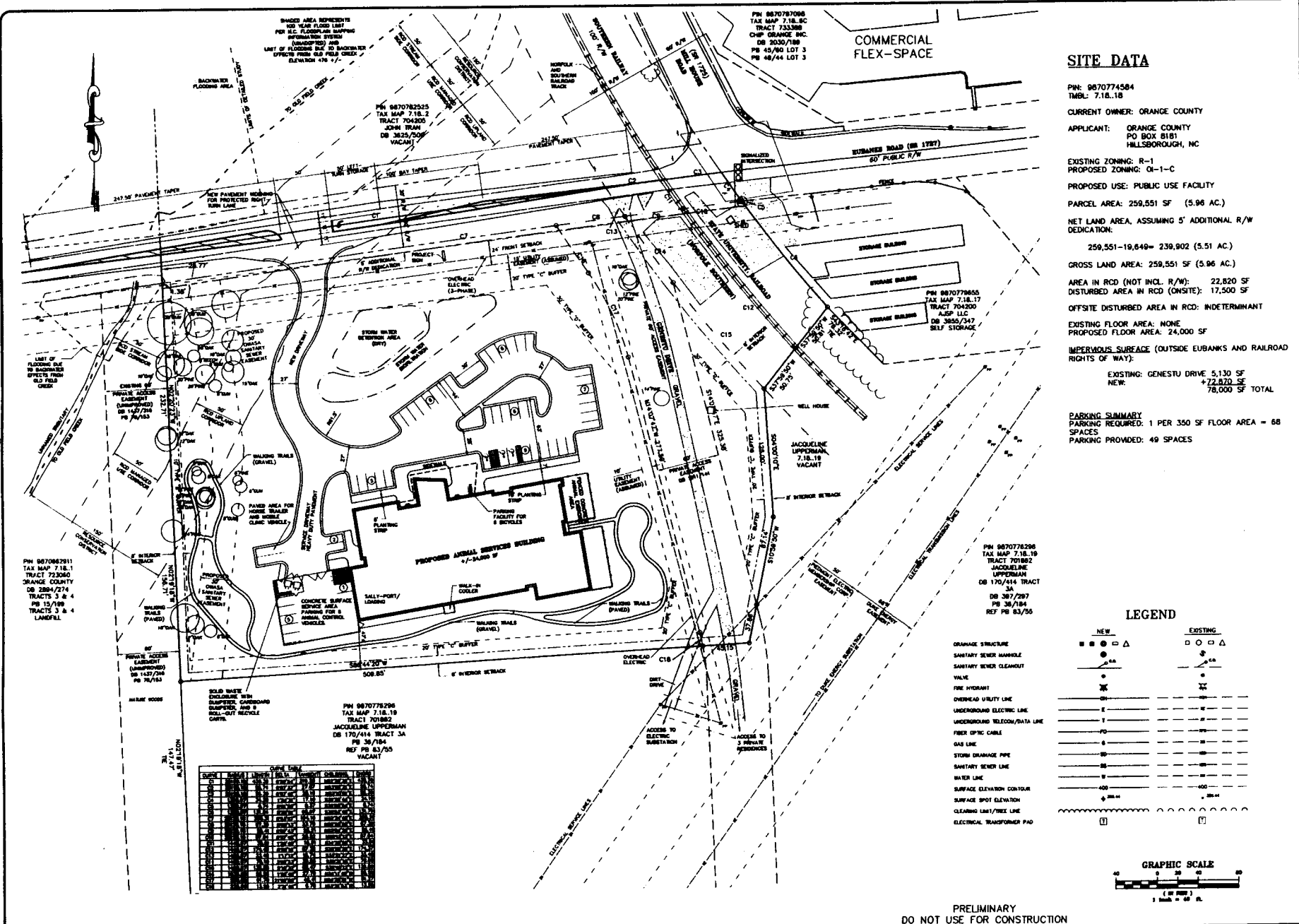


(47)



PN 067082911
TAX MAP 7.18.1
TRACT 72380
ORANGE COUNTY
DB 2894/274
TRACTS 3 & 4
PB 15/189
TRACTS 3 & 4
LANDW/L

SHADE AREA REPRESENTS
HIGHER FLOOD LIST
FOR R.C. FLOODPLAIN MAPPING
INFORMATION SYSTEM
(UNADJUSTED) AND
LIMIT OF FLOODING DUE TO BACKWATER
EFFECTS FROM OLD POND CREEK
ELEVATION 476 +/-

PN 067082525
TAX MAP 7.18.2
TRACT 704200
JOHN TRAN
DB 3826/306
VACANT

PN 067079096
TAX MAP 7.18.20
TRACT 733388
CHP ORANGE INC.
DB 9030/189
PB 46/84 LOT 3
PB 48/66 LOT 3

COMMERCIAL
FLEX-SPACE

PN 067077965
TAX MAP 7.18.17
TRACT 704200
ASEP LLC
DB 3856/347
SELF STORAGE

PN 067078206
TAX MAP 7.18.19
TRACT 701882
JACQUELINE
UPPERMAN
DB 170/614 TRACT
3A
DB 387/287
PB 38/184
REF PB 83/55

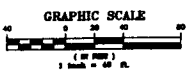
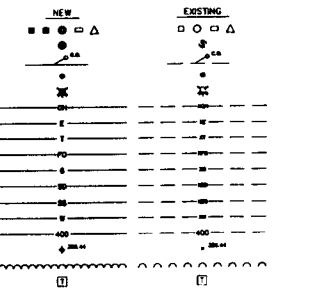
PN 0670778296
TAX MAP 7.18.19
TRACT 701882
JACQUELINE UPPERMAN
DB 170/614 TRACT 3A
PB 38/184
REF PB 83/55
VACANT

