

# Aydan Court Townhomes & Condominiums

Chapel Hill, North Carolina

## PROJECT TEAM

Developer:

**CAZCO, INC.**

Chapel Hill, North Carolina

Architect / Site Planner / Landscape Architect:

**JDavis Architects, PLLC**

Raleigh, North Carolina

Civil Engineer:

**Mitchell-Westendorf, PA**

Chapel Hill, North Carolina

Submittal Date:

August 30, 2007

Revisions:

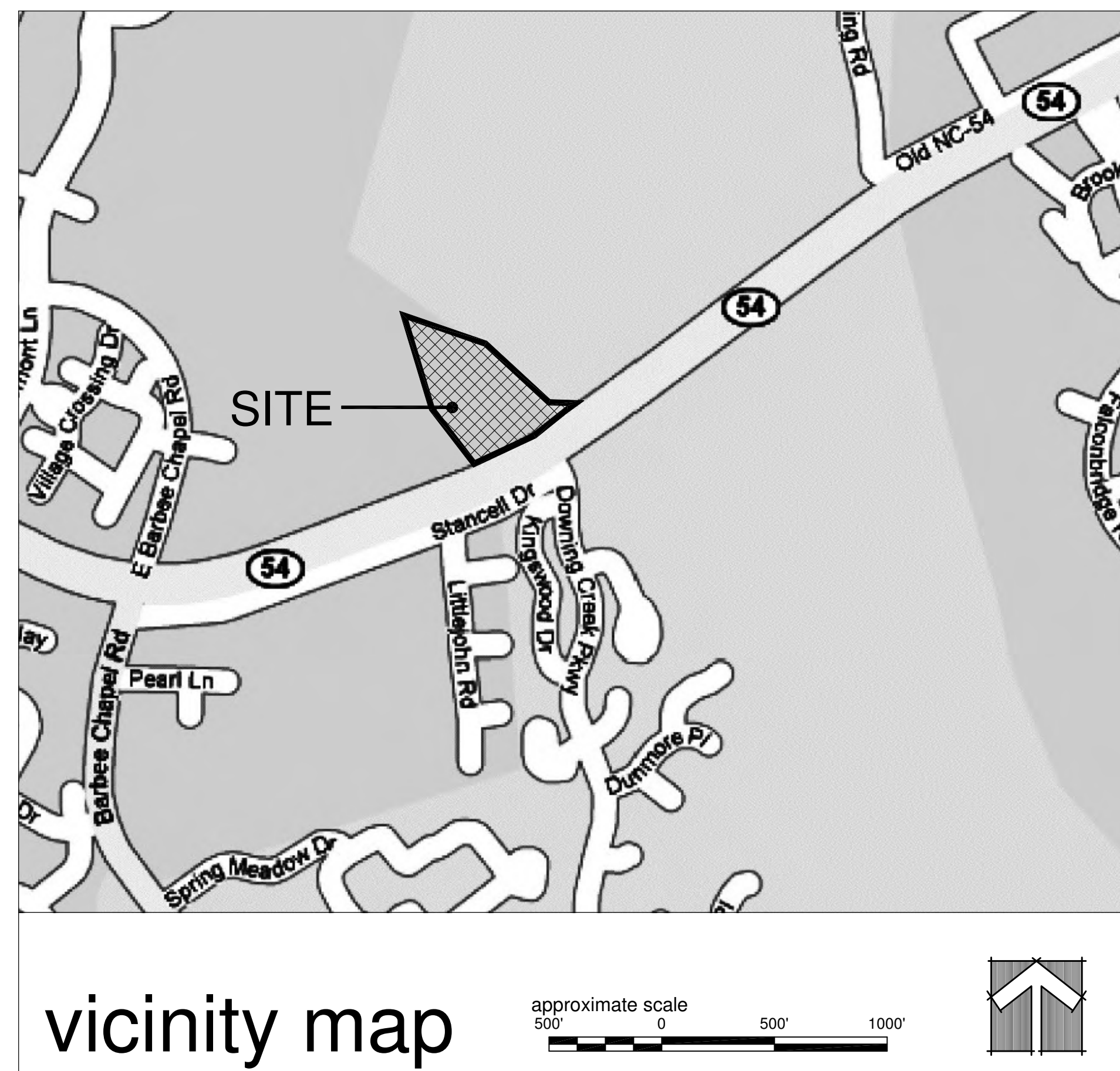
- December 6, 2007 -

- February 5, 2008 -

- -

- -

- -

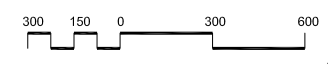
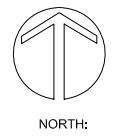


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- LEGEND**
- SUBJECT PROPERTY
  - ZONING BOUNDARY
  - R-1** ZONING CLASSIFICATION
  - 1000' NOTIFICATION LINE



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Developer: CAZCO, Inc.  
**Aydan Court Townhomes & Condominiums**  
 N.C. Highway 54 - Chapel Hill, North Carolina

**JDAVISARCHITECTS**

510 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | Tel: 919.835.1500 | Fax: 919.835.1510

	DATE	
PROJECT:	07095	8-30-07
REVISIONS:	Revised Entrance	12/06/07
DRAWN BY:		
CHECKED BY:		
CONTENT:	AREA MAP	

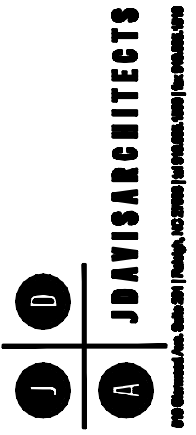
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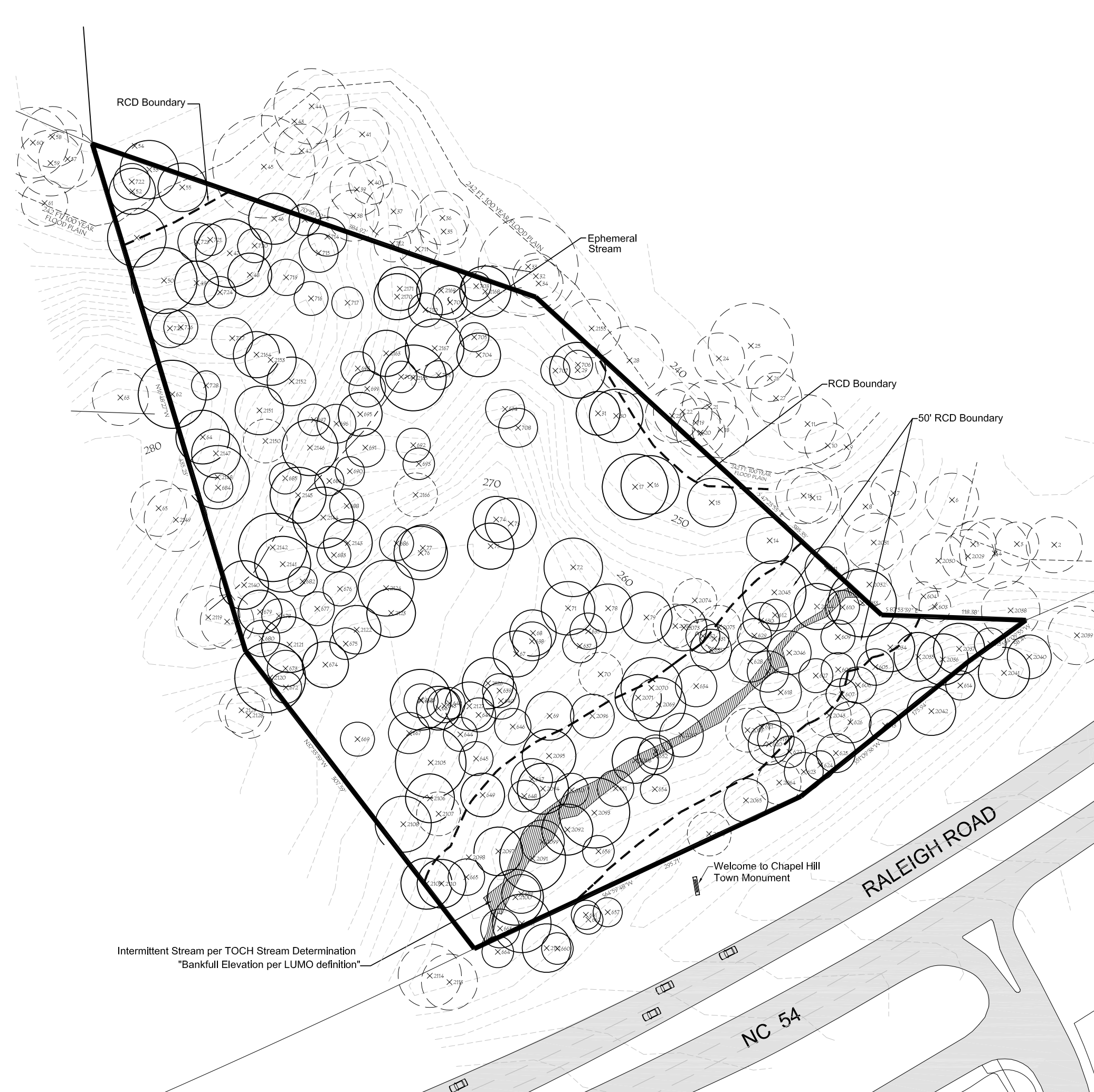
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 & Condominiums**  
 N.C. Highway 54 - Chapel Hill, North Carolina



NO.	DATE	DESCRIPTION
1	04/27/17	PRELIMINARY
2	05/02/17	REVISED PER COMMENTS
3		
4		
5		
6		
7		
8		
9		
10		
11		
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14		
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17		
18		
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20		

