

**DRAFT DESIGN GUIDELINES**

Design Development Program for Lot #5, Lot #2,  
and the Extended Wallace Deck  
Town of Chapel Hill, North Carolina



D R A F T

**ATTACHMENT 9**

**CONTENTS**

<b>1. INTRODUCTION.....</b>	<b>2</b>	<b>4. SITE DESIGN GUIDELINES (continued)</b>	
<b>2. PARKING &amp; ACCESS.....</b>	<b>3</b>	O. Materials.....	12
A. Parking Ratios.....	3	P. Sufficient Sizing.....	12
B. Parking Facilities.....	4	Q. Permanent Walls.....	13
C. Alleys.....	5	R. Visibility.....	13
D. Off-Street Parking Required.....	5	S. Loading Docks.....	13
E. Parking Space Dimensions.....	5	T. Sidewalks.....	13
F. Shared Parking.....	5	U. Green Building Design.....	13
G. Parking Lot Use.....	5		
H. Visibility.....	5	<b>5. LANDSCAPING AND SITE AMENITIES.....</b>	<b>14</b>
<b>3. DEVELOPMENT PROGRAM.....</b>	<b>6</b>	A. Landscaping Materials.....	14
A. Lot #5.....	6	B. Tree Standards.....	14
B. Lot #2.....	7	C. Material Quality.....	14
C. Extended Wallace Deck.....	8	D. Trees.....	14
<b>4. SITE DESIGN GUIDELINES.....</b>	<b>9</b>	E. Shrubs.....	15
A. Architectural Style.....	9	F. Vines.....	15
B. Exterior Finish and Cladding Materials.....	9	G. Ground Cover.....	15
C. Orientation.....	9	H. Grasses.....	16
D. Building Placement and Setback.....	10	I. Irrigation.....	16
E. All Sides to be Finished.....	10	J. Maintenance.....	16
F. Building Massing and Presence.....	10		
G. Building Design.....	10	<b>6. SIGNAGE AND LIGHTING.....</b>	<b>16</b>
H. Building Articulation.....	11	A. Permitted Signs.....	16
I. Facade Treatment.....	11	B. Monument Sign Requirements.....	16
J. Durability.....	11	C. Directional Sign Requirements.....	17
K. Colors and Materials.....	11	D. Wall Sign Requirements.....	17
L. Windows.....	12	E. Prohibited Signs.....	17
M. Screening.....	12	F. Awnings.....	17
N. Identification of Loading and Service Areas.....	12	G. Neon Lighting.....	17
		H. Accent Lighting.....	17
		I. Tree Lighting.....	17
		J. Street Light Types.....	18

**NOTE**

**These Draft Design Guidelines are suggestions and do not require Town Council action or adoption at this time. These may be further revised or modified by the Town of Chapel Hill as needed. They are provided as an example of the type of guidelines that may be appropriate for the anticipated development on the subject lots.**



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## 1. INTRODUCTION

The Town of Chapel Hill desires to develop several key Downtown lots with mixed-use developments, including residential, retail, dining, galleries, public plazas, and other compatible uses. These developments are to invigorate Downtown Chapel Hill and appeal to a broad market base including young professionals, families, “empty-nesters”, University faculty and staff members, and students alike. The following have been identified as the key catalyst development sites:

- **Lot #5**  
Approximately 1.7-acre lot located between Franklin and Rosemary, immediately west of Church. This site is currently being used as a surface parking lot for approximately 173 spaces;
- **Lot #2**  
Approximately 1.1-acre lot located between Franklin and Rosemary, immediately east of Columbia. This site is currently being used as a surface parking lot for approximately 101 spaces; and,
- **Extended Wallace Deck**  
Approximately 1-acre lot located along Rosemary, immediately west of Henderson. This site is currently being used for the Wallace Parking Deck (approximately 320 spaces), with the portion adjacent to Henderson vacant.

**Figure 1.1 – Vicinity Map**





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The purpose of these Design Guidelines is to create a people-friendly atmosphere that enhances the value of residential and retail development and capitalizes upon the unique environment of Downtown Chapel Hill. The development’s design should be compatible with existing downtown buildings and enhance accessibility by a variety of modes.

## 2. PARKING & ACCESS

The ability to access new developments and provide replacement parking for the current capacity being used are key performance goals for all new development.

### A. Parking Ratios

The Town off-street parking requirements in the Downtown area are the following:

- Bank..... 1 space per 400 square feet
- Business, convenience restaurant ..... 1 space per 400 square feet
- Other convenience business ..... 1 space per 400 square feet
- Business, general ..... 1 space per 400 square feet
- Business, office-type ..... 1 space per 400 square feet
- Dwelling units (all types)..... 1 space per DU

To facilitate downtown residential and encourage shared-parking (between non-residential uses as appropriate), the following parking standards will apply to the three lots being developed:

#### 1. Non-Residential Uses

Provide one (1) off-street parking space for each 400 square feet for all retail, business, and office uses. The total number of spaces is then reduced by 25% as a shared-parking utilization ratio.