LINE NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		

SITE DATA

PN: 0670774584
TMBL: 7.18.18
CURRENT OWNER: ORANGE COUNTY
APPLICANT: ORANGE COUNTY
PO BOX 8161
HILLSBOROUGH, NC
EXISTING ZONING: R-1
PROPOSED ZONING: OI-1-C
PROPOSED USE: PUBLIC USE FACILITY
PARCEL AREA: 259,551 SF (5.96 AC.)
NET LAND AREA, ASSUMING 5' ADDITIONAL R/W DEDICATION:
259,551-19,649= 239,902 (5.51 AC.)
GROSS LAND AREA: 259,551 SF (5.96 AC.)
AREA IN RCD (NOT INCL. R/W): 22,820 SF
DISTURBED AREA IN RCD (ONSITE): 17,500 SF
OFFSITE DISTURBED AREA IN RCD: INDETERMINANT
EXISTING FLOOR AREA: NONE
PROPOSED FLOOR AREA: 24,000 SF
IMPERVIOUS SURFACE (OUTSIDE EUBANKS AND RAILROAD RIGHTS OF WAY):
EXISTING: GENESTU DRIVE 5,130 SF
NEW: +72,870 SF
78,000 SF TOTAL
PARKING SUMMARY
PARKING REQUIRED: 1 PER 350 SF FLOOR AREA = 68 SPACES
SPACES PROVIDED: 49 SPACES

LEGEND



PRELIMINARY
DO NOT USE FOR CONSTRUCTION

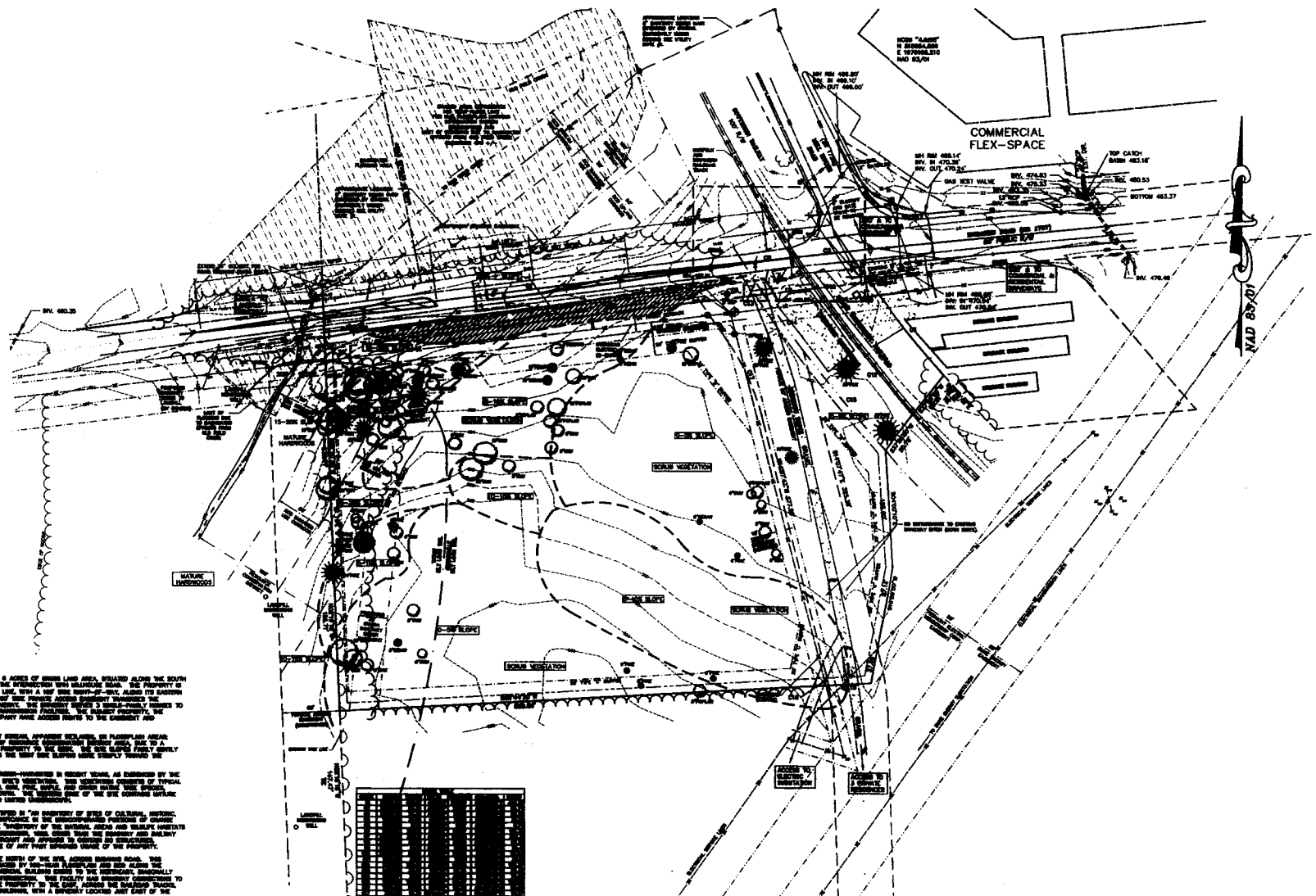
CIVIL CONSULTANTS INC.
Local Development Consultants
1936 Lake Wheeler Road, Suite 201
Raleigh, NC 27607
Tel: (919) 876-1447 Fax: (919) 876-0026 Email: info@civilc.com