Sheet 3



**SURVEYED TREE CHART**

POINT	TREE	POINT	TREE	POINT	TREE	POINT	TREE	POINT	TREE
2	23' OAK	605	13' OAK	689	13' OAK	2029	22' OAK	2155	24' OAK
3	18' OAK	606	12' OAK	690	12' OAK	2030	23' POPLAR	2165	19' OAK
4	29' OAK	605	15' OAK	691	16' TWIN BEECH	2081	24' OAK	2164	19' PINE
5	19' OAK	606	15' OAK	692	14' GUM	2082	18' POPLAR	2165	27' TWIN OAK
6	22' OAK	607	13' OAK	693	13' POPLAR	2033	28' OAK	2166	18' PINE
7	19' PINE	608	14' OAK	694	14' POPLAR	2034	20' OAK	2167	24' OAK
8	21' PINE	609	14' OAK	695	18' OAK	2035	20' OAK	2168	21' OAK
9	24' OAK	610	14' OAK	696	16' OAK	2036	21' OAK	2169	20' OAK
10	19' OAK	611	18' OAK	697	13' BEECH	2037	21' OAK	2170	19' OAK
11	24' PINE	612	13' HICKORY	698	14' BEECH	2038	24' OAK	2171	18' OAK
12	21' OAK	613	13' OAK	699	15' HICKORY	2039	24' OAK		
13	23' PINE	614	12' OAK	700	15' GUM	2040	18' OAK		
14	19' OAK	615	13' OAK	701	12' BEECH	2041	21' OAK		
15	20' PINE	617	17' GUM	702	12' BEECH	2042	20' PINE		
16	24' OAK	618	17' POPLAR	703	18' BEECH	2043	18' PINE		
17	27' TWIN OAK	619	13' BEECH	704	18' BEECH	2044	19' BEECH		
18	23' PINE	620	17' GUM	705	12' OAK	2045	25' OAK		
19	20' PINE	621	16' OAK	706	12' OAK	2046	18' OAK		
20	20' PINE	622	13' OAK	707	12' OAK	2068	18' PINE		
21	22' PINE	623	16' OAK	708	16' BEECH	2064	18' PINE		
22	24' PINE	624	12' OAK	709	14' SYCAMORE	2065	18' OAK		
23	24' PINE	625	16' OAK	710	14' OAK	2066	18' PINE		
24	21' PINE	626	17' OAK	711	16' BEECH	2067	18' OAK		
25	35' OAK	627	14' HICKORY	712	15' BEECH	2068	19' BEECH		
26	19' PINE	628	17' HICKORY	714	16' HICKORY	2069	22' PINE		
27	21' POPLAR	629	14' POPLAR	715	16' WILLOW OAK	2070	25' PINE		
28	28' OAK	630	15' OAK	716	14' WILLOW OAK	2071	19' PINE		
29	23' OAK	631	12' OAK	717	13' BEECH	2072	18' PINE		
30	22' POPLAR	632	14' OAK	718	13' BEECH	2073	19' PINE		
31	18' OAK	633	17' OAK	719	15' WILLOW OAK	2074	18' PINE		
32	19' OAK	634	17' POPLAR	720	14' HICKORY	2075	18' PINE		
33	41' TWIN OAK	635	15' OAK	721	13' BEECH	2091	27' OAK		
34	20' OAK	637	14' OAK	722	15' HICKORY	2092	24' GUM		
35	19' OAK	638	16' HICKORY	723	16' OAK	2093	29' OAK		
36	22' OAK	639	14' OAK	724	13' BEECH	2094	21' GUM		
37	23' OAK	640	15' OAK	725	16' BEECH	2095	22' OAK		
38	21' OAK	641	14' OAK	726	14' BEECH	2096	18' OAK		
39	22' OAK	642	13' OAK	727	17' OAK	2097	20' OAK		
40	18' HICKORY	643	14' OAK	728	12' WILLOW OAK	2098	22' TWIN GUM		
41	22' OAK	644	14' HICKORY	2099	18' BEECH	2100	23' GUM		
42	22' OAK	645	14' HICKORY	2105	29' OAK	2106	20' OAK		
43	27' OAK	646	15' OAK	2107	17' OAK	2108	18' PINE		
44	31' OAK	647	17' OAK	2109	21' OAK	2110	20' GUM		
45	42' OAK	648	13' OAK	2111	24' PINE	2112	20' PINE		
46	21' OAK	649	18' OAK	2113	23' OAK	2114	26' OAK		
47	28' OAK	650	14' MAPLE	2115	23' OAK	2116	22' OAK		
48	18' OAK	651	15' GUM	2117	20' PINE	2118	22' OAK		
49	18' HICKORY	652	15' GUM	2119	26' OAK	2120	29' TWIN OAK		
50	27' HICKORY	653	14' MAPLE	2121	25' OAK	2122	20' PINE		
51	24' PINE	654	12' HICKORY	2123	20' OAK	2124	23' PINE		
52	19' PINE	656	13' OAK	2125	25' TWIN OAK	2126	21' OAK		
53	24' PINE	657	12' GUM	2127	20' PINE	2128	19' OAK		
54	20' OAK	659	16' HICKORY	2129	19' POPLAR	2130	29' TWIN OAK		
55	20' PINE	660	13' OAK	2131	25' OAK	2132	20' PINE		
56	24' OAK	661	12' OAK	2133	20' OAK	2134	23' PINE		
57	24' OAK	662	12' OAK	2135	25' OAK	2136	25' OAK		
58	25' OAK	663	16' POPLAR	2137	20' PINE	2138	19' OAK		
59	27' OAK	664	13' OAK	2139	19' POPLAR	2140	20' MAPLE		
60	29' OAK	665	15' HICKORY	2141	23' OAK	2142	28' OAK		
61	19' OAK	667	17' OAK	2143	20' OAK	2144	25' OAK		
62	28' OAK	667	17' OAK	2145	23' OAK	2146	23' OAK		
63	23' OAK	668	14' TWIN OAK	2146	23' OAK	2147	20' PINE		
64	22' OAK	669	14' OAK	2148	26' PINE	2149	26' PINE		
65	23' PINE	672	15' MAPLE	2150	18' PINE	2151	20' PINE		
66	18' OAK	673	15' OAK	2152	20' PINE	2153	21' PINE		
67	19' PINE	674	19' OAK						
68	19' PINE	675	13' OAK						
69	20' PINE	676	14' GUM						
70	18' PINE	677	14' GUM						
71	23' PINE	678	14' GUM						
72	24' PINE	679	18' MAPLE						
73	21' PINE	680	15' HICKORY						
74	19' PINE	682	12' POPLAR						
75	19' OAK	683	14' HICKORY						
76	22' PINE	684	12' HICKORY						
77	19' PINE	685	13' GUM						
78	20' PINE	686	14' MAPLE						
79	21' PINE	688	14' BEECH						

**LEGEND**

- HARDWOOD TREES 18-24" +
- HARDWOOD TREES 12-18"
- EVERGREEN TREES 19-24" +
- EVERGREEN TREES 12-18"
- OFFSITE TREES 12-18"

NORTH

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Developer: CAZCO, Inc.  
**Aydan Court Townhomes & Condominiums**  
 N.C. Highway 54 - Chapel Hill, North Carolina

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PROJECT:	07095	DATE	8-30-07
REVISIONS:	Revised Entrance	12-06-07	
DRAWN BY:			
CHECKED BY:			
CONTENT:	SITE SURVEY / EXISTING CONDITIONS		

Sheet 4



Army Corps of Engineers -  
Jordan Lake Watershed Property

**LEGEND**

- FLOW
- DRAINAGE PATTERNS
- SLOPES 0-10%
- SLOPES 10-15%
- SLOPES 15-25%
- SLOPES > 25% (Measured at 4' contour)

**Soils Index Onsite**

- MfB - Mayodan sandy loam, 2-6% slopes
- WsE - White store-urban land complex, 10-25% slopes

**Soils Index Adjacent**

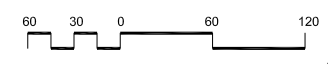
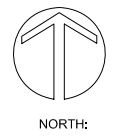
- Ch - Chewada and Wehadkee soils
- Gu - Gullied land, clayey materials
- MfB - Mayodan sandy loam, 2-6% slopes
- WsB - White store sandy loam, 2-6% slopes
- WsC - White store sandy loam, 6-10% slopes
- WsE - White store-urban land complex, 10-25% slopes

**Existing Vegetation**

This site consists of mixed hardwoods, and pines which cover the entire site. See Tree Survey for details.

**Topography**

Mitchell Westendorf, PA, June 2007  
Contours are shown at two-foot intervals  
NCDOT LIDAR - NC State Plane NAD83 feet



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**Aydan Court Townhomes & Condominiums**  
 N.C. Highway 54 - Chapel Hill, North Carolina

		DATE
PROJECT:	07095	8-30-07
REVISIONS:	Revised Entrance	12-06-07
DRAWN BY:		
CHECKED BY:		
CONTENT:	SITE ANALYSIS - TOPOGRAPHY	

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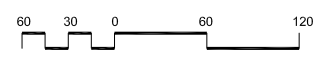


Army Corps of Engineers -  
Jordan Lake Watershed Property

- LEGEND**
-  HARDWOOD TREES 18-24' +
  -  HARDWOOD TREES 12-17'
  -  SIGNIFICANT TREES STANDS



NORTH:



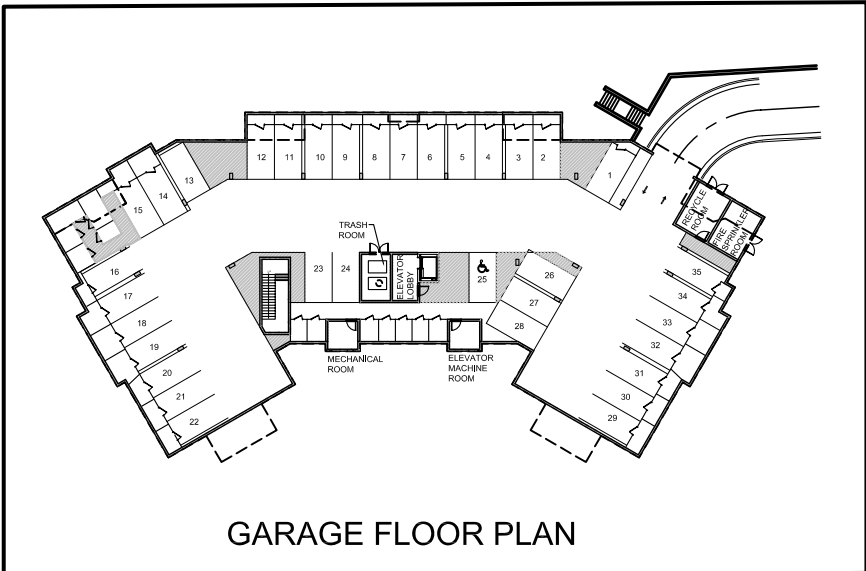
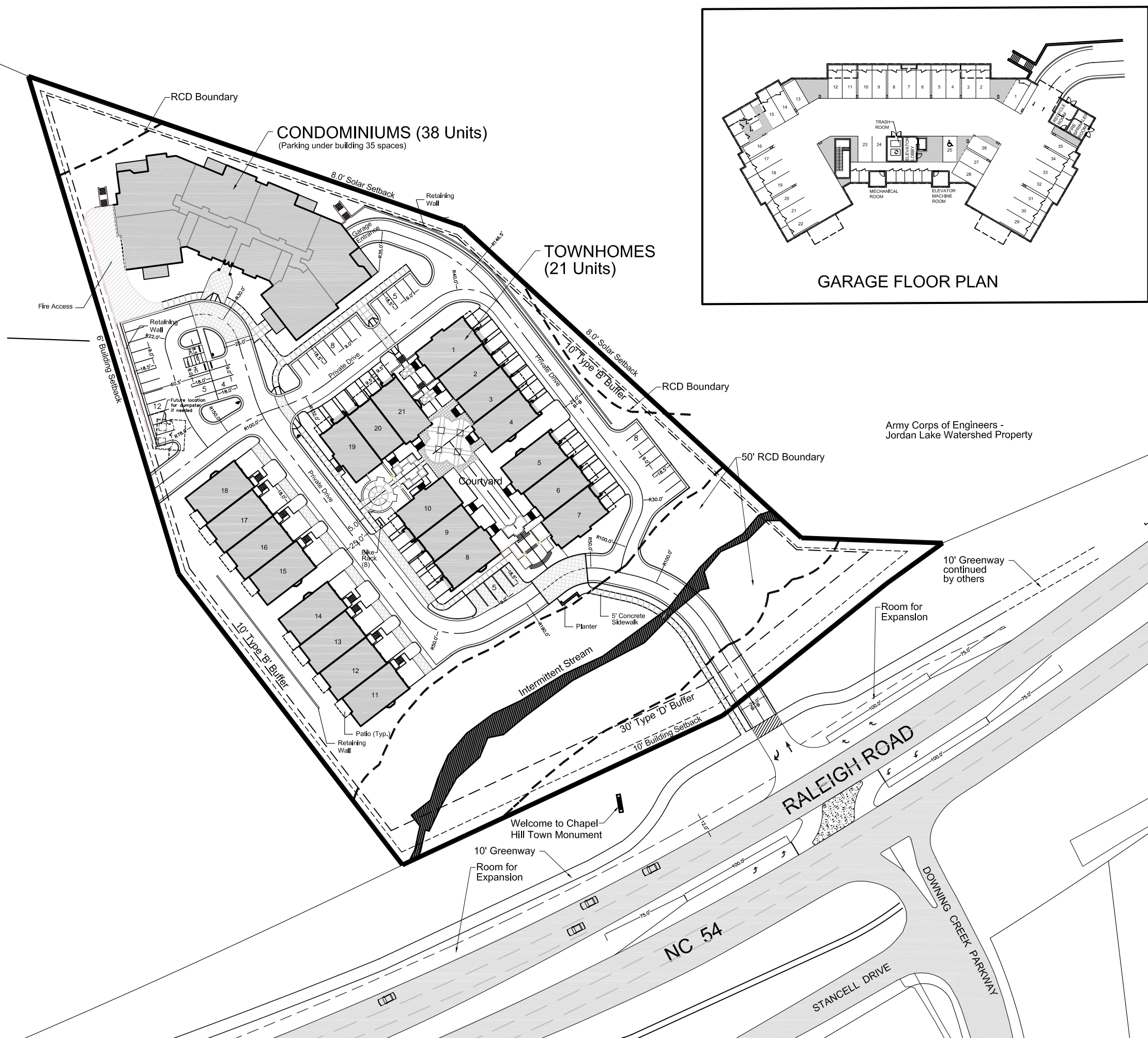
174