*Example:*  
A 40,000 square foot retail development would normally require 100 off-street parking spaces (using the 1 space per each 400 square feet standard). By applying the 25% reduction for shared-parking utilization ratio, the total amount would be decreased by 25 spaces, to a revised total of 75 off-street spaces.

#### 2. Residential Uses

Provide 1.5 off-street parking spaces per dwelling units (all types).



D R A F T

**B. Parking Facilities**

The following off-street parking facilities will be provided:

**1. Lot #5 (615 spaces)**

A 3-level underground parking garage shall be constructed under the entire lot that contains no less than 205 spaces per level. A maximum of 128 spaces may be set aside – if necessary – for storage units for residents of dwelling units constructed on Lot #5. If storage units are not necessary, all spaces should be used for parking purposes. A portion of the garage may be reserved for resident-only parking, either through signage or gated/zoned portions of the garage accessible only by residents. The total number of reserved spaces for this purpose should not exceed 1.5 spaces per dwelling unit. Entry to this garage should be either from Church Street (mid-block) and/or from Rosemary at the eastern lot edge in order to keep access/egress traffic separate from intersection traffic.

**2. Lot #2:**

- Alternative “A” (360 spaces adjacent) - No on-site parking is provided for Lot #2. Underground access is reserved for use as a Transit Transfer Center. A parking garage would be constructed on the northeast corner of Columbia and Rosemary (currently occupied by the RBC Centura bank building). This garage would take advantage of the natural topography and 2 to 3 levels underground at Rosemary (which will be at-grade at Columbia due to natural contouring). The total garage height should be 6 levels, with the remaining levels above-grade. Each level will contain a minimum of 60 parking spaces for a total capacity of 360 spaces. A maximum of 68 spaces may be set aside – if necessary – for storage units for residents of dwelling units constructed on Lot #2. A portion of the garage may be reserved for resident-only parking, either through signage or gated/zoned portions of the garage accessible only by residents. The total number of reserved spaces for this purpose should not exceed 1.5 spaces per dwelling unit. Entry to this garage should be either from Columbia and/or Rosemary, with a minimum distance of 100 feet from the Columbia/Rosemary intersection.
- Alternative “B” (315 spaces) - In the event the Transit Transfer Center is developed at-grade, or if the RBC Centura Bank site is not developed as a garage, Lot #2 may be developed with a 3-level underground garage with a maximum capacity of 315 spaces (105 spaces per level). Some reduction of that capacity may be necessary to accommodate the structural column grid and/or resident storage areas.

**3. Extended Wallace Deck (approximately 400 spaces)**

The existing Wallace Parking Deck (320 spaces approximately) should be extended east to Henderson, thus increasing its capacity by approximately 80 spaces. The extension should have the same number of levels as the existing main garage. A maximum of 109 spaces may be set aside – if necessary – for storage units for residents of dwelling units constructed on the Extended Wallace Deck. If storage units are not necessary, all spaces should be used for parking purposes. A portion of the garage may be reserved for resident-only parking, either through signage or gated/zoned portions of the garage accessible only by residents. The total number of reserved spaces for this purpose should not exceed 1.5 spaces per dwelling unit. Entry to this garage should be from the existing entry/exit on Rosemary.



D R A F T

**C. Alleys**

Alley access is encouraged between Franklin and Rosemary, either through the use of existing alleyways or through development of new connections. Alleys should accommodate both pedestrians and delivery vehicles (the latter when possible), be well-lit, and safe. Pedestrian-only alleyways may be a minimum of 8-feet in width. Alleyways to accommodate delivery traffic should be a minimum of 15-feet in width.

**D. Off-Street Parking Required**

All developments shall provide adequate areas to contain all parking demand off of the street. Only limited on-street parking shall be permitted. All developments shall provide off-street parking spaces according to the ratios included in this section.

**E. Parking Space Dimensions**

All off-street parking spaces shall be sized adequately. Spaces shall be at least 9 feet wide and 20 feet deep.

**F. Shared Parking**

Off-street parking may be shared between adjacent uses. In such cases, the total off-street demand shall be calculated as noted above, then multiplied by 0.75 to calculate the shared-parking total.

**G. Parking Lot Use**

Off-street parking shall be for residents, customers, employees and vendors associated with a particular development. Parking lots shall not be used for sales, outdoor display, outdoor storage, or temporary signs or structures.