ORANGE COUNTY ANIMAL SERVICES
CHAPEL HILL, NORTH CAROLINA
SITE & PAVING PLAN

REV.	DATE	DESCRIPTION	BY

PROJ. NO. 2018-10-02
SHEET NO. 1 OF 1
DATE PLOTTED: 10/22/2019 11:41 AM
PLOT BY: J. WILSON

SHEET NO.
C1
PROJECT: CHAPEL HILL ANIMAL SERVICES CENTER



DETAILED SITE ANALYSIS

THE PROJECT SITE CONSISTS OF APPROXIMATELY 4 ACRES OF BROWN LAND AREA, BOUND ALONG THE SOUTH AND WEST SIDES BY A HIGHWAY AND ORIGINALLY PART OF THE SUBDIVISION WITH MATRIX ROAD. THE PROPERTY IS BOUNDED BY A HIGHWAY ON THE EAST AND SOUTH, WITH A NEARLY STRAIGHT BOUNDARY TO THE NORTH. THE LAND IS CURRENTLY OCCUPIED BY A MIXTURE OF RESIDENTIAL AND COMMERCIAL USES, INCLUDING A LARGE WOODS LOT ON THE WEST, AN OPEN FIELD ON THE NORTH, AND A MIXTURE OF RESIDENTIAL AND COMMERCIAL USES ON THE EAST AND SOUTH. THE PROPERTY IS SURROUNDED BY A HIGHWAY ON THE WEST AND SOUTH, AND A HIGHWAY ON THE EAST.

THE SUBJECT PROPERTY DOES NOT CONTAIN ANY SPECIAL APPROVED FEATURES OR FEATURES THAT WOULD REQUIRE A SPECIAL PERMIT TO OCCUPY. THERE IS NO WATER BODY OR WETLANDS ON THE PROPERTY. THERE IS NO EVIDENCE OF ANY PREVIOUS OR CURRENT MINING OR QUARRYING OPERATIONS ON THE PROPERTY.

THE SITE HAS APPARENTLY BEEN CLEARED OR "PLOW-UP" IN RECENT YEARS, AS EVIDENCED BY THE EXCESSIVE SOIL EROSION ON MOST OF THE SITE'S SLOPES. THE SLOPES SHOW SIGNIFICANT EVIDENCE OF SOIL EROSION, INCLUDING THE FORMATION OF GULLIES AND RAVINES. THE SOILS ARE MOSTLY CLAYEY AND HEAVY, WHICH MAKES THEM SUSCEPTIBLE TO EROSION. THERE IS NO EVIDENCE OF ANY SOIL CONSERVATION MEASURES ON THE PROPERTY.

THE SUBJECT PROPERTY APPEARS TO BE OCCUPIED BY A MIXTURE OF RESIDENTIAL AND COMMERCIAL USES, INCLUDING SINGLE-FAMILY HOMES, BUSINESS OFFICES, AND GARAGES. THERE IS NO EVIDENCE OF ANY INDUSTRIAL OR MANUFACTURING USES ON THE PROPERTY. THE PROPERTY IS SURROUNDED BY A HIGHWAY ON THE WEST AND SOUTH, AND A HIGHWAY ON THE EAST.

A MAJOR LATERAL PROPERTY LINE TO THE NORTH OF THE SITE, CROSSING BRIDGE ROAD, THE PROPERTY IS SUBDIVISIONAL. THE PROPERTY IS SUBDIVISIONAL AND BOUNDARY BY THE YEAR 1995. THE PROPERTY IS SURROUNDED BY A HIGHWAY ON THE WEST AND SOUTH, AND A HIGHWAY ON THE EAST.

TO THE SOUTH AND EASTWARD, A FIVE LANE ROAD (MOUNTAIN VIEW) BOUNDARY LINE TO THE SOUTH, THE PROPERTY IS SUBDIVISIONAL. THE PROPERTY IS SUBDIVISIONAL AND BOUNDARY BY THE YEAR 1995. THE PROPERTY IS SURROUNDED BY A HIGHWAY ON THE WEST AND SOUTH, AND A HIGHWAY ON THE EAST.

THE SUBJECT PROPERTY IS SURROUNDED BY A HIGHWAY ON THE WEST AND SOUTH, AND A HIGHWAY ON THE EAST. THE PROPERTY IS SURROUNDED BY A HIGHWAY ON THE WEST AND SOUTH, AND A HIGHWAY ON THE EAST.

GRAPHIC PATTERNS IN THE AREA ARE BOUNDARY BY THE YEAR 1995. THE PROPERTY IS SURROUNDED BY A HIGHWAY ON THE WEST AND SOUTH, AND A HIGHWAY ON THE EAST.