Developer: CAZCO, Inc.  
**Aydan Court Townhomes  
& Condominiums**  
N.C. Highway 54 - Chapel Hill, North Carolina

	PROJECT:	07095	DATE	8-30-07
REVISIONS:	Revised Entrance		12-06-07	
DRAWN BY:				
CHECKED BY:				
CONTENT:	SITE ANALYSIS - TREE STANDS			

Sheet 6

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**Site Information:**

Address: 2100 NC Hwy. 54 East  
 Tax Map #: 490-01-002B  
 Pin #: 9798-04-94-5193  
 Net Land Area: 231,073 SF, (5.03 Acres)  
 Gross Land Area: 254,180 SF, (5.84 Acres)  
 Land Area in RCD: 56,898 SF, (1.31 Acres)  
 Existing Zoning: R-1

**Development Program**

Condominiums -38 Units  
 Townhomes -21 Units  
 Total - 52 Units

**Vehicular Parking**

Condominium Garage - 35 Spaces  
 Townhomes Garages - 42 Spaces  
 Total Structure Parking - 77 Spaces  
 Surface Parking - 47 Spaces  
 Total Parking - 124 Spaces

**Bicycle Parking Required**

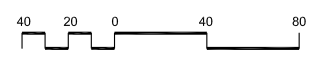
9 Spaces

**Bicycle Parking Proposed**

Townhomes - 21 Spaces in Garage  
 Condominiums - 31 Spaces in Garage  
 Exterior - 8 Spaces

**Impervious Surface**

117,531 SF  
 46.24 % of site (based on GLA)



175

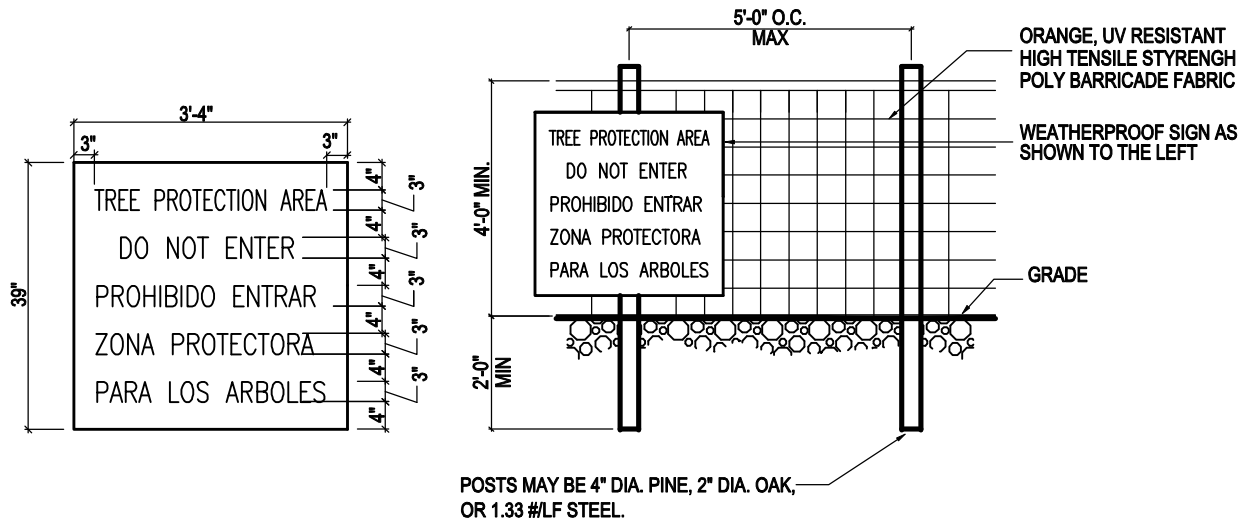
Developer: CAZCO, Inc.  
**Aydan Court Townhomes  
 & Condominiums**  
 N.C. Highway 54 - Chapel Hill, North Carolina

PROJECT:	07095	DATE	8-30-07
REVISIONS:	Revised Entrance		12-06-07
	Revised Unit Count		2-5-08
DRAWN BY:			
CHECKED BY:			
CONTENT:	SITE PLAN		

Sheet 7

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- NOTES:
1. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
  2. LETTERS ARE TO BE 3" HIGH MIN., CLEARLY LEGIBLE AND SPACED AS SHOWN BELOW
  3. PLACE SIGNS AT EACH END OF LINEAR TREE PROTECTION
  4. PLACE SIGNS AT INTERVALS NOT TO EXCEED 75' O.C. IN BETWEEN
  5. FOR TREE PROTECTION AREAS LESS THAN 75' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
  6. ATTACH SIGNS SECURELY TO FENCE POST AND FABRIC.
  7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
  8. ADDITIONAL SIGNS MAY BE REQUIRED BY DURHAM COUNTY ENVIRONMENTAL ENGINEERING DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.
  9. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAFE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.



**TREE PROTECTION FENCE**  
NOT TO SCALE

**VSA TREE CALCULATIONS**  
TOTAL VSA AREA 46,417 SF  
@ 1 TREE / 2,000 SF = 24 TREES

OWNER: U.S. ARMY CORPS OF ENGINEERS  
PIN: 9788-02-95-7812  
ZONING: RS-20  
USE: VACANT

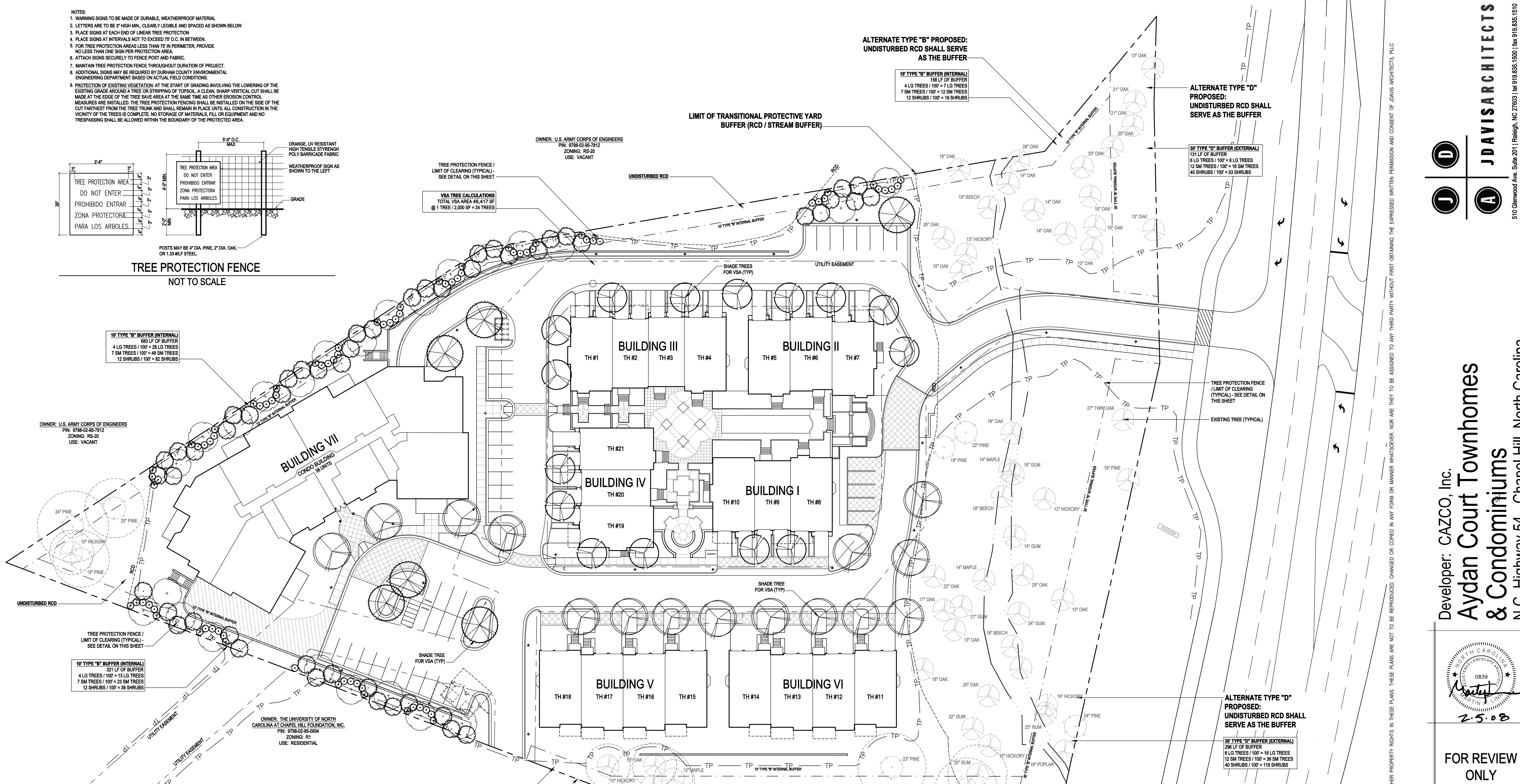
OWNER: U.S. ARMY CORPS OF ENGINEERS  
PIN: 9788-02-95-7812  
ZONING: RS-20  
USE: VACANT

OWNER: THE UNIVERSITY OF NORTH CAROLINA AT CHAPEL HILL FOUNDATION, INC.  
PIN: 97188-02-95-0854  
ZONING: R1  
USE: RESIDENTIAL

**ALTERNATE TYPE "B" PROPOSED:**  
UNDISTURBED RCD SHALL SERVE AS THE BUFFER

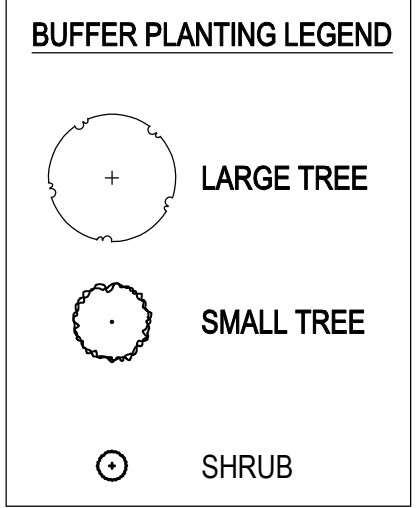
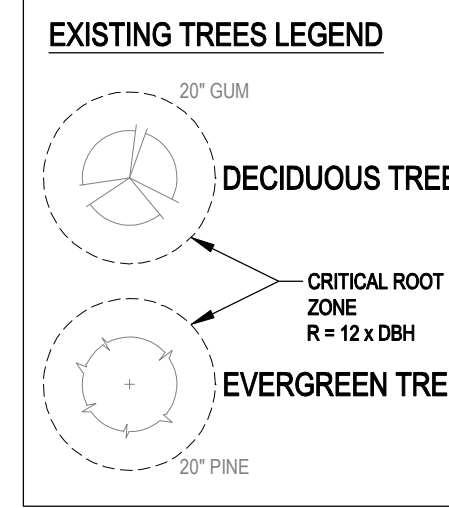
**ALTERNATE TYPE "D" PROPOSED:**  
UNDISTURBED RCD SHALL SERVE AS THE BUFFER

**ALTERNATE TYPE "D" PROPOSED:**  
UNDISTURBED RCD SHALL SERVE AS THE BUFFER



KEY	Scientific Name	Common Name	Qty.	Cal.	Ht.	Spr.	Root
<b>LARGE TREES</b>							
AR	<i>Acer rubrum</i>	Red Maple		2"			B&B
AS	<i>Acer saccharum</i>	Sugar Maple		2"			B&B
JV	<i>Juniperus virginiana</i>	Eastern Red Cedar		2"			B&B
LT	<i>Liquidambar tulipifera</i>	Tulip Poplar		2"			B&B
TC	<i>Tsuga canadensis</i>	Hemlock		2"			B&B
<b>DECIDUOUS SMALL TREES</b>							
CA	<i>Carpinus caroliniana</i>	Ironwood			5'		B&B
CC	<i>Cercis canadensis</i>	Red Bud			5'		B&B
MS	<i>Magnolia stellata</i>	Star Magnolia			5'		B&B
<b>EVERGREEN SMALL TREES</b>							
IV	<i>Ilex vomitoria</i>	Yaupon			5'		B&B
PC	<i>Prunus caroliniana</i>	Carolina Cherry Laurel			5'		B&B
<b>BUFFER SHRUBS</b>							
CAL	<i>Callicarpa americana</i>	American Beautyberry			18"		cont
MC	<i>Myrica cerifera</i>	Wax Myrtle			18"		cont
RV	<i>Rhododendron viscosum</i>	Swamp Azalea			18"		cont
VR	<i>Viburnum thiodotaphyllum</i>	Leathertleaf Viburnum			18"		cont

