

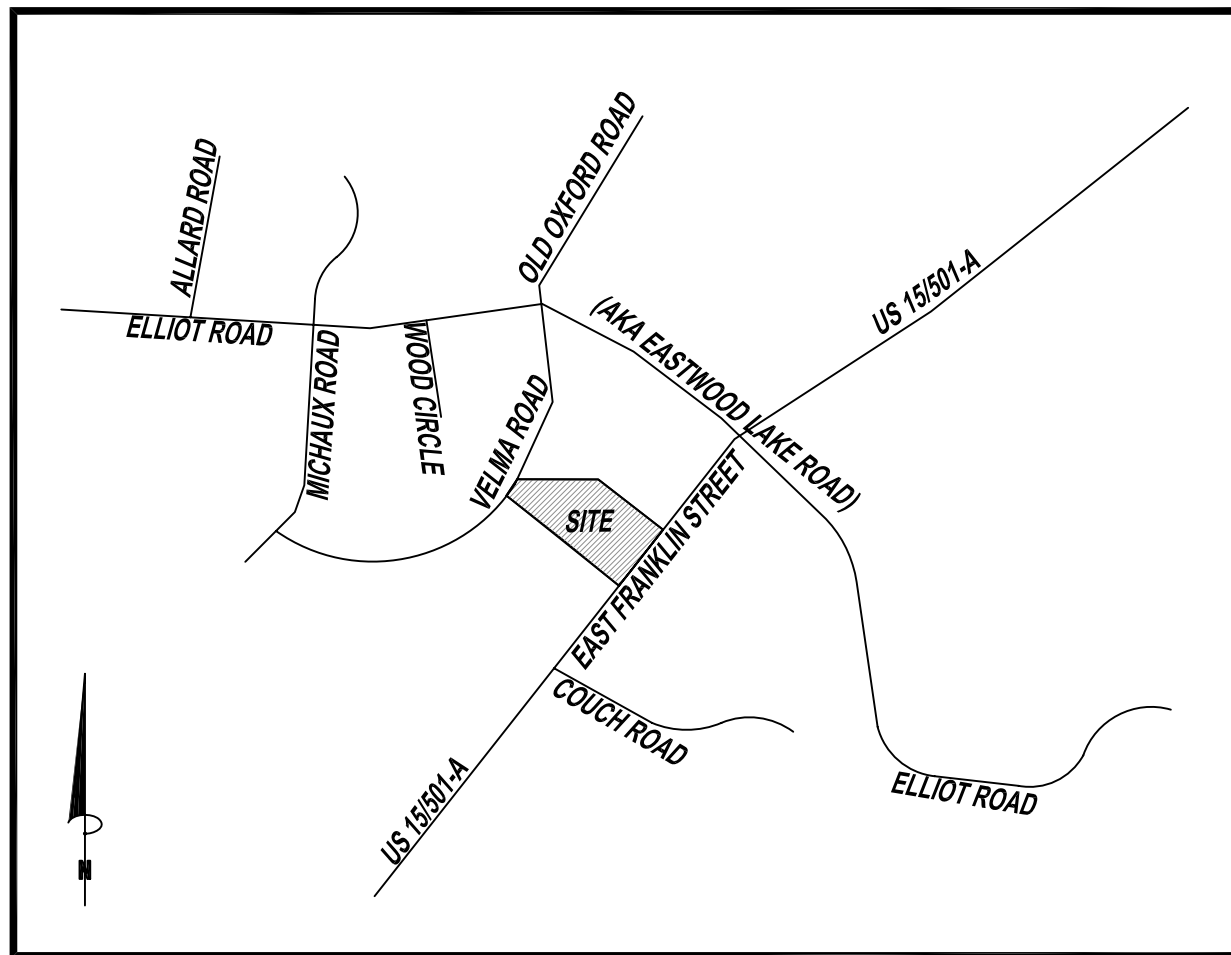
1609 E FRANKLIN STREET

1609 EAST FRANKLIN STREET, CHAPEL HILL NC

SUP SUBMITTAL - ORIGINAL - SEPTEMBER 14, 2007

SUP RESUBMITTAL - OCTOBER 23, 2008

VICINTY MAP - NTS



PROJECT DATA:

TAX MAP #'S: 7.46.A.4 & 7.46.A.5
PIN #: 9799-04-7995 & -6951

EX. ZONING: R-5/R-1
PROPOSED ZONING: NC-C for the majority of the site (requested rezoning) / R-1 for the strip along Velma (no rezoning requested)

EXISTING USE: VACANT RESIDENTIAL
PROPOSED USE: COMMERCIAL - OFFICE TYPE USE B

SITE AREA: 75,247 SF / 1.728 AC
area in R-5/NC-C zone: 73,145 sf
area in R-1 zone: 2,102 sf

EXISTING BUILDING SF: 3,490 SF (VACANT HOUSE TO BE DEMOLISHED)
PROPOSED BUILDING SF: 17,318 SF

BUILDING SETBACKS:

SIDE	REQUIRED	PROPOSED
STREET	24'	62'
INTERIOR	8'	75'
INTERIOR/SOLAR	11'	12'

REQ'D LANDSCAPE BUFFERS
E. FRANKLIN STREET FRONTAGE-30' 'D' BUFFER
VELMA ROAD FRONTAGE-20' 'C' BUFFER
SOUTHWEST PROPERTY LINE-10' 'B' BUFFER
NORTHEAST PROPERTY LINE-10' 'B' BUFFER

MINIMUM REQUIRED PARKING: 1 SPACE PER 350 SF = 50 SPACES.
MAXIMUM REQUIRED PARKING : 1 SPACE PER 250 SF = 69
FULL SIZE: 50
COMPACT: 8 (13%)
HANDICAP: 3 ADA SPACES
TOTAL: 61

BICYCLE PARKING REQUIRED: 1 PER 2500 SF = 7
2 - CLASS I
5 - CLASS II (80%)

LAND USE INTENSITY COMPLIANCE

MAX FLOOR AREA(.264): 21,851 sf PROPOSED: 17,318 sf
MIN. RECREATION SPACE: N/A
MAX BLDG HEIGHT (PRIMARY): 34' PROPOSED: 34'

FEMA FLOODPLAIN INFORMATION.
THERE IS NO MAPPED FLOODPLAIN ON SITE. THE NEAREST MAPPED FLOOD ELEVATION IS 264, LOCATED 1600 FEET NORTHEAST OF THE SITE, ON BOLIN CREEK. INFORMATION HAS BEEN TAKEN FROM FEMA MAP PANEL 37109 79900J, DATED MAY 2, 2006. THE FFE OF THE LOWEST LEVEL OF THE PROPOSED BUILDING IS 314.6.

PROJECT NOTES

Planning Notes:

1. THIS PARCEL IS NOT LOCATED WITHIN THE RESOURCE CONSERVATION DISTRICT AS DEFINED IN THE CHAPEL HILL DEVELOPMENT ORDINANCE / LAND USE MANAGEMENT ORDINANCE.

Approval Notes:

1. THIS PROJECT SITE IS MADE UP OF TWO SEPARATE PARCELS. THE TWO PARCELS WILL BE RECOMBINED, AND THE RECOMBINATION RECORDED AT THE ORANGE COUNTY REGISTER OF DEEDS OFFICE PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT.

Construction Notes:

1. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT IS REQUIRED TO SCHEDULE AND COORDINATE AN ON SITE PRE-CONSTRUCTION MEETING WITH ALL APPLICABLE APPROVING AGENCIES INCLUDING THE SOLID WASTE DEPARTMENT. ALL TREE PROTECTION FENCING SHOULD BE IN PLACE FOR REVIEW.

2. DEVELOPER/CONTRACTOR SHALL NOT STORE VEHICLES, EQUIPMENT, AND/OR CONSTRUCTION RELATED MATERIALS WITHIN THE PUBLIC RIGHT OF WAY OR ON CITY STREETS.

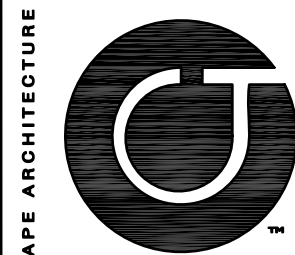
3. DEVELOPER/CONTRACTOR SHALL PROVIDE A DESIGNATED CONSTRUCTION DRIVE ACCESS CONSTRUCTED IN ACCORDANCE WITH ORANGE COUNTY EROSION CONTROL REQUIREMENTS TO MINIMIZE THE TRANSPORTATION OF MUD, SOILS, AND CONSTRUCTION RELATED MATERIALS OFF SITE ONTO PUBLIC ROADWAYS. DEVELOPER/CONTRACTOR SHALL REMOVE PROMPTLY, ANY MUD, SOILS AND/OR CONSTRUCTION RELATED MATERIALS DEPOSITED UPON THE SURFACES OF THE PUBLIC RIGHT-OF-WAY.