PRELIMINARY DO NOT USE FOR CONSTRUCTION

CIVIL CONSULTANTS INC.
 Civil Engineers
 1415 South Main Street, Suite 101
 Durham, NC 27707
 P.O. Box 1415
 Durham, NC 27707
 Phone: (919) 489-8000
 Fax: (919) 489-8001
 Website: www.civilcs.com

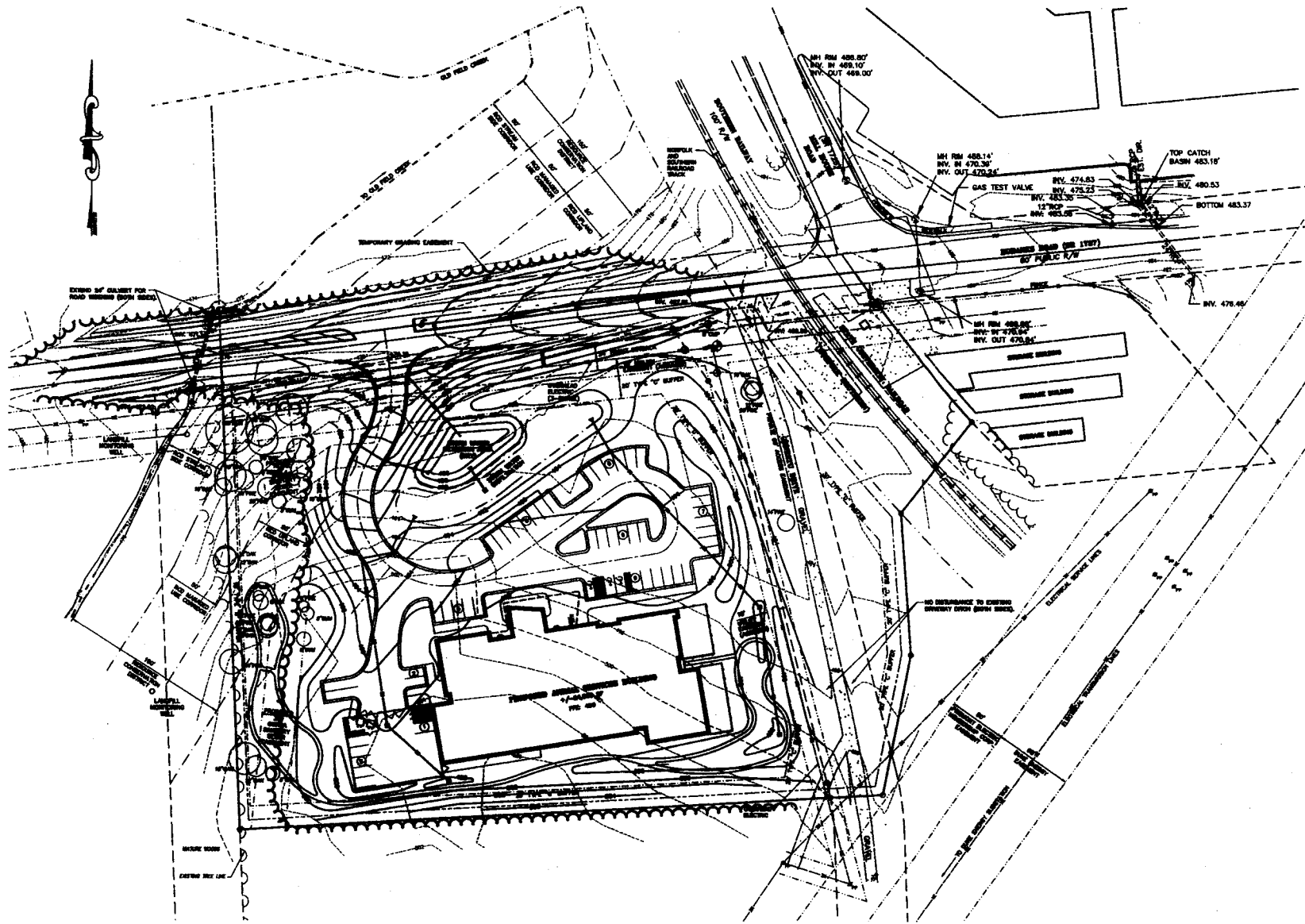
ORANGE COUNTY ANIMAL SERVICES
 CHAPEL HILL, NORTH CAROLINA

SITE ANALYSIS/STEEP SLOPE PLAN

REV.	DATE	DESCRIPTION

SHEET NO.
C2

52



PRELIMINARY
DO NOT USE FOR CONSTRUCTION



CIVIL CONSULTANTS INC.
Civil Engineers
Land Development Consultants
1001 S. W. 10th St., Tallahassee, FL 32304
Phone: (904) 844-0000 Fax: (904) 844-0001