**H. Visibility**

When a driveway intersects a public right-of-way, no landscaping, tree, fence, wall or similar item shall obstruct visibility. Sight visibility triangles shall be measured along the right-of-way line and perpendicular to the right-of-way line along the driveway (or street) curb, and shall be 15 feet for driveway entrances, 45 feet at local or collector street intersections, and 100 feet at major arterial intersections. A limited number of single-trunked trees shall be allowed in these areas if branches are trimmed to a clear trunk height of 7 feet from the ground (14-foot clear trunk height is required where trees will overhang the driveway/street at maturity), and provided they are placed such as to prevent a "picket fence" effect by the tree trunks at maturity. Landscaping except for grass or ground cover shall not be located closer than 3 feet from the edge of any accessway pavement, and shall not exceed 30 inches in height (at maturity) where located within sight visibility areas.



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**3. DEVELOPMENT PROGRAM**

The specific architectural styles will be determined by the individual developer of each building, but should follow the overall design parameters:

**A. Lot #5**

Lot #5 is envisioned as a mix of two residential buildings with retail uses on the base (street) level. The two structures will surround an open space/plaza that connects from Franklin to Rosemary and Church. The development will sit atop a 3-level underground parking garage. The west building (abutting Church) is projected to be a 4-story structure. The east building is projected to be a 6-level structure in the central portion, with 4-story “wings” abutting Franklin and Rosemary. Lot #5 is projected to contain 160,600 square feet of residential space (approximately 128 dwelling units), 31,500 square feet of retail space, 28,300 square feet of landscaped plaza area, and a 615-space capacity parking garage. FAR for this site shall be approximately 2.55. All resident and customer parking shall be provided by the on-site underground garage,

**Figure 3.1 – Lot #5 Plan View**



**DRAFT DESIGN GUIDELINES**

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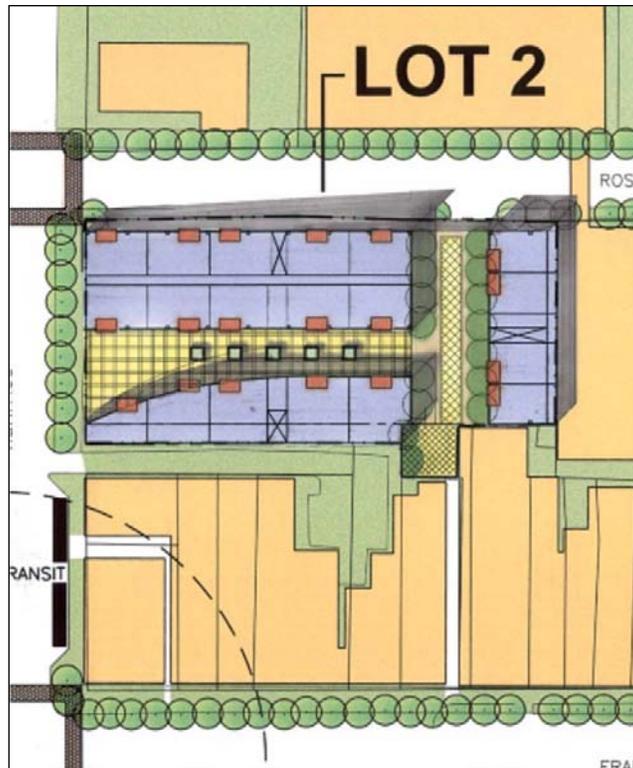


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**B. Lot #2**

Lot #2 is envisioned as a mix of three residential buildings with retail uses on the base (street) level. The three structures will surround a T-shaped open space/plaza that connects from Columbia to Franklin to Rosemary. The development will sit atop an underground Transit Transfer Center. The north building (abutting Rosemary) is projected to be a 6-story structure. The south building is projected to be a 4-level structure. The west building (abutting the Bank of America office tower) is projected to be a 6-level structure. Lot #2 is projected to contain 84,800 square feet of residential space (approximately 68 dwelling units), 20,100 square feet of retail space, and 14,600 square feet of landscaped plaza area atop a Transit Transfer Center. At-grade pedestrian connections shall be made between the open space plaza, the "Franklin Alley", and the plaza surrounding the Bank of America office tower. FAR for this site shall be approximately 2.19. Parking for Lot #2 will be provided by a new 6-level parking garage on Lot #2 North (see page 4).