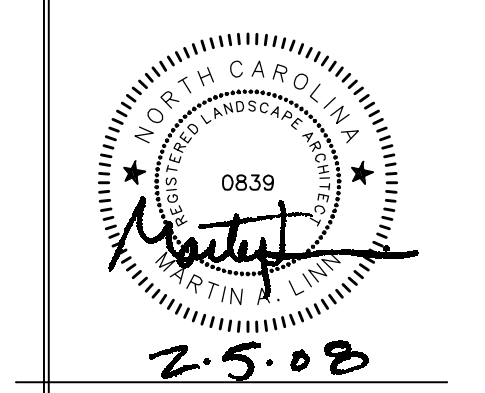
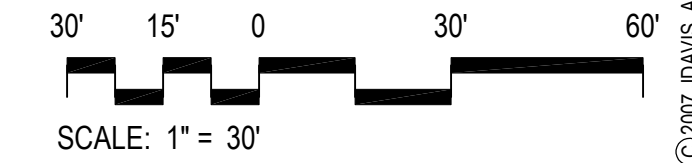
**EXISTING UNDISTURBED VEGETATION**  
10' TYPE "B" BUFFER (INTERNAL)  
300 LF OF BUFFER  
4 LG TREES / 100' = 12 LG TREES  
7 SM TREES / 100' = 21 SM TREES  
12 SHRUBS / 100' = 36 SHRUBS



**BUFFER PLANTING NOTE:**

1. EXISTING TREES MAY BE UTILIZED TO MEET LANDSCAPE ORDINANCE REQUIREMENTS; WHERE UTILIZED, PROTECTED ROOT ZONES SHALL BE IDENTIFIED AND CONSERVED IN ACCORD WITH TOWN OF CHAPEL HILL STANDARD SPECIFICATION AND DETAIL.
2. THE SPECIES, LOCATION AND ARRANGEMENT OF BUFFER PLANTING IS SUBJECT TO FURTHER MODIFICATION IN ORDER TO ACCOMMODATE EXISTING TREES. BUFFERS SHOWN ARE AT THE TOWN OF CHAPEL HILL'S MINIMUM DIMENSIONAL STANDARD, BUFFER AREA (DIMENSION) MAY BE INCREASED BEYOND THE MINIMUM WIDTH.
3. AN ALTERNATE BUFFER IS REQUESTED FOR THE STREET YARD ALONG NC HWY 54 DUE TO THE PRESERVATION OF EXISTING VEGETATION, STREAM BUFFER AND THE EXTENSIVE AREA OF RCD.

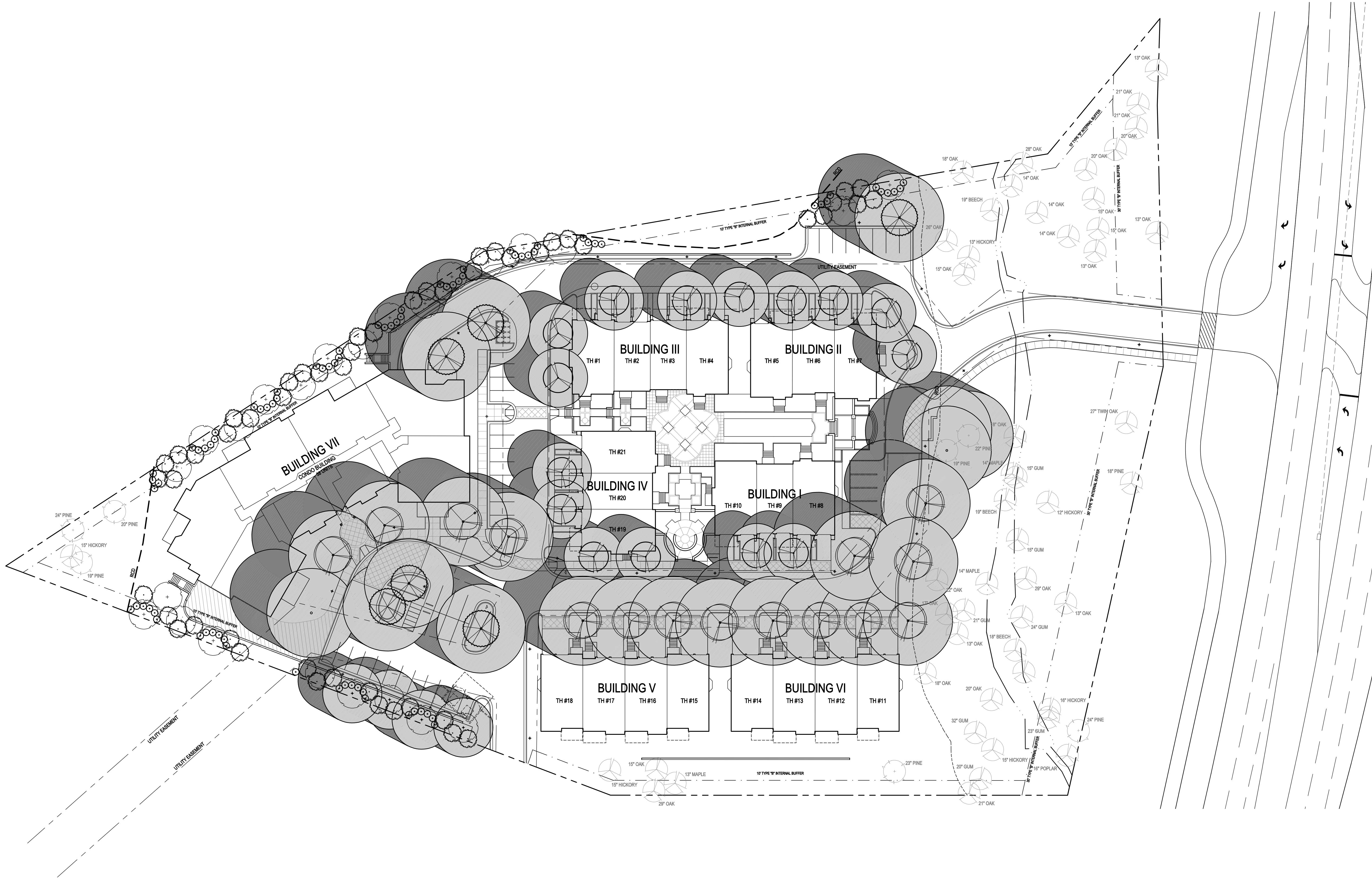
**NOTE:**  
LOCATE BUFFER PLANTING OUTSIDE OF PROTECTED ROOT ZONE WHERE FEASIBLE.



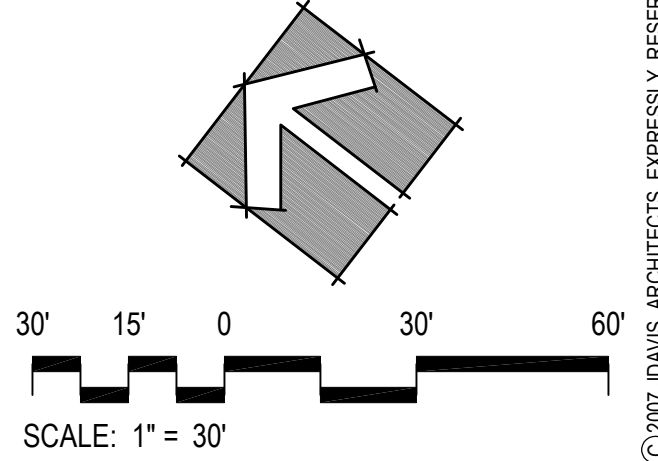
**FOR REVIEW ONLY**

PROJECT:	07095	DATE	8-30-07
REVISIONS:	12-06-07		
	02-05-08		
DRAWN BY:			
CHECKED BY:			
CONTENT:	LANDSCAPE PLAN		

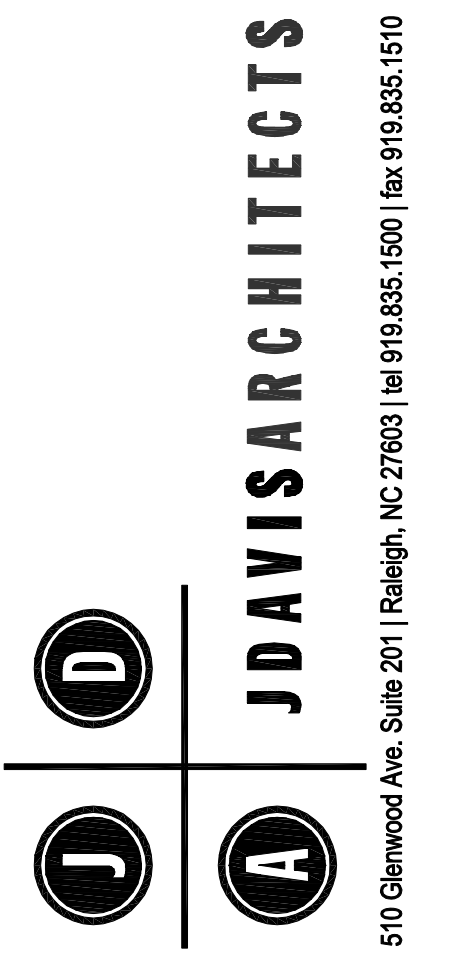




**SHADING PLAN NOTE:**  
 THIS PLAN ILLUSTRATES COMPLIANCE WITH CODE SECTION 5.6 (SHADE ON PARKING AREAS), PROPOSED TREES 60' TALL, 60" WIDE AND TREES 40' TALL, 40" WIDE ON AUGUST 21ST, AT NOON, COVERING 33,018 SF, 71% OF PROPOSED PARKING AREAS, PRIVATE STREETS, AND DRIVEWAYS.

