasurer

Sept 2010-May 2013

- Recruited over 60 members
- Planned and implemented week long medical brigades to Peru & Ecuador
- Organized and fundraised over \$3,500 over three semesters
- Spread awareness on global health issues and health problems
- Interviewed and elected chapter's board of officers
- Collaborated for continual growth and improvement of chapter with other board officers

Esperanza Center, Catholic Charities of Baltimore

Baltimore, MD

Health Services & Clinic Intern

Summer 2012-July 2013

- Interviewed and communicated with staff to assess current clinic condition and needs
- Translated from Spanish/English for patients/doctors
- Implemented changes in patient intake forms to improve efficiency
- Designed and published a clinic advertisement for the local Latino newspaper
- Planned and created an official volunteer manual
- Participated in staff meetings to present novel ideas
- Planned and created official volunteer manual

Piedmont Health Services, Inc.

Carrboro, NC

Health Care & Social Media Intern

Summer 2010

- Implemented social networking improvement project
- Collaborated with C.E.O. Brian Tooney
- Collaborated for the re-launch of clinic website
- Participated in staff & board-of-director meetings
- Traveled to clinic sites to evaluate site efficiency
- Recommendations implemented in clinic's website re-launch
- Created final report of project progress
- Presented final project at UNC-SPHF poster presentations event

Martin S. Pomper Neuroradiology Lab, Johns Hopkins Hospital

Baltimore, MD

Clinical Research Assistant of Dr. Jennifer Coughlin

August 2011- May 2013

- Published paper in Neurobiology of Disease, Feb 2015 edition on brain atrophy in former NFL players
- Coordinated patient clinic visits to complete study
- Collaborated with doctors for study recruitment
- Second study on potentially an early clinical diagnostic tool for the cognitive decline in Lupus
- Analyzed neural data, drew regions of interest, ROI

PROFESSIONAL ORGANIZATION MEMBERSHIPS

- HFMA- Healthcare Financial Management Ass.
- National Forum for Latino Healthcare Executives
- UNC-CH Healthcare Executives Student Ass.
- HPM Student Council GPSF Liason
- Lean Six Sigma Yellow Belt training at UNC HC
- UNC Healthcare Improvement Group
- MGMA- Medical Group Management Association (North Carolina Chapter)

SKILLS

Microsoft Office skills: Advanced Word & PowerPoint, Intermediate Excel, and Basic Access, Publisher & Graphics
Languages: Spanish and English

APPLICATION FOR MEMBERSHIP ON ADVISORY BOARD,
COMMISSION, COMMITTEE OR TASK FORCE

Submit Date: May 21, 2015
Status: eligible

TOWN OF CHAPEL HILL

Profile

Susan

First Name

C

Middle
Initial

Helm-Murtagh

Last Name

helmdash@gmail.com

Email Address

117 Oldham Place

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (919) 302-1361

Primary Phone

Home: (919) 942-8411

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

Chapel Hill Town limits (Purple)

What area do you live in?

[Please consult the town maps **HERE** if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Parks, Greenways and Recreation Commission

Parks, Greenways & Recreation Commission

Which Board is your First Choice?

Question applies to Parks, Greenways and Recreation Commission.

Chapel Hill Resident

Select a Seat Category for the Parks, Greenways and Recreation Commission

If you chose "Other" from the list above, please specify specify:

Select one of the following

- ☐ answer 1
☐ answer 2
☐ answer 3
-

Interests & Experiences

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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☒ I Agree *

Please provide a brief statement outlining why you wish to serve on the Advisory Board(s), Commission(s), Committee(s) or Task Force(s) to which you are applying.

I have had the pleasure of living in Chapel Hill for almost twenty years; during that time, I have enjoyed the natural beauty and many recreational opportunities that our town has to offer. In addition, I strongly believe that providing recreational space, activities and opportunities to our residents is critical to developing and

maintaining a strong, healthy and cohesive community. Serving on the Parks, Greenways and Recreation Commission is both a way for me to "give back" to my adopted hometown and to help ensure that we continue to promote physical activity, awareness of and appreciation for nature, and the importance of sustaining our natural environment.

You may submit a supporting document. However, most documents will be subject to the public records law, which means they will be posted on the website.