**Figure 3.2 – Lot #2 Plan View**



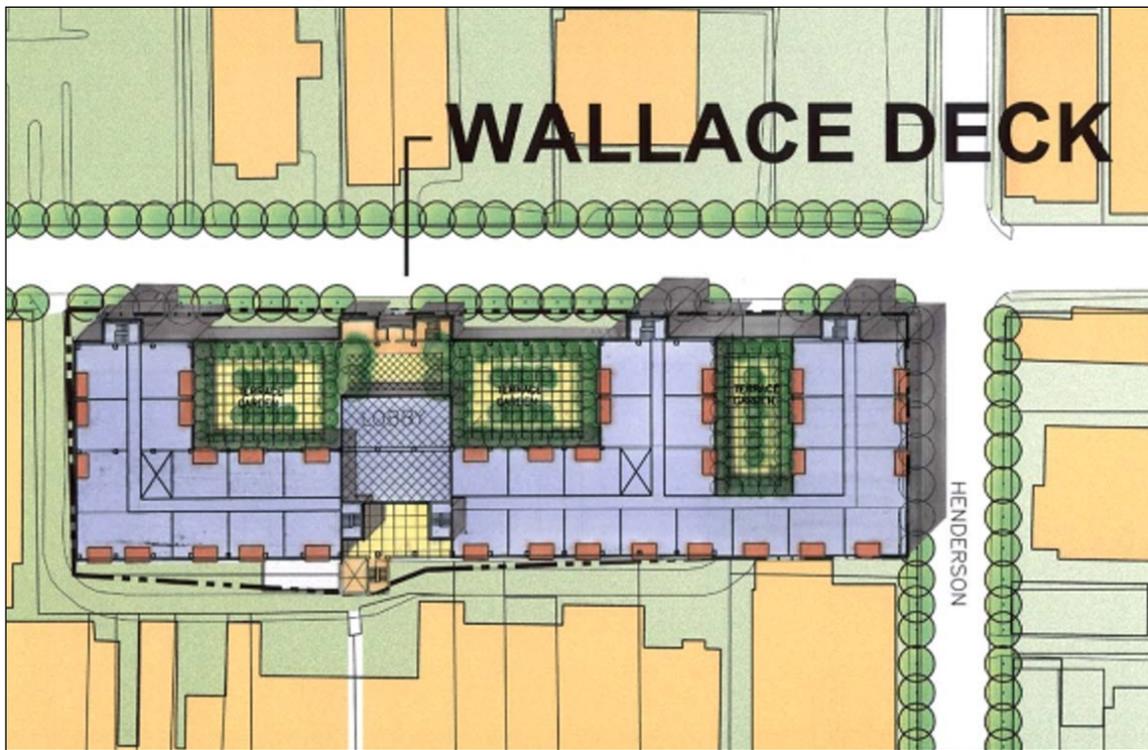


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**C. Extended Wallace Deck**

Development of three 4-story residential buildings will be accommodated above the existing Wallace Park Deck. The Deck will also be extended east to Henderson to act as the platform for the easternmost building. The west and central buildings will be oriented around a U-shaped open space/public plaza. A limited amount of retail space is anticipated at the base of the easternmost building (Rosemary at Henderson). The Extended Wallace Deck is projected to contain 136,400 square feet of residential space (approximately 109 dwelling units), 4,000 square feet of retail space, and 12,200 square feet of landscaped plaza area. FAR for this site shall be approximately 2.66.

**Figure 3.3 – Extended Wallace Deck Plan View**





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## 4. SITE DESIGN GUIDELINES

### A. Architectural Style

All buildings should be compatible with existing architectural styles in Downtown Chapel Hill. Buildings are encouraged to embody a contemporary style that is thematically comparable to other area structures. All architectural plans are subject to Town review and approval.

### B. Exterior Finish and Cladding Materials

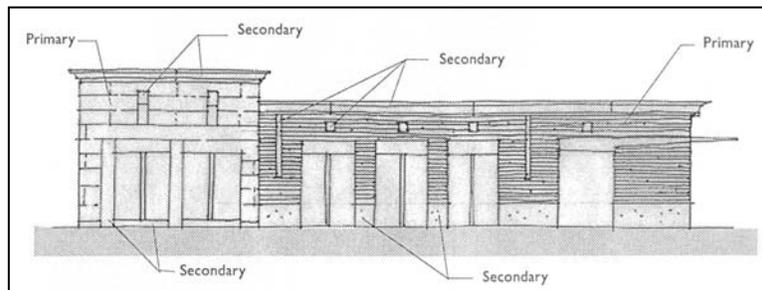
A variety of exterior materials may be selected for use as the dominant material on the facade of a building, but the number of materials on a single building shall be limited to no more than 3 materials in order to achieve a “clean” design style. The use of brick, glass, steel, masonry, limestone, and other materials is encouraged, provided that masonry (brick, limestone, etc.) is the primary finish material. Primary exterior cladding materials shall include:

1. Brick;
2. Native/natural dimensional stone (20% minimum);
3. Tinted, split-face, concrete masonry units (15% maximum);
4. Authentic stucco; or
5. Hybridized or engineered wood products (any engineered wood product composed of no more than 50% wood fiber, and the remaining portion composed of concrete or other non-flammable material, with the appearance and general properties of wood).