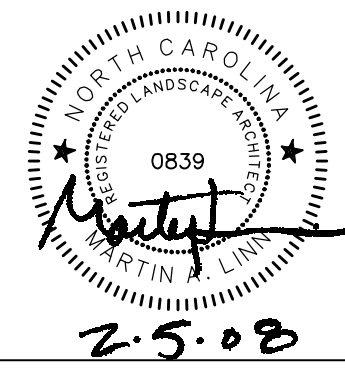


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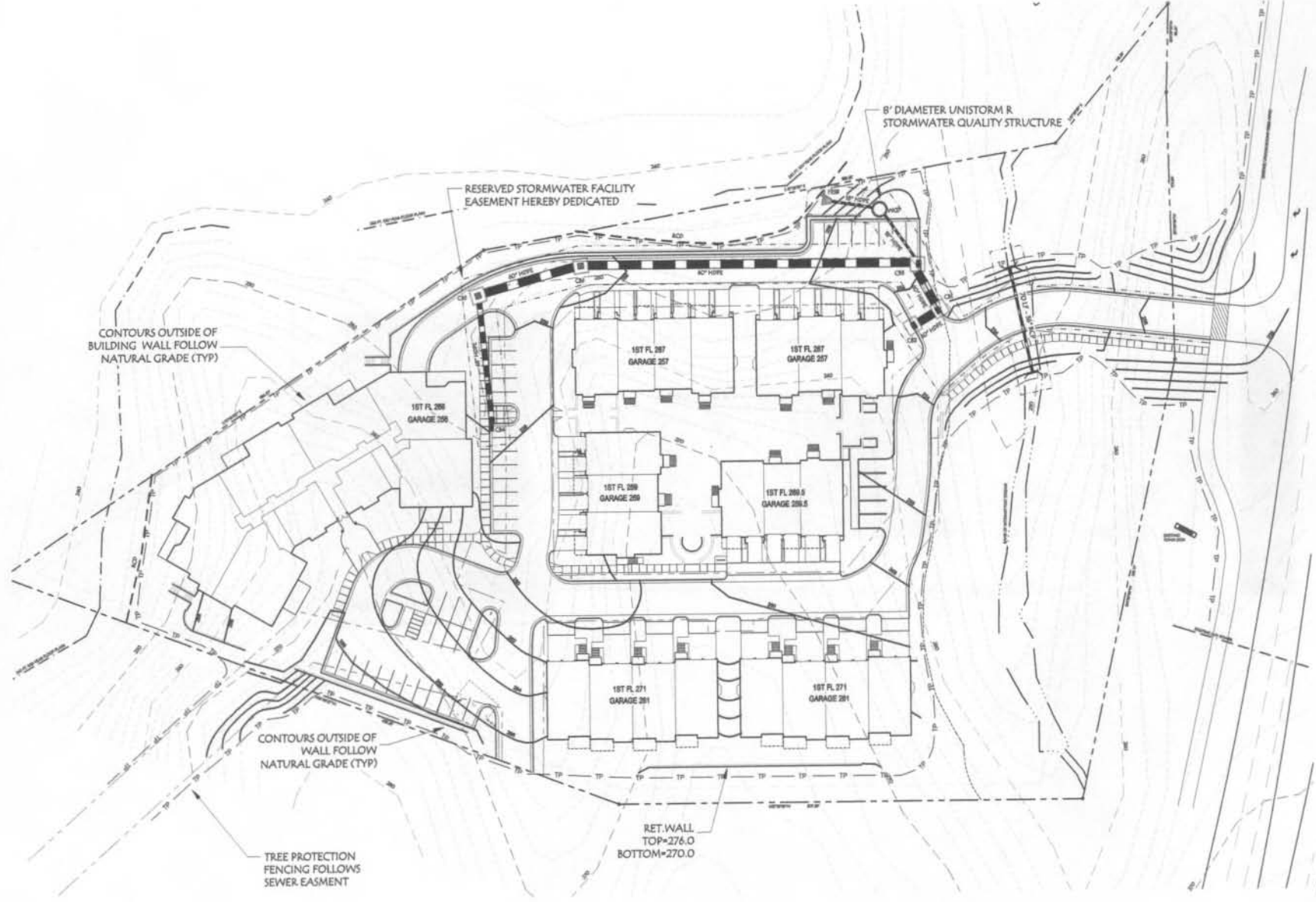
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 510 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | tel 919.835.1500 | fax 919.835.1510

Developer: CAZCO, Inc.  
**Aydan Court Townhomes & Condominiums**  
 N.C. Highway 54 - Chapel Hill, North Carolina



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PROJECT:	07095	DATE	8-30-07
REVISIONS:	12-06-07		
	02-05-08		
DRAWN BY:	SB		
CHECKED BY:	ML		
CONTENT:	SHADING PLAN		



MITCHELL WESTENDORF, P.A.  
ENGINEERING & SURVEYING  
STATE OF NORTH CAROLINA LICENSE NO. 45273  
11700 UNIVERSITY CITY DRIVE  
CARRINGTON, NC 27513



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PROJECT	DATE
ST-09	5-28-07

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CONTENTS: [Blank]

Sheet 10

Developer: CAZCO, Inc.  
**Aydan Court Townhomes  
& Condominiums**  
N.C. Highway 54 - Chapel Hill, North Carolina

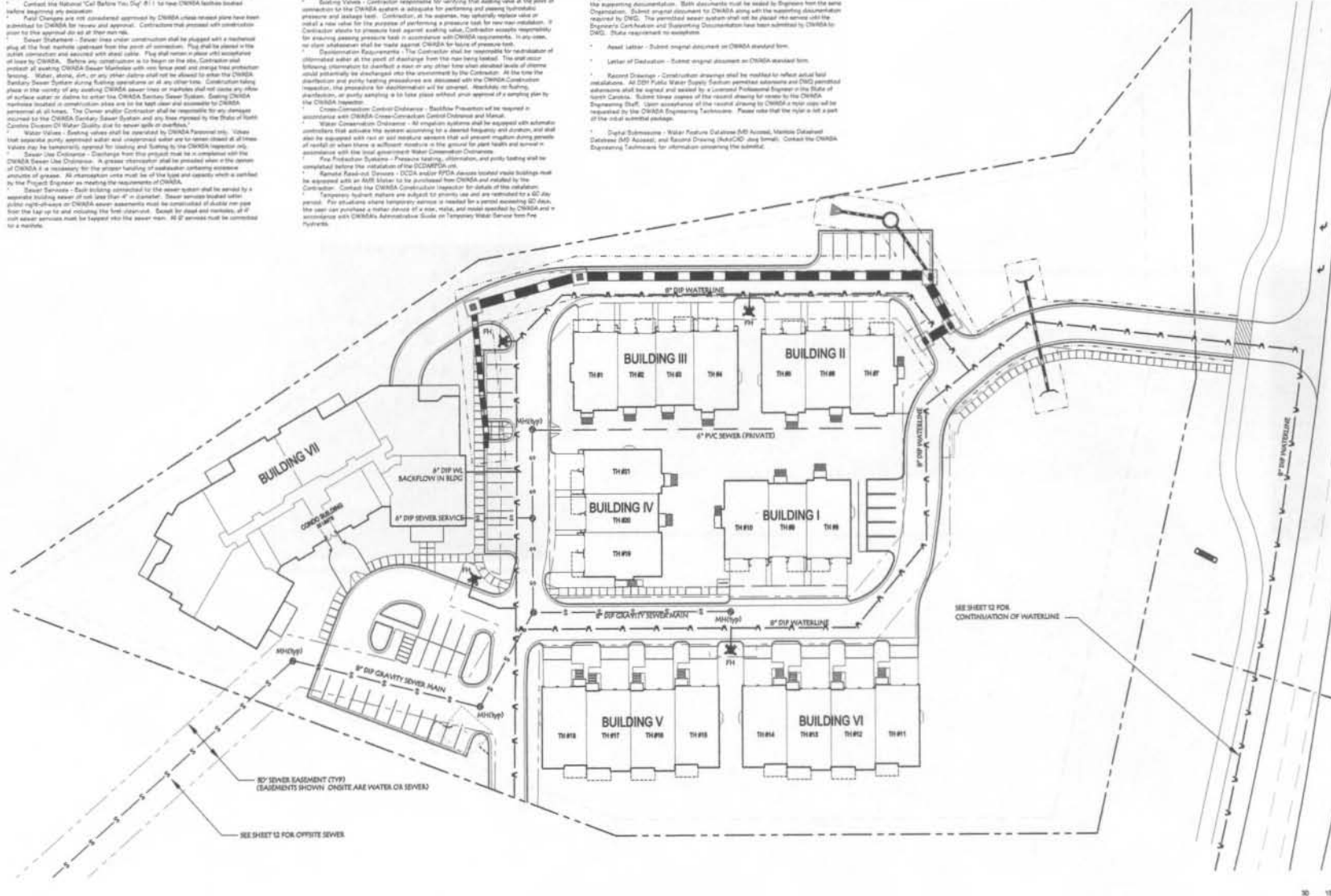
**J A**  
**D A**  
**J DAVIS ARCHITECTS**  
1710 Woodland Ave, Suite 201 | Chapel Hill, NC 27514 | TEL 919.286.1300 | FAX 919.286.1308

Orange Water And Sewer Authority  
Utility Notes for Aysdan Court

- Standards and Specifications - All construction shall be in accordance with CWSRA Standards and Specifications dated August, 2007, latest revised version.
- Permit - It is the responsibility of the contractor to obtain all permits for this project from the Orange Water and Sewer Authority. The contractor shall be responsible for all costs associated with the permit process, including but not limited to the cost of the permit, the cost of the plan review, and the cost of the final inspection. The contractor shall be responsible for all costs associated with the permit process, including but not limited to the cost of the permit, the cost of the plan review, and the cost of the final inspection.
- Preconstruction Conference - A preconstruction conference shall be held with CWSRA representatives prior to the start of construction. The contractor shall be responsible for the cost of the conference.
- Contract - The contract shall be the Orange Water and Sewer Authority Standard Contract, dated August, 2007, latest revised version.
- Final Change and not considered approved by CWSRA unless noted prior to construction. Changes to the approved plans shall be submitted to CWSRA for review and approval. Contractors shall proceed with construction prior to this approval as per the contract.
- Water Shut-off - Sewer lines under construction shall be plugged with a mechanical plug at the first manhole upstream from the point of connection. Plug shall be placed in the cleanout connection and secured with steel cable. Plug shall remain in place until acceptance of line by CWSRA. Before any construction is to begin on the line, Contractor shall protect all existing CWSRA Sewer Manholes with one foot steel and orange tree protection fencing. Water, storm, gas, or any other utility shall not be allowed to strike the CWSRA Sewer System during building operations at all other times. Construction taking place in the vicinity of any existing CWSRA sewer lines or manholes shall not cause any release of surface water or debris to enter the CWSRA Sewer System. Existing CWSRA manholes located in construction areas are to be kept clear and accessible to CWSRA personnel at all times. The Contractor shall be responsible for any damage incurred to the CWSRA Sewer System and any lines reported by the State of North Carolina Division of Water Quality due to sewer utility activities.
- Water Utilities - Sewing valves shall be operated by CWSRA Personnel only. Valves that operate storm, sewer water and compressed water are to remain closed at all times unless they be temporarily opened for testing and flushing by the CWSRA Inspector only.
- Sewer Use Ordinance - Discharge from this project must be in compliance with the CWSRA Sewer Use Ordinance. A greater information shall be provided when it is required by the Project Engineer as meeting the requirements of CWSRA.
- Sewer Services - Each building connected to the sewer system shall be served by a separate building sewer or CWSRA sewer easement. Sewer services located under public right-of-way or CWSRA sewer easements shall be installed at least ten feet from the lot line and be installed to the sewer main. Sewer for street and lots shall be installed to a manhole.

Orange Water and Sewer Authority  
Project Documentation Check-list

- In addition to a Final Inspection approved by the CWSRA-Construction Inspector, the following documents must be received and approved by CWSRA before acceptance of the project and the signing of release. The following shall be submitted as a complete package to the CWSRA Engineering Associate for Third Party Review. Partial submittals are considered incomplete. All incomplete submittals will be returned.
- Engineer's Certification for DMC permitted access subject - Engineer must seal the certification line attached to the sewer permit from ICCDDM. Record Drawings are required to be submitted to ICCDDM along with the Certification of Completion as a part of the permitting documentation. Both documents must be sealed by Engineer from the same Organization. Submit permit application to CWSRA along with the permitting documentation required by DMC. The permitted sewer system shall be shown in the permit with the Engineer's Certification and Supporting Documentation have been submitted to CWSRA to DMC. State requirement is compliance.
- Asset Label - Submit original document on CWSRA provided form.
- Letter of Dedication - Submit original document on CWSRA provided form.
- Record Drawings - Construction drawings shall be modified to reflect actual field installation. All DMC Public Water Supply Section permitted submittals and DMC permitted submittals shall be signed and sealed by a Licensed Professional Engineer in the State of North Carolina. Submit permit application to CWSRA along with the permitting documentation required by DMC. The permitted sewer system shall be shown in the permit with the Engineer's Certification and Supporting Documentation have been submitted to CWSRA to DMC. State requirement is compliance. Please note that the permit is not a part of the initial submittal package.
- Digital Submittals - Water Feature Database (WFD), Manhole Database (MHD), and Record Drawing (RCD) are required.
- Fire Protection System - Fire protection system shall be installed in accordance with the International Fire Code (IFC) or NFPA 101.
- Gas Detection System - Gas detection system shall be installed in accordance with the International Fire Code (IFC) or NFPA 101.
- Fire Alarm System - Fire alarm system shall be installed in accordance with the International Fire Code (IFC) or NFPA 101.
- Fire Sprinkler System - Fire sprinkler system shall be installed in accordance with the International Fire Code (IFC) or NFPA 101.
- Fire Extinguisher System - Fire extinguisher system shall be installed in accordance with the International Fire Code (IFC) or NFPA 101.
- Fire Alarm System - Fire alarm system shall be installed in accordance with the International Fire Code (IFC) or NFPA 101.
- Fire Sprinkler System - Fire sprinkler system shall be installed in accordance with the International Fire Code (IFC) or NFPA 101.
- Fire Extinguisher System - Fire extinguisher system shall be installed in accordance with the International Fire Code (IFC) or NFPA 101.