ORANGE COUNTY ANIMAL SERVICES
CHAPEL HILL, NORTH CAROLINA
GRADING & STORM DRAINAGE PLAN

DATE	11/20/09
DRAWN BY	J. W. WILSON
CHECKED BY	J. W. WILSON
SCALE	AS SHOWN
SHEET NO.	C4
TOTAL SHEETS	1
PROJECT NO.	09-001
CLIENT	ORANGE COUNTY ANIMAL SERVICES
LOCATION	CHAPEL HILL, NORTH CAROLINA
DRAWING TITLE	GRADING & STORM DRAINAGE PLAN
DATE	11/20/09
BY	J. W. WILSON
CHECKED BY	J. W. WILSON
SCALE	AS SHOWN
SHEET NO.	C4
TOTAL SHEETS	1
PROJECT NO.	09-001
CLIENT	ORANGE COUNTY ANIMAL SERVICES
LOCATION	CHAPEL HILL, NORTH CAROLINA
DRAWING TITLE	GRADING & STORM DRAINAGE PLAN
DATE	11/20/09
BY	J. W. WILSON
CHECKED BY	J. W. WILSON
SCALE	AS SHOWN
SHEET NO.	C4
TOTAL SHEETS	1
PROJECT NO.	09-001
CLIENT	ORANGE COUNTY ANIMAL SERVICES
LOCATION	CHAPEL HILL, NORTH CAROLINA
DRAWING TITLE	GRADING & STORM DRAINAGE PLAN

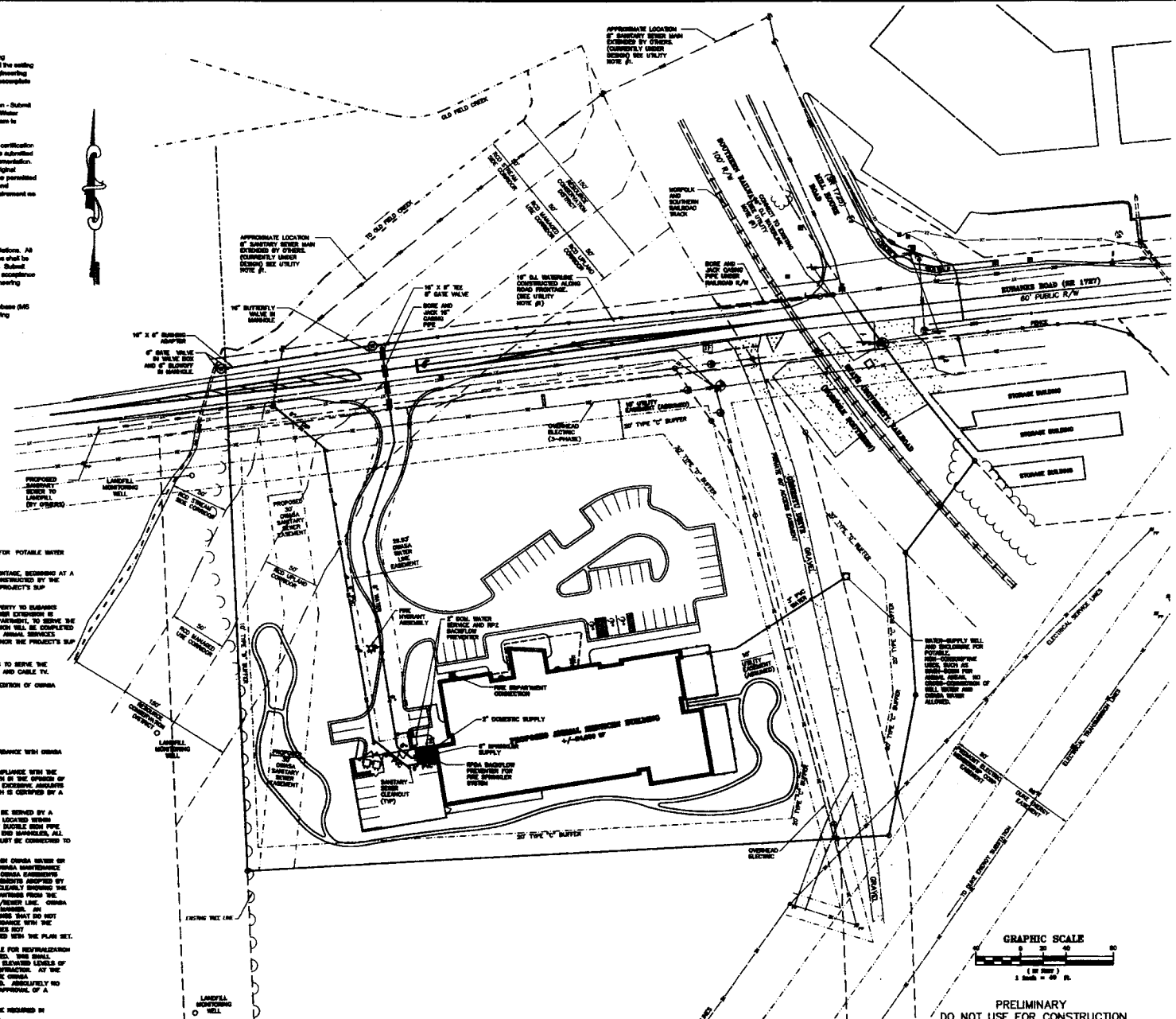
SHEET NO.
C4

**Orange Water and Sewer Authority
Project Documentation Check-List**

In addition to a Final Inspection approved by the OWASA Construction Inspector, the following documents must be reviewed and approved by OWASA before acceptance of the project and the setting of meters. The following shall be submitted as a complete package to the OWASA Engineering Associates for Third Party Review. Partial submittals are considered incomplete. All submittals submittals shall be returned.