Secondary accent shall not exceed 10% of the facade area and materials may include:

6. Native/natural dimensional stone;
7. Aluminum or other metal; or,
8. Authentic stucco.

**Figure 4.1 – Primary and Secondary Exterior Cladding**



### C. Orientation

The primary facade of all buildings shall face a public street.



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## **D. Building Placement and Setback**

The location and placement of buildings on individual sites shall reflect consideration for roadway access, the preservation of major existing natural vegetation, visual impact, and the relationship to surrounding development. There shall be a 0-foot setback from the sidewalk for all buildings facing Franklin, Rosemary, Church, Columbia, and Henderson.

## **E. All Sides to be Finished**

All buildings shall be architecturally finished on all four sides with a higher level of finish on the front facades.

## **F. Building Massing and Presence**

Breaking down the massing and scale of larger buildings will create a pedestrian-scaled collection of smaller individualized elements. Building entrances shall be articulated and defined to present a strong entry presence. Buildings shall include the following elements:

1. Canopies, awnings, or porticos;
2. Overhangs;
3. Recesses/projections;
4. Arcades;
5. Peaked roof forms;
6. Arches;
7. Outdoor patios;
8. Display windows;
9. Architectural details (such as tile work and moldings) integrated into the building facade; or
10. Integrated planters or wing walls that incorporate landscape and sitting areas.

## **G. Building Design**

All buildings shall be designed to express a base, midsection, and top. The base and tops of buildings shall vary in material, and facades must include:

1. Articulated ground floor levels;
2. Minimum 3-foot overhangs at eaves; and,
3. Articulated cornice line.

**Figure 4.2 – Building Design**



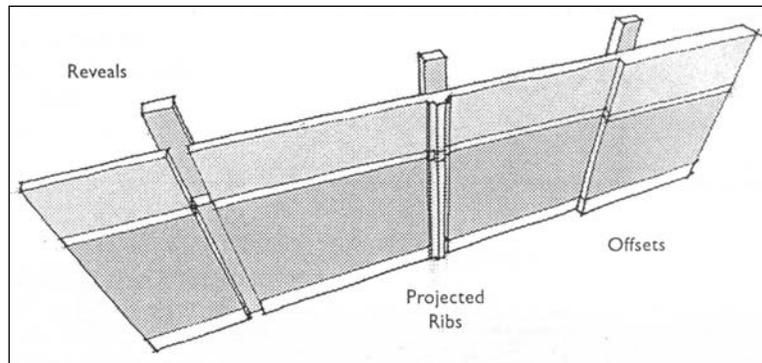


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## H. Building Articulation

Facades greater than 100 feet in length shall incorporate wall plan projections or recesses that are at least 10 feet deep. Projections/recesses must be at least 25% of the length of the facade. No uninterrupted length of facade may exceed 100 feet in length. Offsets, reveals or projecting ribs shall be used to express architectural or structural bays. Ground floor facades must incorporate entry areas, arcades, display windows, awnings, or other architectural variety features along no less than 60% of the facade. The remaining 40% may not be contiguous.:

**Figure 4.3 – Building Articulation**



## I. Facade Treatment

All building exterior walls from grade to roof levels shall be faced and finished as described in this section. No single building material shall cover more than 80% of the front of any building, with the exception of on-site utility or service structure.

## J. Durability

Maintenance and durability of materials should be considered as important qualities for every element of the design. Special care will be taken to specify the use of vandal-resistant building components. The use of natural texture and color of materials is to be used to the greatest extent possible.

## K. Colors and Materials

Light tones and colors are recommended. Required dominant colors include:

1. Light-to-medium earth tones, similar to Pittsburgh Paint "Voice of Color" Sampler pages 46 through 155. Light colors include colors 1 to 2 of each sample page; or,
2. Tinted glass (solar gray, blue, green, or bronze).

Prohibited colors for primary surfaces are black or stark white, and pink or gold-tinted or reflective glass. Harsh or garish colors shall not be allowed for Primary surfaces.