MITCHELL WESTENDORP, P.E.  
ENGINEERING & SURVEYING  
A PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA  
LICENSE NO. 14187

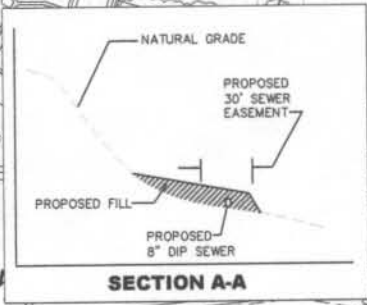
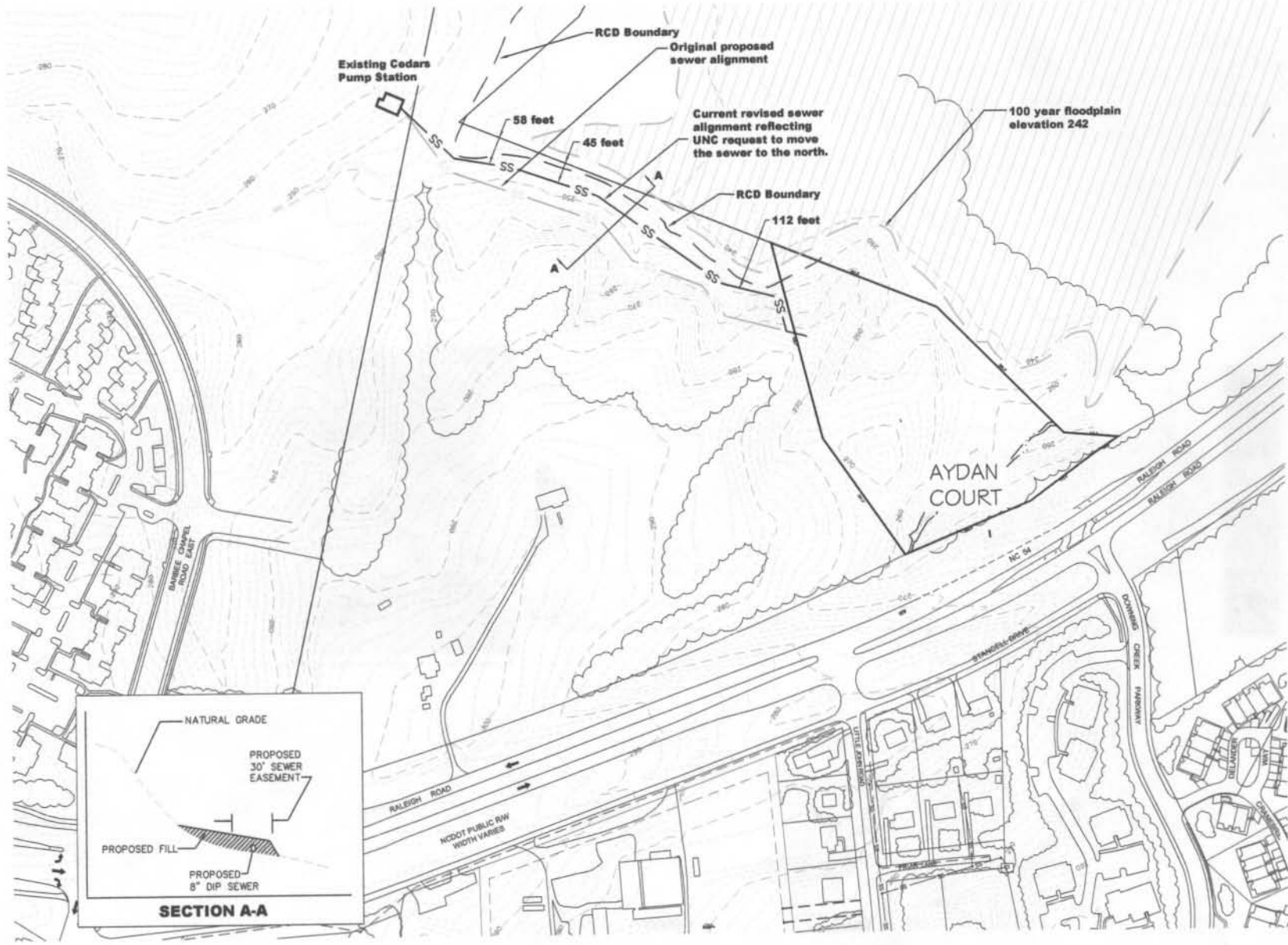
179

J  
D  
A  
JDAVIS ARCHITECTS

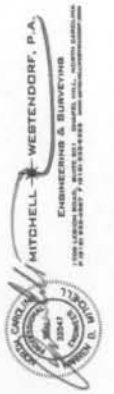
Developer: CAZCO, Inc.  
Aysdan Court Townhomes  
& Condominiums  
N.C. Highway 54 - Chapel Hill, North Carolina

PROJECT	DATE
1. 1st	8/10/17
2. 2nd	11/28/17

DESIGN BY: [Blank]  
CHECKED BY: [Blank]  
CONTR: [Blank]



081



Check: JAWIS ARCHITECTS EXPLICITLY WARRANTS ITS COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF JAWIS ARCHITECTS, P.A.

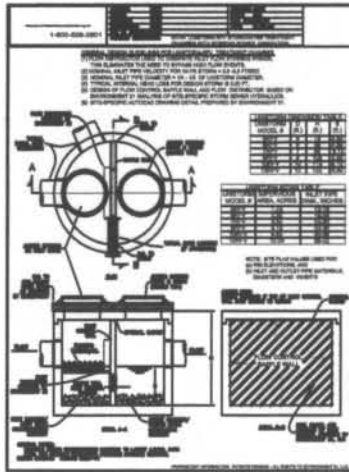


Developer: CAZCO, Inc.  
**Aydan Court Townhomes  
 & Condominiums**  
 N.C. Highway 54 - Chapel Hill, North Carolina

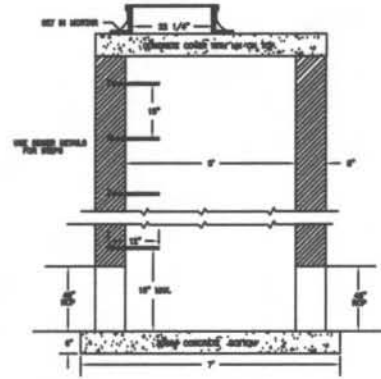
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REVISION	13 18 21	8.26.21
DRAWN BY		
CHECKED BY		
CONTENT	OFF SITE/UTILITY PLAN	

Sheet 12

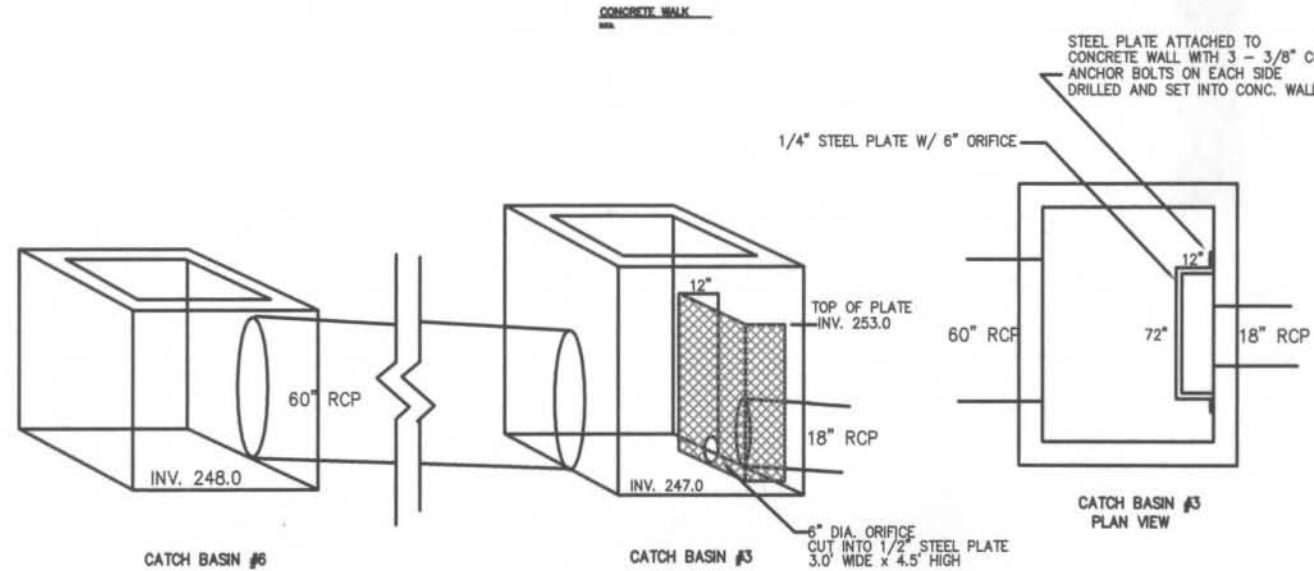




WATER QUALITY FACILITY



STORM SEWER MANHOLE

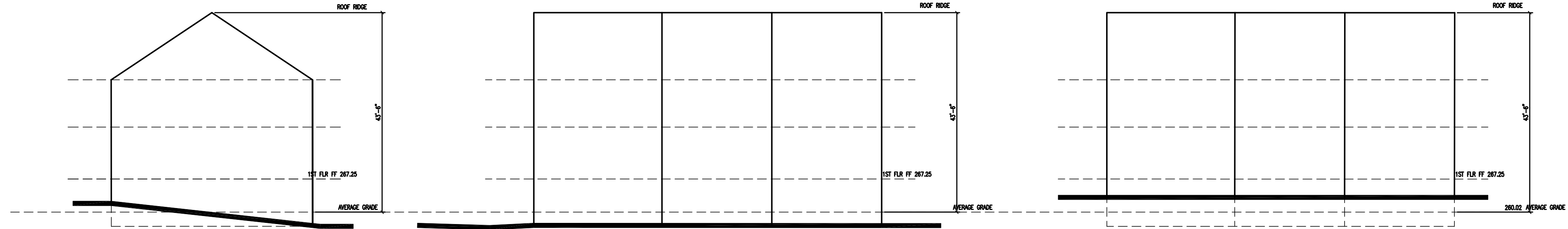


Pipe Detention Detail



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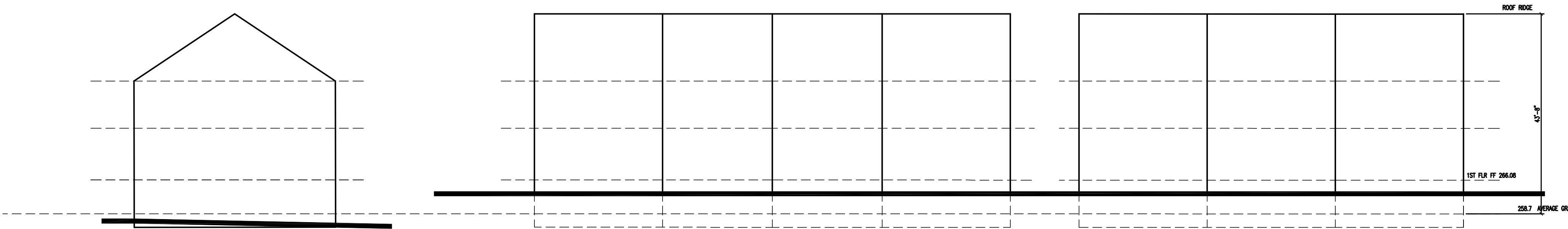
NO.	DESCRIPTION	DATE