- ✓ Engineer's Certification for DEH Public Water Supply Section permitted water extension - Submit original document to OWASA for submission to NCCOENR. Receipt of the DEH Public Water Supply Section Final Approval Letter is required before the permitted water system is placed into service. State requirement as exemption.
- ✓ Engineer's Certification for DEH Public Water Supply Section permitted sewer extension - Engineer must use the certification form attached to the sewer permit from NCCOENR. Record Drawings are required to be submitted to NCCOENR along with the Certification of Completion as a part of the supporting documentation. Both documents must be sealed by Engineers from the same Organization. Submit original document to OWASA along with the supporting documentation required by DEH. The permitted sewer system shall not be placed into service until the Engineer's Certification and Supporting Documentation have been submitted by OWASA to DEH. State requirement as exemption.
- ✓ Asset Letter - Submit original document on OWASA standard form.
- ✓ Letter of Dedication - Submit original document on OWASA standard form.
- ✓ Record Drawings - Construction drawings shall be modified to reflect actual field installations. All DEH Public Water Supply Section permitted water and DWG permitted sewer extensions shall be signed and sealed by a Licensed Professional Engineer in the State of North Carolina. Submit three copies of the record drawing for review by the OWASA Engineering Staff. Upon acceptance of the record drawing by OWASA a single copy will be requested by the OWASA Engineering Technicians. Please note that the meter is not a part of the initial submitted package.
- ✓ Digital Submittals - Water Feature Database (MS Access), Manhole Database (MS Access) and Record Drawing (AutoCAD) files must be submitted. Contact the OWASA Engineering Technicians for information concerning this submittal.

57



UTILITY NOTES:

1. THE PROPOSED ANIMAL SERVICES FACILITY WILL RECEIVE PUBLIC UTILITY EXTENSIONS FOR POTABLE WATER AND SANITARY SEWER SERVICE, AS FOLLOWS:
PUBLIC WATERLINE EXTENSION ALONG THE SUBJECT PROPERTY'S BIRTH RECORDING FRONTAGE, BEGINNING AT A POINT JUST EAST OF THE SUBURBAN TRUCKS, THIS WATERLINE EXTENSION WILL BE CONSTRUCTED BY THE APPLICANT AS PART OF THIS PROJECT, AND SHALL BE CONSIDERED A PART OF THE PROJECT'S SUB APPLICATION.
PUBLIC SANITARY SEWER EXTENSION FROM WILLOWHURD ROAD, ACROSS THE SUBS PROPERTY TO SUNSET ROAD, THEN ACROSS SUNSET ROAD TO THE SUBJECT PROPERTY. THE SANITARY SEWER EXTENSION IS CURRENTLY BEING EXTENDED BY OTHERS FOR THE ORANGE COUNTY SOIL SEWER SEWERAGE, TO SERVE THE CURRENT LANDUSE PROPERTY. THE APPLICANT ANTICIPATES THAT THIS SEWER EXTENSION WILL BE COMPLETED AND AVAILABLE FOR SERVICE DURING THE CONSTRUCTION PERIOD FOR THE PROPOSED ANIMAL SERVICES FACILITY. THIS SEWER EXTENSION IS NOT A PART OF THE ANIMAL SERVICES PROJECT FOR THE PROJECT'S SUB APPLICATION.
2. IN ADDITION TO UTILITIES SHOWN, ADDITIONAL UTILITIES WILL BE EXTENDED BY OTHERS TO SERVE THE PROPOSED FACILITY. THESE UTILITIES INCLUDE ELECTRIC, NATURAL GAS, PHONE/FIBER, AND CABLE TV.
3. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF OWASA STANDARDS, SPECIFICATIONS, AND PROCEDURES.