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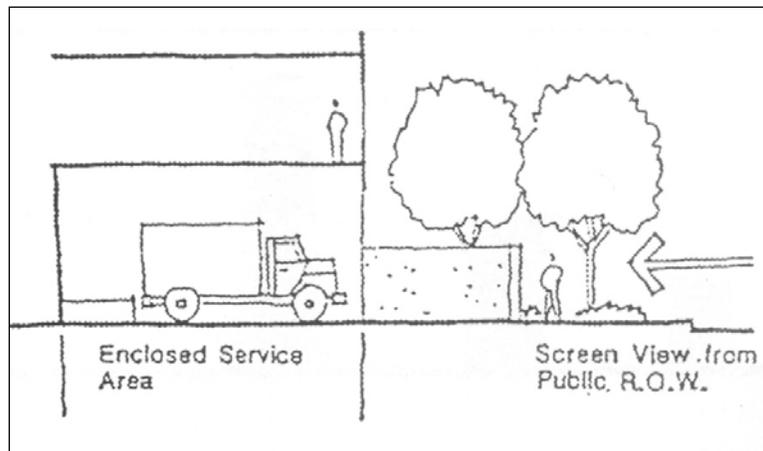
**L. Windows**

All windows shall not be glazed or reglazed with mirrored or reflective glass. All buildings shall include defined windows on upper floors to breakup unnecessarily tall facades and to be consistent with residential architectural fenestration.

**M. Screening**

All loading area, service areas, and trash collection areas shall be screened from view from public view. Screening shall be by walls with complementary landscaping that is compatible with the project design.

**Figure 4.4 – Screening**



**N. Identification of Loading and Service Areas**

All loading area, service areas, and trash collection areas shall be clearly signed. Loading spaces shall be clearly denoted on the pavement and when occupied shall not prohibit on-site vehicular circulation. Loading spaces should be directly in front of a loading door. Loading areas shall be designed to accommodate backing and maneuvering on-site, not from any public right-of-way.

**O. Materials**

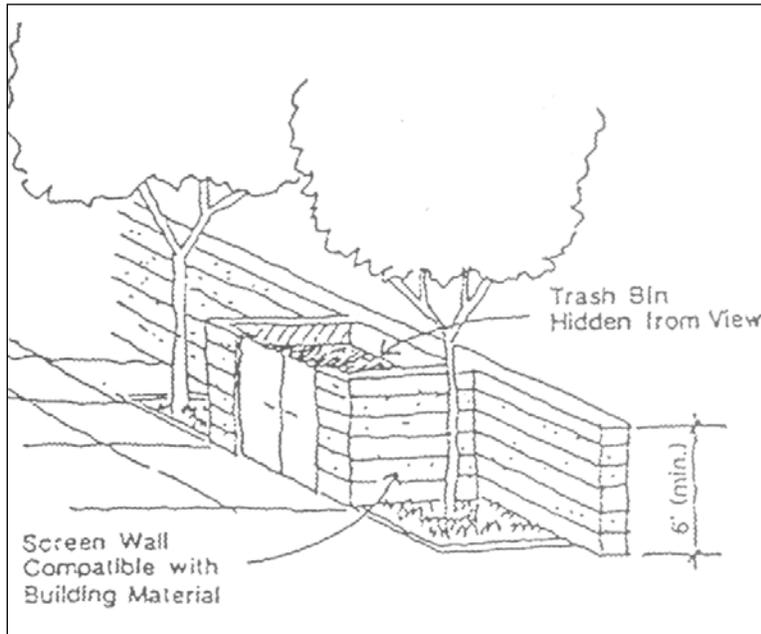
Trash collection area enclosures shall be constructed of permanent materials consistent with the materials used for the primary building. Screening enclosures shall be visually and aesthetically compatible with the overall project.

**P. Sufficient Sizing**

Trash collection area enclosures shall be of sufficient size and height to contain all refuse generated on-site between collection days and to completely screen bins from view when observed from the same general elevation. Location of bins and enclosures shall be restricted to visually unobtrusive areas of the site.

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**Figure 4.5 – Trash Receptacle Screening**



**Q. Permanent Walls**

Trash collection area enclosures shall be designed to have permanent walls on three sides with the service opening not facing any public right-of-way or any residentially-zoned property.

**R. Visibility**

Trash collection area enclosures shall not be located within any required setback or within view from any public right-of-way or from any residentially-zoned property.

**S. Loading Doors**

Regardless of orientation, all loading doors shall not be located closer than 50 feet from a public or private right-of-way.

**T. Sidewalks**

A 15-foot sidewalk (minimum) shall be placed on all lot sides that abut a public street. Street trees, landscaping, understory, and street furniture shall also be accommodated in this area.

**U. Green Building Design**

To the maximum extent possible, all development shall adhere to the LEED standards as adopted by the United States Green Building Council.