4. NO OPEN BURNING SHALL BE PERMITTED DURING THE COURSE OF DEMOLITION AND CONSTRUCTION ON BOTH SITES.

5. ALL PROPOSED UTILITY, TELEPHONE, CATV, ETC. UTILITY LINES WILL BE INSTALLED UNDERGROUND PER THE APPLICABLE LOCAL CODE, STANDARDS, AND SPECIFICATIONS.

LIST OF SHEETS

- SUP-0.0 - COVER SHEET
- SUP-0.1 - AREA MAP
- SUP-1.0 - EXISTING CONDITIONS
- SUP-1.1 - SITE ANALYSIS
- SUP-2.0 - SITE LAYOUT PLAN
- SUP-3.0 - GRADING & LANDSCAPE PROTECTION PLAN
- SUP-5.0 - UTILITY PLAN
- SUP-7.0 - LANDSCAPE PLAN



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Project:

**1609
EAST
FRANKLIN
STREET**

CHAPEL HILL, NORTH CAROLINA

OWNER/DEVELOPER:
HPW PROPERTIES LLC
1001 WADE AVENUE
RALEIGH, NC 27605

ATTN: CARY JOSHI
ph: 919-789-5203
fx: 919-645-9543

PIN#: 9799-04-7995
9799-04-6951

TMR: 7.46.A.5
7.46.A.4



PLANS PREPARED FOR
SPECIAL USE PERMIT
APPLICATION-SPECIAL USE

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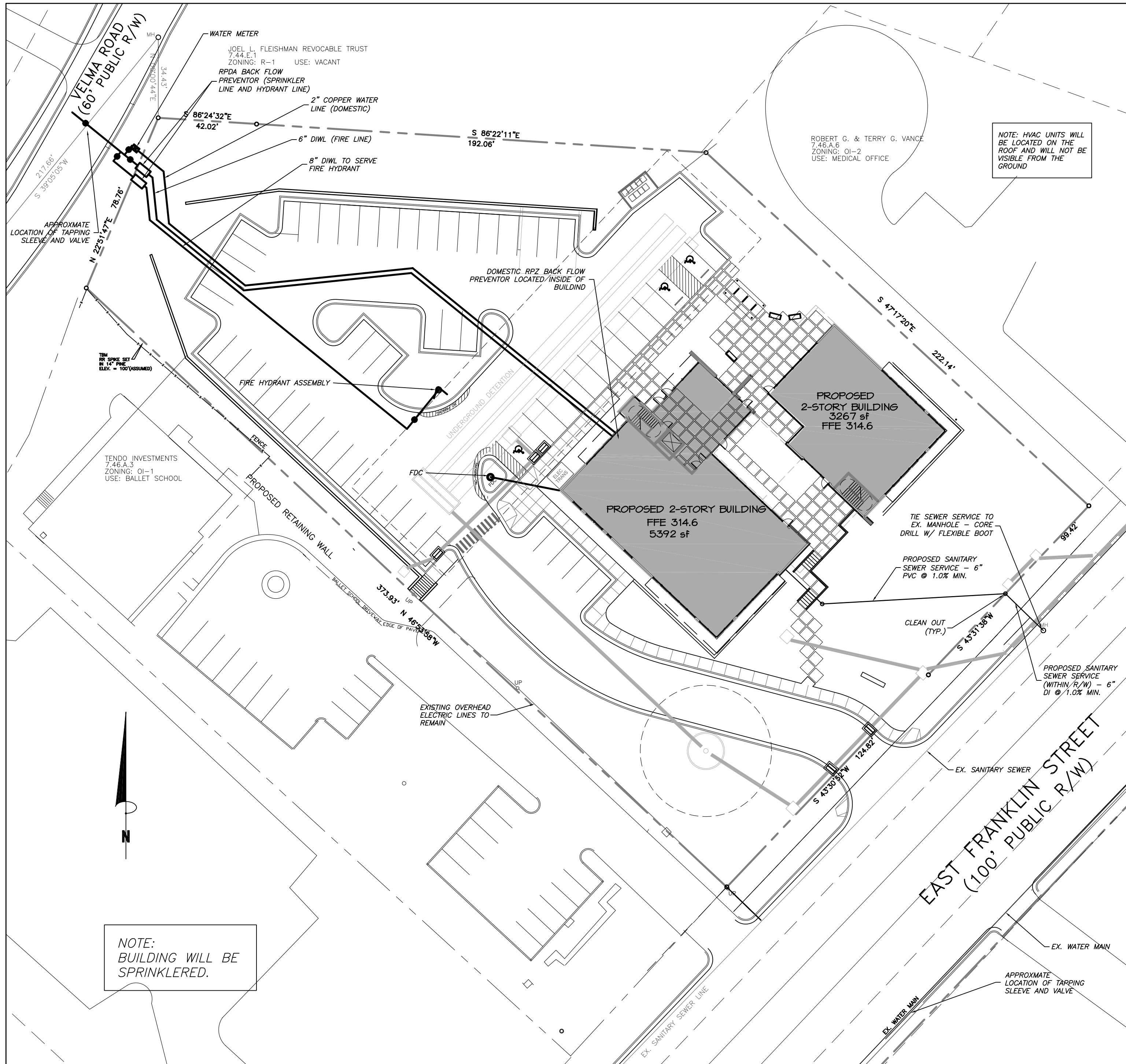
SUP SUBMITTAL