**ORANGE WATER AND SEWER AUTHORITY
UTILITY NOTES FOR ORANGE COUNTY ANIMAL SERVICES**

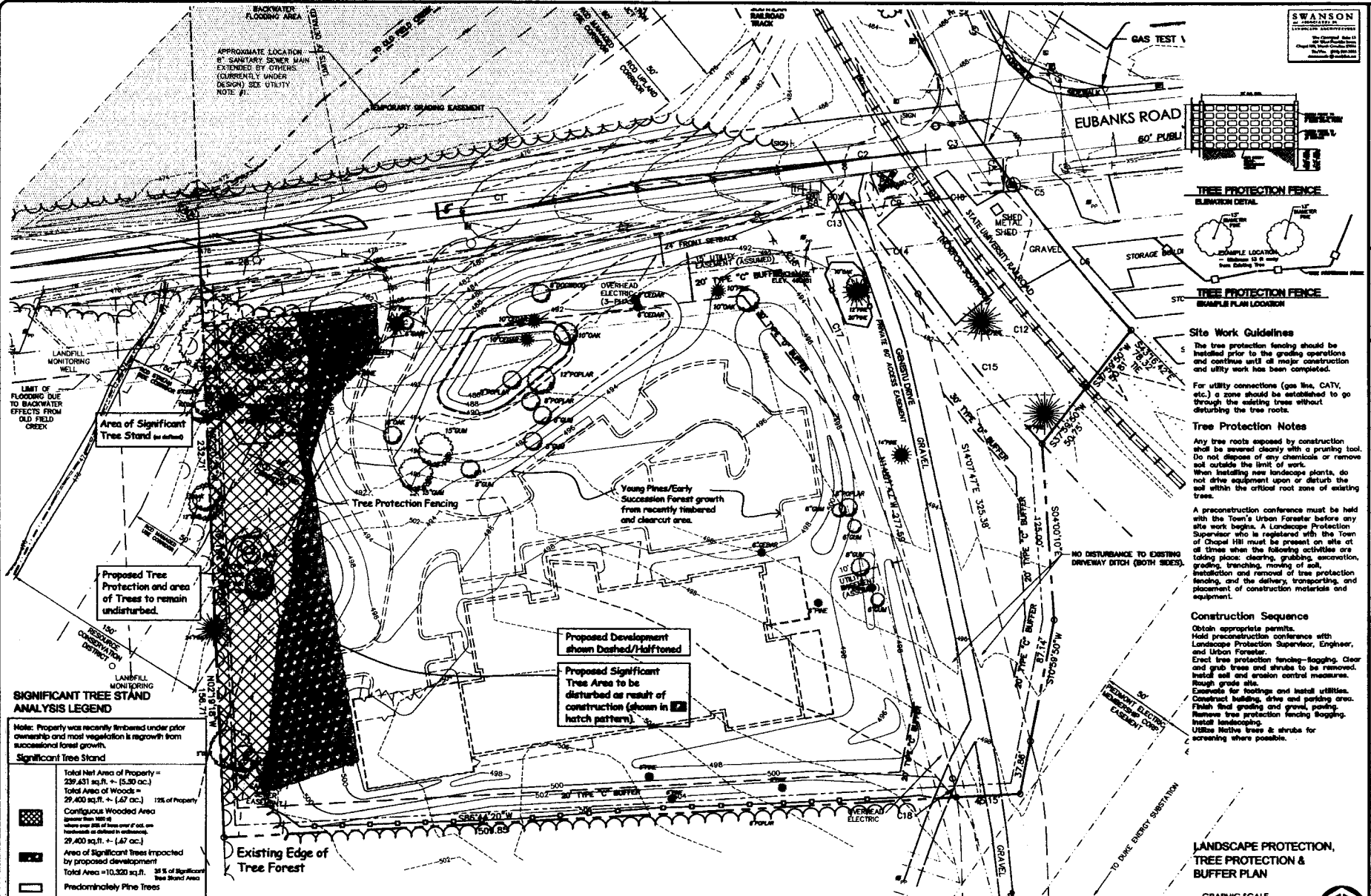
1. STANDARDS AND SPECIFICATIONS - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS DATED JANUARY, 2004, LATEST REVISION NUMBER.
2. SEWER LINE CLEARANCE - CLEARANCE FROM THE PROPERTY MUST BE IN COMPLIANCE WITH THE OWASA SEWER LINE CLEARANCE. A SEWER INTERCEPTION SHALL BE PROVIDED UNDER THE SPAN OF ORANGE. ALL INTERCEPTION SIZES MUST BE OF THE TYPE AND CAPACITY WHICH IS CARRIED BY A PROPERTY WITH AN INTERCEPTION.
3. SEWER SERVICES - EACH BUILDING CONNECTED TO THE SEWER SYSTEM SHALL BE SERVED BY A SEPARATE BUILDING SEWER OF NOT LESS THAN 12" IN DIAMETER. SEWER SERVICES LOCATED NEAR PUBLIC RIGHT-OF-WAY OR ORANGE SEWER EXHIBITS MUST BE CONSTRUCTED TO DUCOLE SOUP PIPE FROM THE TOP UP TO AND INCLUDING THE FIRST CLEANOUT EXCEPT FOR SEWER MANHOLES. ALL 12" SEWER SERVICES MUST BE TAPPED INTO THE SEWER MAIN. ALL 12" SERVICES MUST BE CONNECTED TO A MANHOLE.
4. ORANGE EMBLEMENTS - NO BRANCHES OR BRANCHMENTS ARE ALLOWED WITHIN ORANGE SEWER OR SEWER EMBLEMENTS. PROPOSED EMBLEMENTS MUST HAVE VEHICULAR ACCESS FOR ORANGE MAINTENANCE VEHICLES WITH ELEVATED PLATFORMS NOT TO EXCEED 10' IN HEIGHT. SEWER EMBLEMENTS MUST COME FROM THE ORANGE SUBMITTED PLANS FOR WATER AND SEWER EMBLEMENTS APPROVED BY THE BOARD OF SUPERVISORS. A LANDSCAPE PLAN MUST BE SUBMITTED TO OWASA CLEARLY SHOWING THE WATER AND/OR SEWER LINE ITS PLACEMENT WITHIN THE EMBLEMENT, PROPOSED PLANTINGS FROM THE APPROVED LIST CLEARLY LABELED AS SUCH, AND THE DISTANCE FROM THE WATER/SEWER LINE. OWASA WILL ONLY APPROVE LANDSCAPE PLANS FOR ITS EMBLEMENTS SUBMITTED TO THIS OFFICE. AN APPROVAL LETTER WILL BE OBTAIN FOR LANDSCAPE PLANS THAT PROPOSE PLANTINGS THAT DO NOT CONTRADICT WITH OWASA POLICY TO PREVENT AND MINIMIZE ITS UTILITIES IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NORTH CAROLINA. PLAN APPROVAL DOES NOT INTERNATIONALLY PREVENT APPROVAL TO ANY LANDSCAPE PLAN THAT MAY BE INCLUDED WITH THE PLAN SET.
5. BACKFLOWPREVENTION - THE OPERATOR SHALL BE RESPONSIBLE FOR REVENTILIZATION OF CALIBRATED WATER AT THE POINT OF ENCHANGE FROM THE MAIN SEWER SYSTEM. THIS SHALL OCCUR FOLLOWING CALIBRATION TO ENSURE A MAJOR OR ANY OTHER THIS SEWER ELEVATION LEVELS OF CALIBRATION SHOULD FORMALLY BE CONDUCTED BY THE OPERATOR BY THE CONTRACTOR. AT THE END OF EACH BACKFLOWPREVENTION AND FIRST YEAR OPERATIONS BY THE CONTRACTOR. AT THE CONSTRUCTION INSPECTOR, THE OPERATOR FOR BACKFLOWPREVENTION WILL BE COMPLETED. ABSOLUTELY NO PLANTING OR ANY OTHER WORK IS TO TAKE PLACE WITHOUT PRIOR APPROVAL OF A SANITARY PLAN BY THE OWASA SECTION.
6. CROSS-CONNECTION CONTROL, OVERFLOW PREVENTION WILL BE REQUIRED IN ACCORDANCE WITH OWASA CROSS-CONNECTION CONTROL, OVERFLOW AND MANUAL.