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## 5. LANDSCAPING AND SITE AMENITIES

### A. Landscaping Materials

Landscaping is required on all development. Landscaping shall consist of the following or any combination thereof:

1. Grass;
2. Trees;
3. Shrubs;
4. Hedges;
5. Vines;
6. Domesticated blooming plants; and
7. Living ground cover.

### B. Tree Standards

In the landscaping area, trees of at least 6 feet in initial height shall be planted on any lot, tract or parcel of land as a part of the initial minimum landscaping requirements. The minimum number of trees and locations shall be as follows:

1. At least one tree shall be planted for every 5,000 square feet (or portion thereof) of lot area.
2. Trees shall be planted at a uniform spacing of 30 feet on center. Trees should be located no closer than 30 feet from the curb line of an intersecting street.
3. Large tree species (live oak, red oak etc., minimum 6-inch caliper) should be used along the corridor, with ornamental trees (crape myrtle, redbud, etc.) at intersections for visual interest.

### C. Material Quality

All plant materials shall be of high quality, free from disease and insect pests, of typical growth habit for the species, have a healthy and normal root system, and should have a rounded branching pattern. The use of native or naturalized plant materials is encouraged whenever possible. Artificial plant materials are prohibited.

### D. Trees

Trees shall be of a hardy species having an average mature crown spread of greater than 15 feet, and having trunks which can be maintained (i.e., limbed up) with a clear trunk height of at least 7 feet of clear trunk. Ornamental trees having an average mature crown of less than 15 feet shall be substituted by grouping the same so as to create the equivalent of a 15-foot crown spread. Ornamental trees do not have to maintain a clear trunk height of at least 7 feet, provided they are not located within sight visibility areas. The following native tree types should be used:

1. Cedar elm (*Ulmus crassifolia*);
2. Oklahoma redbud (*Cercis canadensis var. texensis* "Oklahoma");
3. Pecan (*Carya illinoensis*);
4. Southern live oak (*Quercus virginiana*); or,
5. Texas red oak (*Quercus buckleyi*).

These species are presented only as suggestions and may be changed if not compatible with species native to Chapel Hill or with local requirements.



D R A F T

**E. Shrubs**

Shrubs shall be a minimum of 3 feet in height when measured immediately after planting, or shall be of a normal planted height that is typical for the species. Hedges, where required for screening purposes, shall be planted and maintained so as to form a minimum 6-foot tall, continuous, unbroken, solid, visual screen within 2 years after time of planting. The following shrub types are approved for use (alternate species may be used subject to review and approval):

1. Compact nandina (*nandina domestica* "compacta");
2. Crape myrtle (*Lagerstroemia indica* cultivars);
3. Dwarf burford holly (*Ilex cornuta* "Burfordii Nana");
4. Fraser's photinia (*photinia x fraseri*); or,
5. Purple leaf japanese barberry (*berberis thunbergii* "Atropurpurea").

These species are presented only as suggestions and may be changed if not compatible with species native to Chapel Hill or with local requirements.

**F. Vines**

Vines shall be a minimum of 30 inches in height immediately after planting and shall be used in conjunction with fences, screens, or walls. The following vine types are approved for use (additional species may be used subject to review and approval):

1. Asiatic jasmine (*trachelospermum asiaticum*);
2. Boston ivy (*parthenocissus tricuspidata*);
3. Carolina yellow jasmine (*gelsemium sempervirens*);
4. English ivy (*hedera helix*); or,
5. Trumpet vine/coral honeysuckle (*lonicera sempervirens*).

These species are presented only as suggestions and may be changed if not compatible with species native to Chapel Hill or with local requirements.

**G. Ground Cover**

Ground cover used in lieu of grass in whole or in part shall be planted in such manner as to present a finished appearance and reasonably complete coverage within 1 year after planting. The following ground cover materials are approved for use (alternate species may be used subject to review and approval):

1. Asiatic jasmine (*trachelospermum asiaticum*);
2. Buffalograss (*buchloe dactyloides*);
3. Creeping juniper (*juniperus horizontalis* cultivars);
4. Firewheel/indian blanket (*gaillardia pulchella*);
5. Mondo or monkey grass (*ophiopogon japonicus*); or
6. Periwinkle (*vinca major*).

These species are presented only as suggestions and may be changed if not compatible with species native to Chapel Hill or with local requirements.



# D R A F T

## H. Grasses

Grass areas shall be planted in species normally grown in the Chapel Hill. Grass areas shall be sodded, plugged, sprigged, seeded or hydromulched, except that solid sod shall be used in drainage swales or other areas that are subject to erosion, and in any other area or instance that is determined to be necessary by the Town to prevent a hazard or public nuisance. The following grasses are approved for use (alternate species may be used subject to review and approval):

1. Bermudagrass (*cynodon dactylon*);
2. Buffalograss (*buchloe dactyloides*);
3. Ryegrass (*lolium perenne*);
4. St. Augustinegrass (*stenoctaphrum secundatum*); or,
5. Tall fescue (*festuca arundinacea*).