[HelmMurtaghResume05_2015.docx](#)

Upload a File (ex. Resume)

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Caucasian/Non-Hispanic

Ethnicity

Female

Gender

35-54

Please select your age from the following list.

Adjunct assistant professor

Occupation

Susan C. Helm-Murtagh, DrPH, MM
 117 Oldham Place
 Chapel Hill, NC 27516
 (919) 942-8411
 helmdash@gmail.com

Summary of Qualifications

Accomplished healthcare leader with broad payer experience across multiple functional areas (information management, analytics, strategic development, application development, sales and marketing, and operations). Proven ability to lead and manage change, deliver large and complex business and technical projects, and manage multi-million dollar budgets. Strong track record of success in designing, planning, implementing and monitoring combined business and technical shared services functions, including large-scale outsourcing.

Professional Experience

8/14-
Present
UNIVERSITY OF NORTH CAROLINA AT CHAPEL HILL
GILLINGS SCHOOL OF GLOBAL PUBLIC HEALTH
 Chapel Hill, North Carolina

Adjunct Assistant Professor, Department of Health Policy and Management

Teach leadership theory and practice, and strategic planning and implementation to doctoral candidates in the Executive Doctoral Program in Health Leadership (DrPH) program.

7/95-
1/15
BLUE CROSS BLUE SHIELD OF NORTH CAROLINA
 Durham, North Carolina

Vice President, Mosaic Health Solutions **(07/14-01/15)**

Responsible for building and managing (through acquisition, investment and development), a portfolio of health solutions products and services centered on information technology, analytics and consumer engagement.

Vice President, Enterprise Analytics **(07/14-01/15)**

Lead the enterprise center of excellence (COE) for analytics. Responsibilities include predictive modeling, advanced analytics consulting, business intelligence, and business relationship management. The team provides actionable insights to both internal and external stakeholders (members, physicians, customers, brokers and consultants).

Vice President, Information Management and Analytic Services **(04/08 – 07/14)**

Responsible for developing and implementing the enterprise information and analytics strategy, including the design, implementation and operation of the enterprise analytics center of excellence. Oversee enterprise-level information stewardship, information architecture, information strategy development and execution, and information governance, as well as the development, testing, training, user support and production support for BCBSNC's enterprise data warehouse (EDW), and business intelligence (BI) solutions;

Achievements:

- Completed the development of BCBSNC's next-generation enterprise data warehouse
- Designed, negotiated and operationalized organization's first outsourcing initiative using offshore labor, reducing cost of development and quality assurance functions by 67%; vendor has met or exceeded monthly performance service level agreements, and model reached three-year scaling goals in less than one year
- Negotiated partnership with a globally recognized analytics firm to create innovative predictive and prescriptive risk models, and oversaw model development
- Established organizational structure, roles, objectives, governance processes, operating model and performance metrics for analytics center of excellence
- Successfully applied agile development techniques to data warehouse development, significantly improving speed to value

- Developed and implemented organization's first enterprise information program and information stewardship program, including governance processes

Professional Experience (cont'd)

BLUE CROSS BLUE SHIELD OF NORTH CAROLINA

Durham, North Carolina

Director, Service Delivery Elevation

(04/06 – 04/08)

Managed a team of forty program managers, line managers, business analysts/systems developers, systems administrators, configuration analysts, quality auditors and coaches. Responsible for development and execution of the enterprise member service strategy and related programs; member research; member outreach programs; service quality monitoring, scorecards and coaching; call monitoring and BPM systems administration; project support and the development and implementation of a division-wide information strategy.

Achievements:

- 1* Developed and implemented member service strategy, operating model, governance processes and roadmap
- 2* Designed and implemented four-part, sequential customer feedback model

Director, State Strategy

(5/04 – 04/06)

Responsible for account management for NC State Employees' and Teachers' Health Plan and Children's Health Insurance Plan -- BCBSNC's largest customer with more than 700,000 members -- including account strategy development and execution

Achievements:

- 3* Facilitated the successful renewal of the account and the negotiation of a multi-year, eight-figure contract for a new product designed to save the state tens of millions of dollars in medical expenses each year
- 4* Managed three project teams to deliver highly visible, value-add services to account, including two decision support tools
- 5* Established working model for senior management to drive critical account decisions

Director, eStrategy and eArchitecture

(3/01 – 5/04)

Responsible for Enterprise Applications Integration (EAI); Java/J2EE development; external website development; corporate intranet development, deployment and management; and overseeing the development and governance of the enterprise applications architecture.