BUILDING I SIDE ELEVATION

BUILDING I BACK ELEVATION

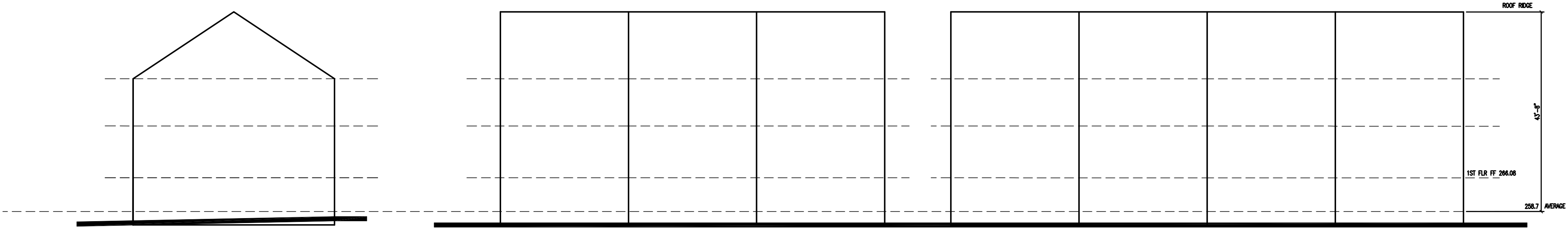
BUILDING I FRONT ELEVATION



BUILDING II SIDE ELEVATION

BUILDING III FRONT ELEVATION

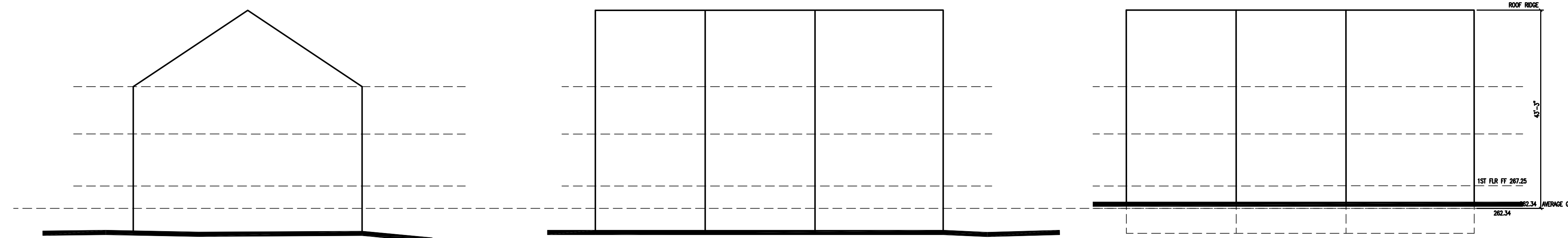
BUILDING II FRONT ELEVATION



BUILDING III SIDE ELEVATION

BUILDING II BACK ELEVATION

BUILDING III BACK ELEVATION



BUILDING IV SIDE ELEVATION

BUILDING IV BACK ELEVATION

BUILDING IV FRONT ELEVATION

OUTLINE BUILDING ELEVATIONS

SCALE: 1/16" = 1'-0"

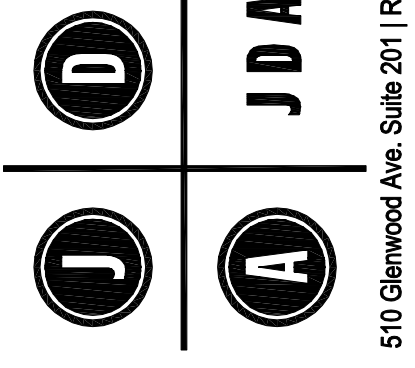
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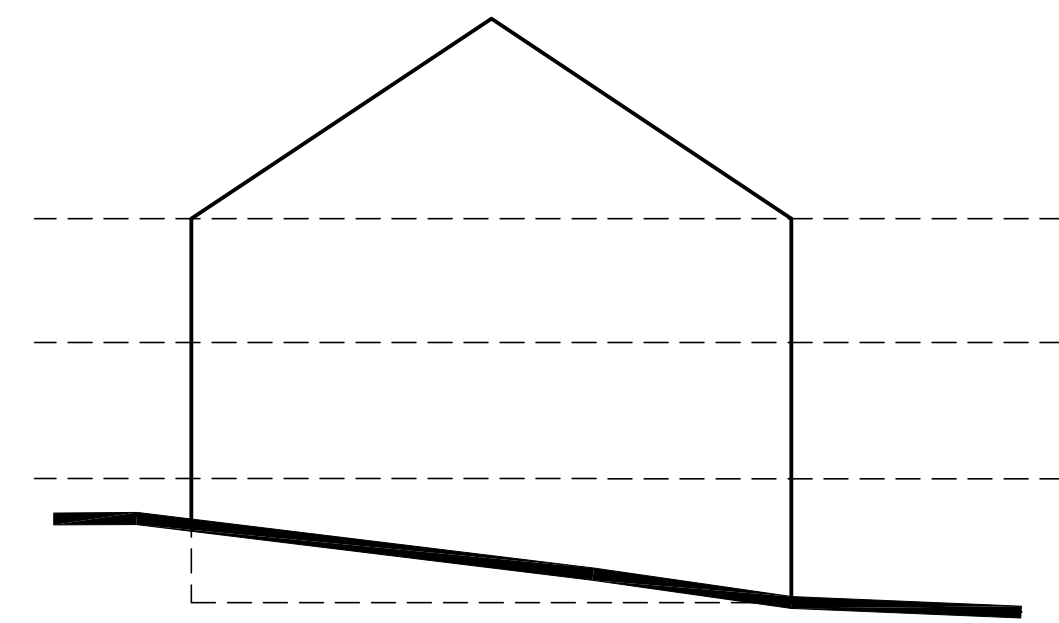
FOR REVIEW ONLY

PROJECT:	07095	DATE	8-30-07
REVISIONS:	12-06-07		
	02-05-08		
DRAWN BY:	YS		
CHECKED BY:			
CONTENT:	BUILDING MASS & FORM		

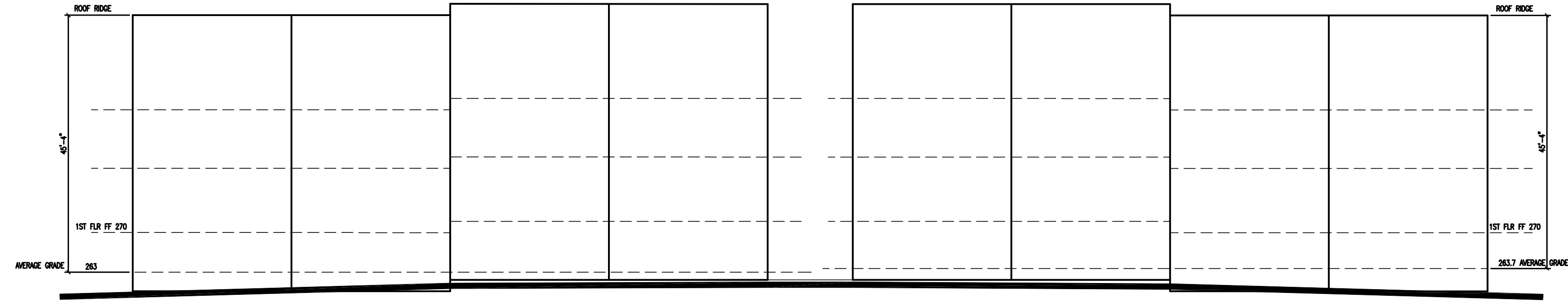
Developer: CAZCO, Inc.  
**Aydan Court Townhomes & Condominiums**  
 N.C. Highway 54 - Chapel Hill, North Carolina



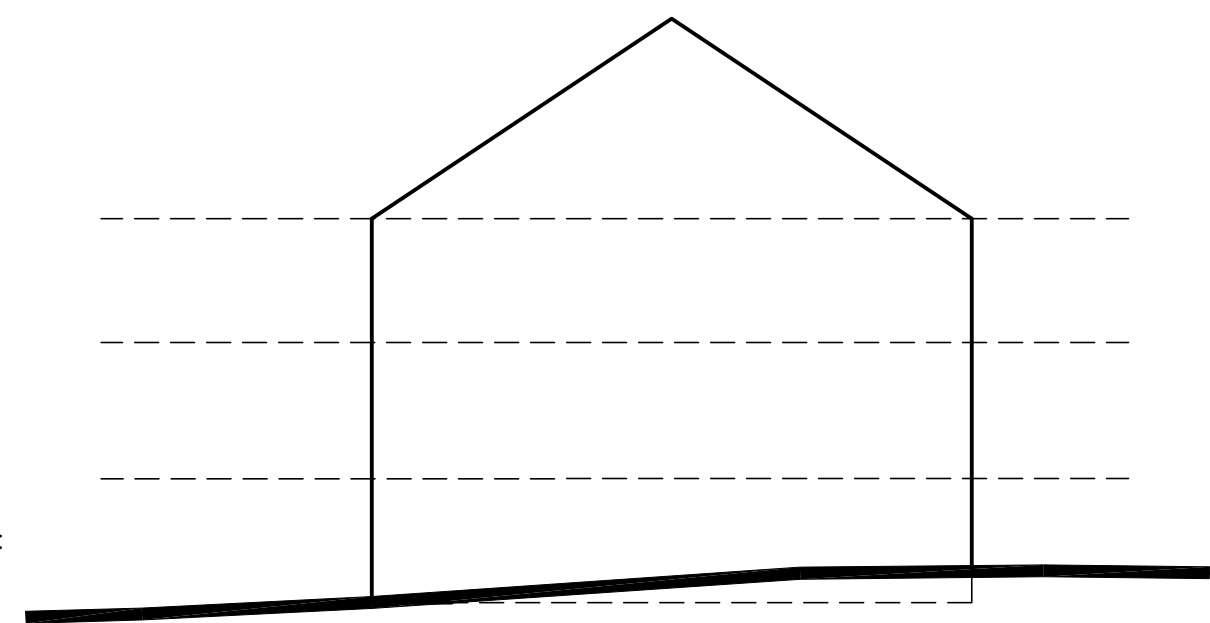
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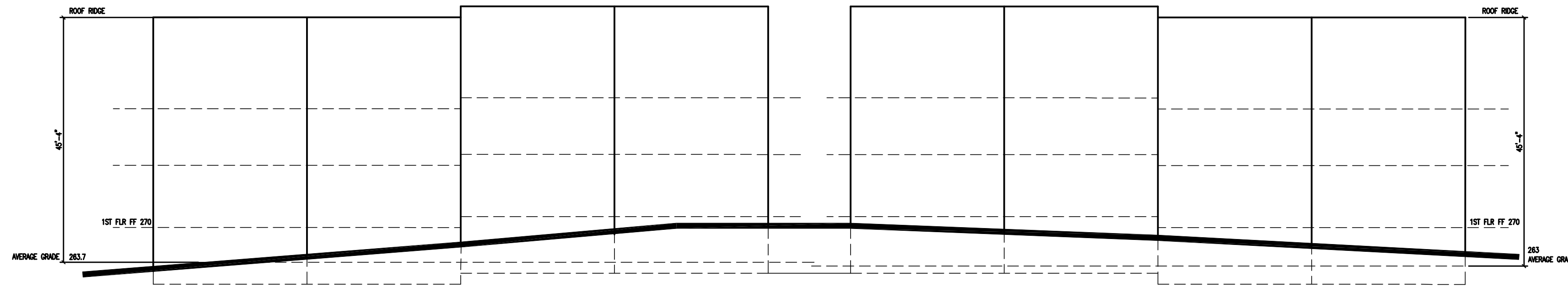
BUILDING VI SIDE ELEVATION