CIVIL CONSULTANTS INC.
Civil Engineers
Lead Development Consultant
3708 Lydell Parkway, Suite 201 Durham, NC 27707
P.E. (019) 465-1645 Fax: (019) 465-0556 www.civilians.com

ORANGE COUNTY ANIMAL SERVICES
CHAPEL HILL, NORTH CAROLINA
UTILITY PLAN

REV.	DATE	DESCRIPTION	BY	CHECKED BY

SHEET NO.
C5



APPROXIMATE LOCATION OF SANITARY SEWER MAIN EXTENDED BY OTHERS (CURRENTLY UNDER DESIGN) SEE UTILITY NOTE #1

LANDFILL MONITORING WELL

Area of Significant Tree Stand (as defined)

Proposed Tree Protection and area of Trees to remain undisturbed.

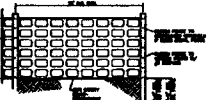
Proposed Development shown Dashed/Hatched

Proposed Significant Tree Area to be disturbed as result of construction (shown in [hatched pattern]).

Existing Edge of Tree Forest

NO DISTURBANCE TO EXISTING DRIVEWAY DITCH (BOTH SIDES)

SWANSON
LANDSCAPE ARCHITECTURE
1100 Jackson Street
Chapel Hill, NC 27514
Tel: (919) 966-1000
Fax: (919) 966-2024
www.swansonlandscape.com



TREE PROTECTION FENCE
ELEVATION DETAIL

TREE PROTECTION FENCE
SAMPLE PLAN LOOKON

Site Work Guidelines

The tree protection fencing should be installed prior to the grading operations and continue until all major construction and utility work has been completed.

For utility connections (gas line, CATV, etc.) a zone should be established to go through the existing trees without disturbing the tree roots.

Tree Protection Notes

Any tree roots exposed by construction should be severed cleanly with a pruning tool. Do not dispose of any chemicals or remove soil outside the limit of work.

When installing new landscape plants, do not drive equipment upon or disturb the soil within the critical root zone of existing trees.

A preconstruction conference must be held with the Town's Urban Forester before any site work begins. A Landscape Protection Supervisor who is registered with the Town of Chapel Hill must be present on site at all times when the following activities are taking place: clearing, grubbing, excavation, grading, trenching, moving of soil, installation and removal of tree protection fencing, and the delivery, transporting, and placement of construction materials and equipment.

Construction Sequence

Obtain appropriate permits.
Hold preconstruction conference with Landscape Protection Supervisor, Engineer, and Urban Forester.
Erect tree protection fencing-grubbing. Clear and grub trees and shrubs to be removed. Install soil and erosion control measures throughout grade site.
Excavate for footings and install utilities. Construct building, drive and parking areas. Finish final grading and gravel paving. Remove tree protection fencing-grubbing. Install landscaping.
Utilize Native tree & shrub for screening where possible.

LANDSCAPE PROTECTION,
TREE PROTECTION &
BUFFER PLAN



CIVIL CONSULTANTS INC.
1100 Jackson Street
Chapel Hill, NC 27514
Tel: (919) 966-1000
Fax: (919) 966-2024
www.civilconsultants.com



ORANGE COUNTY ANIMAL SERVICES
CHAPEL HILL, NORTH CAROLINA
TREE PROTECTION PLAN

NO.	DATE	DESCRIPTION	BY	CHECKED

PROJECT NO. 2010-001
SHEET NO. 11
DATE: 11/11/2010
PROJECT: 2010-001
SHEET: 11

SHEET NO.
L1
PRELIMINARY

PRELIMINARY for SUP REVIEW
DO NOT USE FOR CONSTRUCTION