Director, IT Enterprise Management

(8/99 – 3/01)

Responsible for e-business strategy formulation; website development; corporate intranet development, deployment and management; knowledge management and pervasive computing. Managed \$82+ million budget for all of IT, along with operational planning. Also responsible for: cost modeling; policies and procedures; balanced scorecard reporting; technical training, and space planning and management.

Director, IS Business Solutions

(9/97 – 8/99)

Responsible for design, development, implementation and maintenance of client-server and mainframe applications and legacy systems. Managed a team of fifty programmer/analysts, business analysts, project and resource managers to support technology needs of marketing and finance functional areas.

Director, Product Management

(8/96 - 9/97)

Responsible for the following functions associated with the HMO, POS, PPO, indemnity and ancillary product lines: product development (including research, analysis, strategy, design and implementation); product enhancements; and product performance monitoring, evaluation and tuning. Directed team of nine managers and analysts.

Director, Market Analysis

(7/95 - 8/96)

Led market research and marketing Information system (MIS) development efforts. Research included customer satisfaction (including customers, providers and brokers), market segmentation, advertising effectiveness, competitive intelligence, and product-related conjoint analysis. Managed team of fifteen managers and analysts.

Professional Experience (cont'd)

- 8/91 - 7/95 **THE TRUSTMARK COMPANIES** - Lake Forest, Illinois
Employee Benefits Division
Regional Vice President, Marketing (1/94 - 7/95)
 Responsible for account management, new product development, project management, negotiation and implementation of strategic alliances. Managed five marketing staff members and three regional sales offices.
Achievements:
 6* Implemented two new product releases ahead of schedule and under budget
 7* Led sales operations to record sales year (an increase of 20% over 1993)
 8* Successfully negotiated joint marketing arrangements in 22 markets
- Director, Market Research And Development** (1/93 - 1/94)
 Managed sales/marketing support staff of five; led divisional research efforts; developed marketing plans and promotional strategies for three major new product initiatives.
- Manager, Marketing Services** (8/91 - 1/93)
 Responsible for customer research and market analysis. Developed promotional strategies, created and coordinated customer communications, and developed Section 125 product.

Education

GILLINGS SCHOOL OF GLOBAL PUBLIC HEALTH
UNIVERSITY OF NORTH CAROLINA - Chapel Hill, North Carolina

- Doctor of Public Health (DrPH) in Health Policy and Management
- Selected to represent university in the formation of an international consortium of DrPH programs; includes universities in France, Norway, England, Africa and the United States
- Dissertation topic (published in May 2009): *Addressing Health Disparities: Is there a role for private payers in reducing the incidence of type 2 diabetes in Hispanics in the United States?*

J.L. KELLOGG GRADUATE SCHOOL OF MANAGEMENT
NORTHWESTERN UNIVERSITY - Evanston, Illinois

- 9* Master of Management (with distinction) in marketing and finance
- 10* *Dean's List* and Austin Scholarship finalist

DUKE UNIVERSITY - Durham, North Carolina

- 11* Bachelor of Science in psychology and management science (degree earned in three years)
- 12* National Merit Scholar and Rand McNally Scholar
- 13* Member, Chi Omega Fraternity

Publications

- *Addressing Health Disparities: Is There a Role for Private Payers in Reducing the Incidence of Type 2 Diabetes Among U.S. Hispanics?* The University of North Carolina, Chapel Hill (2009)
- *Use of Big Data by Blue Cross Blue Shield of North Carolina*, *N C Med J.* 2014;75(3):195-197.