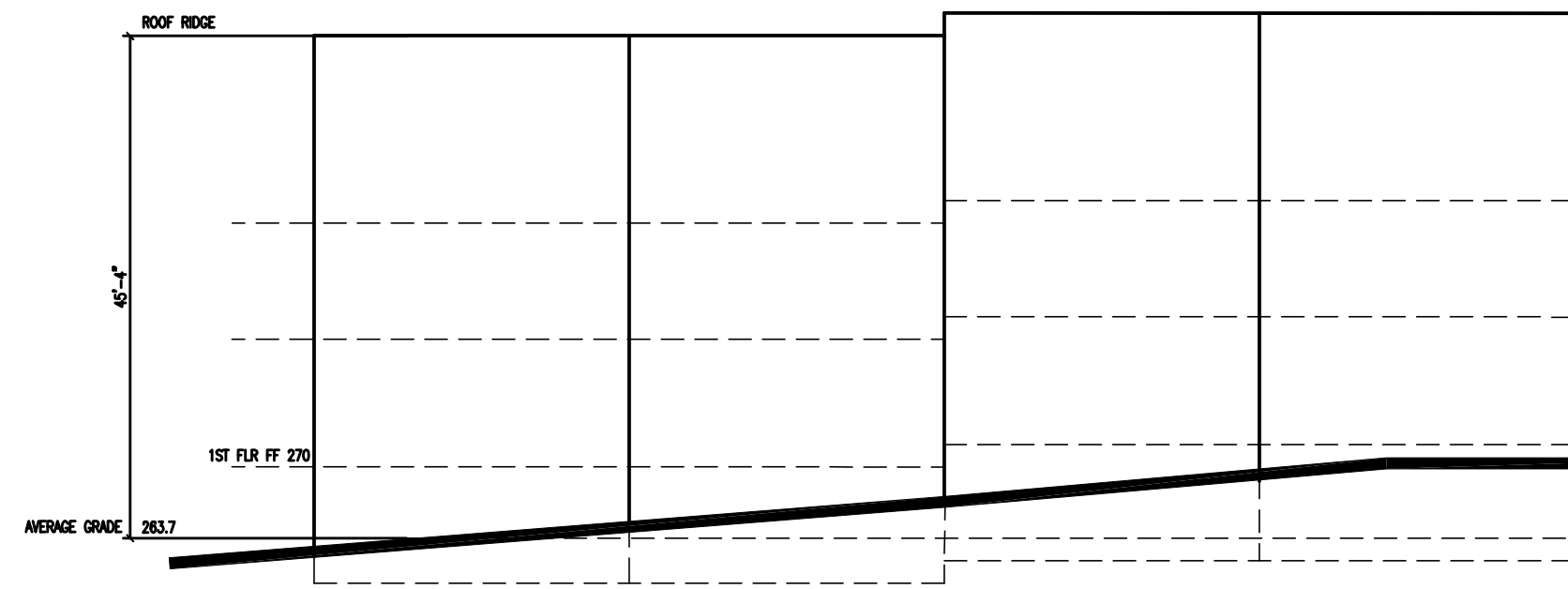
BUILDING VI FRONT ELEVATION



BUILDING V SIDE ELEVATION



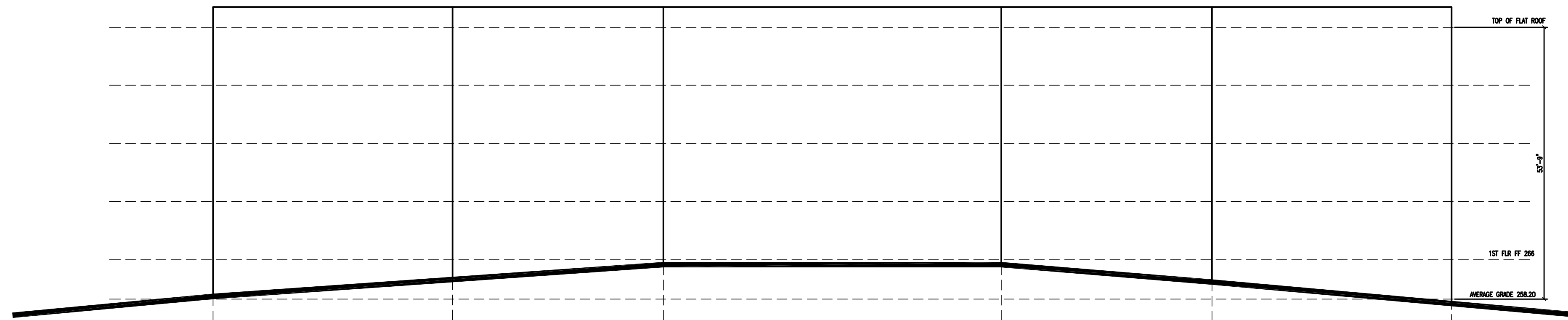
BUILDING V BACK ELEVATION



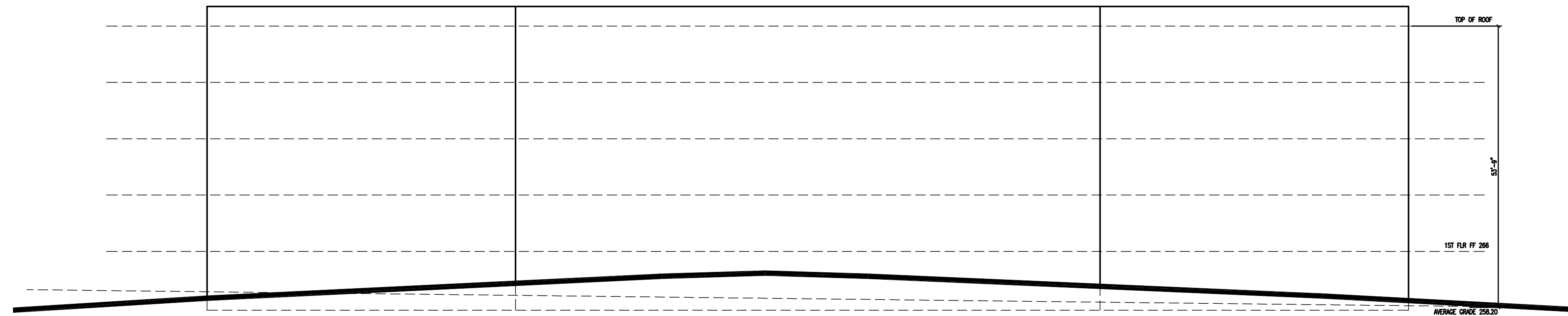
BUILDING VI BACK ELEVATION

OUTLINE CONDOMINIUM BUILDING V & VI ELEVATIONS  
SCALE: 1/16" = 1'-0"

2



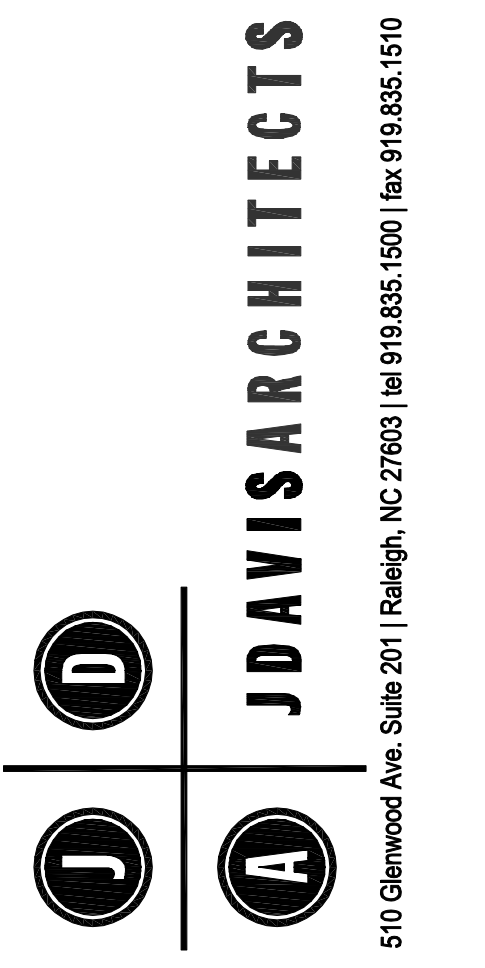
BUILDING VII FRONT ELEVATION



BUILDING VII BACK ELEVATION

OUTLINE CONDOMINIUM BUILDING VII ELEVATIONS  
SCALE: 1/16" = 1'-0"

1



Developer: CAZCO, Inc.  
**Aydan Court Townhomes  
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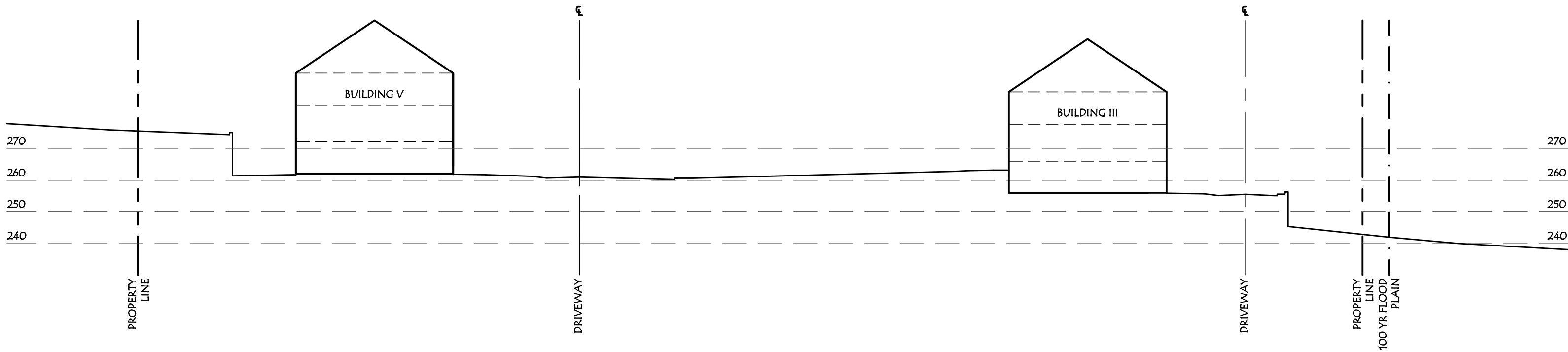
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PROJECT:	07095	DATE	8-30-07
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DRAWN BY:	YS		
CHECKED BY:			
CONTENT:	BUILDING MASS & FORM		

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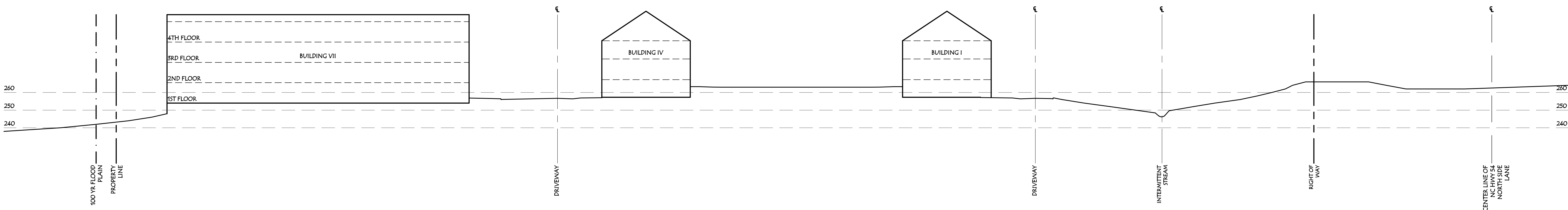
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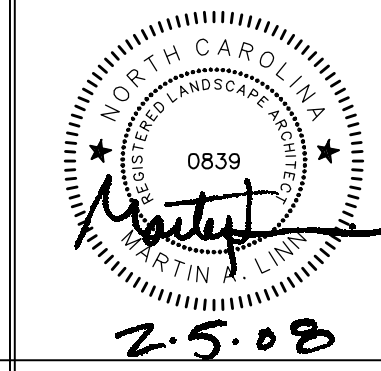
SITE CROSS SECTION - WEST TO EAST  
SCALE: 1" = 30'

2



SITE CROSS SECTION - NORTH TO SOUTH  
SCALE: 1" = 30'

1



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REVISIONS:	12-06-07		
	02-05-08		
DRAWN BY:	CR, SB		
CHECKED BY:	ML		
CONTENT:	SITE CROSS SECTION PLAN		

18

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