These species are presented only as suggestions and may be changed if not compatible with species native to Chapel Hill or with local requirements.

## I. Irrigation

All landscaping must be irrigated or located within 100 feet of a private water outlet to which a hose may be connected.

## J. Maintenance

The property owner, tenant and any agent thereof shall be jointly and severally responsible for the maintenance of all landscaping materials in good condition at all times so as to present a healthy, neat and orderly appearance. Any landscaping material that dies shall be replaced with healthy material within a reasonable time. All landscaped areas shall be continuously maintained free of weeds, debris and litter. Weeds and natural uncultivated grass shall not be considered landscaping.

## 6. SIGNAGE AND LIGHTING

### A. Permitted Signs

Signage shall be restricted to the following types – Monument Signs; Directional Signs; and Wall Signs. All other signs – except for signage installed by the Town of Chapel Hill, NTTA, TxDOT, or other public agency – are prohibited.

### B. Monument Sign Requirements

Monument Signs shall conform the following general standards:

1. Monument Signs shall be a maximum of 4 feet in height (including a monument base of no more than 18 inches in height), with a maximum sign area of 24 square feet.
2. It is preferred that Monument Signs be externally illuminated. Fixtures must be installed so that light is not cast directly into the eyes of drivers. Neon illumination is not permitted.
3. One Monument Sign shall be allowed per building. If a site has more than 500 feet of continuous linear frontage along a public street, a maximum of two Monument Signs are allowed.
4. Monument Signs may be either single or multi-tenant panel designs.
5. Monument Signs must conform to all other requirements of the Town of Chapel Hill.



# D R A F T

## **C. Directional Sign Requirements**

Directional Signs shall conform the following general standards:

1. Directional Signs shall be a maximum of 4 square feet each and may be either wall or monument mounted.
2. Illumination of Directional Signs is not required; however, if desired, illumination is limited to internal illumination only. Neon illumination is not permitted.
3. One wall-mounted Directional Sign shall be allowed per building facade. One monument-mounted Direction Sign shall be allowed at each driveway entry.
4. Directional Signs must conform to all other requirements of the Town of Chapel Hill.

## **D. Wall Sign Requirements**

Wall Signs shall conform the following general standards:

1. Wall Signs shall be a maximum of 20 square feet each and must be permanently mounted to a building facade. Temporary banners or other non-permanent signs may be considered as a temporary use on a case-by-case basis by the Town, with the granting of a Specific Use Permit (SUP).
2. Wall Signs must not extend beyond the eave or cornice line of a building. Roof-mounted signs are not allowed.
3. It is preferred that Wall Signs be internally illuminated. If external illumination is used, fixtures must be installed so that light is cast only onto the sign and building facade. Neon illumination is not permitted.
4. One Wall Sign shall be allowed per building facade.
5. Wall Signs must conform to all other requirements of the Town of Chapel Hill.

## **E. Prohibited Signs**

Pole-mounted signs, off-premise signs, and billboards are prohibited.

## **F. Awnings**

Awnings may contain a business name, but may not be illuminated.

## **G. Neon Lighting**

The use of neon for signage or building accent is prohibited. However, the Town shall consider neon signage on a case-by-case basis if a signage concept plan is submitted and approved for a Specific Use Permit (SUP).

## **H. Accent Lighting**

If desired, buildings may accent the structural outline with the use of permanently mounted white "pinpoint" lights, installed in accordance with the Town of Chapel Hill electrical code.

## **I. Tree Lighting**

If desired, trees may be accented with appropriately sized white "pinpoint" lights, installed in accordance with the Town of Chapel Hill electrical code.



# D R A F T

## J. Street Light Types

Three types of street lighting are recommended:

1. Vehicular Scale (Street)

Vehicular scale (street) light standards may be placed on a stone pedestal and centered on the median of a divided roadways. Vehicular scale (street) light standards should be at least 40 feet tall, located only within the median, and be installed in accordance with Town of Chapel Hill standards;

2. Vehicular Scale (Side)

Vehicular scale (side) light fixtures may be equipped with brackets for seasonal banners. Vehicular scale (side) light standards should be at least 30 feet tall, be located behind the back of curb, and be installed in accordance with Town of Chapel Hill standards; and,

3. Pedestrian

Pedestrian scale light fixtures may be equipped with brackets for planters or banners. Pedestrian scale light standards should be at least 10 feet tall and be located either between the sidewalk and the parking lot, or along the edge of buildings (or both).

**Figure 6.1 – Street Light Types**