Additional Information

- 14* Member, Advisory Committee, University of North Carolina Gillings School of Global Public Health, Department of Health Policy and Administration (2006-2011 and 2015-Present)
- 15* Chair, Board of Directors and President, TriCyclists Bicycle Racing Club (1999-present)
- 16* Member, Board of Directors, Triangle Bikeworks (2015-present)
- 17* Appointee, North Carolina Health Information Exchange Clinical and Technical Workgroup (2010-2014)
- 18* Member, Advisory Committee, University of North Carolina at Charlotte, Professional Science Master's in Health Informatics Program (2011-2014)
- 19* Member, Board of Visitors, Health Sciences Library, University of North Carolina at Chapel Hill (2010-Present)
- 20* Member, United States Duathlon National Team (2012); represented the United States in the 2012 International Triathlon Union (ITU) Duathlon World Championship
- 21* Fellow, BCBSNC Foundation (2008)
- 22* Member, Marketing Subcommittee, Girls on the Run (2005-2006)

APPLICATION FOR MEMBERSHIP ON ADVISORY BOARD,
COMMISSION, COMMITTEE OR TASK FORCE

Submit Date: May 13, 2015
Status: eligible

TOWN OF CHAPEL HILL

Profile

Jochen

First Name

M

Middle
Initial

Schwarz

Last Name

jochen.schwarz@pnc.com

Email Address

2425 Tilghman Cir

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 632-4023

Primary Phone

Business: (919) 918-4319

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

Chapel Hill Town limits (Purple)

What area do you live in?

[Please consult the town maps **HERE** if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Parks, Greenways and Recreation Commission

Parks, Greenways & Recreation Commission

Which Board is your First Choice?

Question applies to Parks, Greenways and Recreation Commission.

Chapel Hill Resident

Select a Seat Category for the Parks, Greenways and Recreation Commission

If you chose "Other" from the list above, please specify specify:

Select one of the following

- ☐ answer 1
☐ answer 2
☐ answer 3

Interests & Experiences

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Yes, if appointed, I pledge to comply with the following ethics guidelines for advisory boards and commissions as adopted by the Chapel Hill Town Council. (Other Council committees and OWASA are excluded.) Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. Any member who violates this provision may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Please provide a brief statement outlining why you wish to serve on the Advisory Board(s), Commission(s), Committee(s) or Task Force(s) to which you are applying.

To whom it may concern, Having spent most of life in Europe I have become very accustomed to a centralized lifestyle, shaped by interconnectivity and ease of access by foot or bike in my community. It is my feeling that Chapel Hill has laid the groundwork with several parks and greenways which should be to interlinked with

each other, making our community safer for families and thus increasing overall quality of life. Regards,
Jochen Schwarz

You may submit a supporting document. However, most documents will be subject to the public records law, which means they will be posted on the website.

[Jochen M. Schwarz_resume_BBNov14.pdf](#)

Upload a File (ex. Resume)

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Prefer not to Answer

Ethnicity

Male

Gender

25-34

Please select your age from the following list.

Bank Manager

Occupation

JOCHEN M. SCHWARZ

2425 Tilghman Circle • Chapel Hill, North Carolina 27514

(919) 632-4023jms.schwarz@gmail.com

Enthusiastic, people-focused Banking Professional with managerial experience and business development skills, looking to cultivate and expand my business banking background and sales expertise with a financial institution that strives to seek the best values for their clients, the community, and employees alike.

KEY SKILLS

Human Sigma 6 Manager	Business & Consumer Lending
Successful Eco Partnering	Community Banking
Client-focused and detail-oriented	Native German speaker and French fluency
Successful Leader and Visionary	Energy and Creativity

PROFESSIONAL EXPERIENCEPNC Bank

Chapel Hill, NC

Banking Center Manager • November 2010-present

- Responsible for overall branch performance, profitability, and long term growth potential.
- Responsible for generation and management of current business portfolio
- Six years of lending expertise with personal and business clients including underwriting training
- Extremely knowledgeable in analyzing financial data and recommending financial solutions based on circumstances.
- Outstanding and consistent customer service from onboarding of business and personal clients through life of relationship, while seeking new business through referrals, service, cross-sales, networking with existing client base, system leads, networking with partners and community outreach events.
- Responsible for hiring and training new employees including bankers, service managers and tellers, while serving as a role model in providing outstanding service to clients and following best banking policies and procedures.
- Performance driven – consistently exceeds goals in performance based categories with a history of numerous outstanding performance awards.
- Maintain strong community and internal partnerships with Treasury Management, Merchant Services, Workplace Banking and Wealth Management, Chamber of Commerce, Local CPA and Law offices.
- Proven success in limiting operational losses and recognizing risk.

RBC Bank

Carrboro, NC

Senior Relationship Banker • May 2009-October 2010***Relationship Banker • June 2008-May 2009***

- Client management for personal and business clientele based around successfully attracting, retaining and expanding these relationships.
- Assisting clients in reaching financial objectives and planning for the future.
- Taking ownership of issues and resolving them in a timely manner.
- Developing new hires and coaching tellers in forming a successful team.
- Collaborating with business bankers, mortgage officers and private bankers on sharing clients and business ventures.

TravelEx – World Bank

Washington, DC

Member Services Representative • 2006 - 2007

- Establish and maintain professional relationships with members of the World Bank Group
- Oversee and support training and integration of new employees/personnel on daily operating procedures and accepted best business practices
- Identify, assess, and resolve failed wire transactions and other business discrepancies
- Accountable for balancing branch, cash-handling and international wire transfers
- Responsible for reconciling vault daily and ordering of all foreign currency and precious metals

EDUCATION

Virginia Polytechnic Institute and State University, Blacksburg, VA

Graduated with Bachelor of Arts, August 2006

Major: International Studies

Concentration: Business

Minor: French Language and Literature

TECHNICAL SKILLS & TRAINING

Banking software to include Ultrafis, Tom, MQS, Intellimatch, Host, Genesis and NTPA. Financial training to include lending and deposit certifications, underwriting training, ability to recognize investment opportunities.

Microsoft Office Applications to include Word, Excel, Outlook and PowerPoint, as well as Photo Shop, Dream Weaver and other web page creators. Knowledgeable with internet search engines, Intel and Apple PCs. Install and maintain wireless and land-line computer networks.

HONORS & PERSONAL ASSETS

- Member, Chapel Hill Chamber of Commerce
- Board Chair, Communities in Schools of Orange County
- RBC Bank Highest Loan Production 2010
- RBC Bank Gold Award Winner for Proven Service in Excellence 2010
- Excellent record of exceeding sales goals and customer expectations
- Established and maintained effective relationships with co-workers in all professional environments
- Excellent analytical, communication, and organizational skills

References available upon request.

MEMORANDUM

TO: Mayor and Town Council

FROM: Erin Crouse, Chair

SUBJECT: Recommendation for the Parks, Greenways, and Recreation Commission Vacancy

DATE: June 17, 2015

RECOMMENDATION: The Parks, Greenways, and Recreation Commission met on Wednesday, June 17, 2015, and by a unanimous vote (6-0) have made the following recommendation to the Town Council for consideration:

- Jochen Schwarz, Appointment, Regular

SPECIAL REQUEST(S): No Comment

BACKGROUND: The Commission noted that all of the candidates had excellent applications and that all of them would likely have served well on the Commission. However, only one position is open at this time. The Commission hopes that all of these individuals will find ways to serve the Town.



TOWN OF CHAPEL HILL NORTH CAROLINA

MEMORANDUM

Meeting Date: 06/22/2015
AGENDA #18

TO: Roger L. Stancil, Town Manager

FROM: Sabrina Oliver Communications and Public Affairs Director/Town Clerk
Jennifer Phillips Community Participation Coordinator

SUBJECT: Designate a Delegate to the National League of Cities Business Meeting

Recommended Council Action

- That the Council designate a delegate to the National League of Cities Annual Business Meeting.

Context with Key Issues

- The National League of Cities' annual business meeting will be held on Saturday, November 7, 2015 at the conclusion of the Congress of Cities and Exposition in Nashville, Tennessee.
- As in past years, the Council may formally designate a delegate. The National League of Cities has requested that the Town notify them of our delegate prior to the annual meeting.

Council Goal:

- Create A Place for Everyone
- Develop Good Places, New Spaces
- Nurture Our Community

Attachments

- Resolution

A RESOLUTION DESIGNATING A DELEGATE TO THE NATIONAL LEAGUE OF CITIES ANNUAL BUSINESS MEETING (2015-06-22/R-15)

BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby designates Council Member Ed Harrison to serve as the Council's voting delegate to the National League of Cities annual business meeting on Saturday, November 7, 2015.

This the 22nd day of June, 2015.