Sheet Title:

COVER

Sheet Number
SUP-0.0

CHAPEL HILL FILE
NO. 9799-04-6951



- NOTE: HVAC UNITS WILL BE LOCATED ON THE ROOF AND WILL NOT BE VISIBLE FROM THE GROUND**
1. ALL NEW UTILITIES WILL BE UNDERGROUND AND IN ACCORDANCE WITH THE LATEST OWASA STANDARDS AND SPECIFICATIONS FOR THE TOWN OF CHAPEL HILL.
 2. ALL PUBLIC UTILITIES AND FACILITIES SUCH AS SEWER, GAS, ELECTRICAL AND WATER SYSTEMS WILL BE LOCATED AND CONSTRUCTED WITH MATERIALS AND EQUIPMENT RESISTANT TO FLOOD DAMAGE, IN ORDER TO MINIMIZE OR ELIMINATE THE POTENTIAL FOR FLOOD DAMAGE.
 3. ALL NECESSARY PERMITS WILL BE RECEIVED FROM THOSE AGENCIES FROM WHICH APPROVAL IS REQUIRED BY FEDERAL OR STATE LAW.
 4. SEE ARCHITECTURAL DRAWINGS FOR EXTERIOR BUILDING LIGHTING.
 5. ALL UTILITIES WILL BE IN ACCORDANCE WITH OWASA CURRENT STANDARDS AND SPECIFICATIONS.
 6. ALL UTILITIES (TELEPHONE, GAS, WATERLINE, ELECTRIC, SEWER) WILL BE FIELD LOCATED, DETERMINING DEPTH AND LOCATION PRIOR TO MOBILIZATION AND THE RESULTS WILL BE GIVEN TO THE ENGINEER OF RECORD.
 7. ALL WATERLINES WILL BE A MINIMUM OF 42" DEEP FROM FINISHED GROUND AS MEASURED FROM FINISHED GROUND TO THE TOP OF THE PIPE.
 8. SANITARY SEWER LATERALS WILL ALL BE 6" AND LAID AT A SLOPE GREATER THAN OR EQUAL TO 1.0%. CLEANOUTS LOCATED IN THE DRIVE AISLES WILL BE TRAFFIC BEARING.
 9. ALL VALVE BOXES WILL BE TRAFFIC BEARING.
 10. THE CONTRACTOR WILL SUBMIT FIVE (5) SETS OF SHOP DRAWINGS TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO BEGINNING ANY WORK.
 11. COORDINATE EXISTING UTILITY RELOCATION AND POSSIBLE REMOVAL WITH THE APPLICABLE UTILITY OWNER.
 12. ROOF LEADERS WILL DISCHARGE DIRECTLY TO PROPOSED JUNCTION BOXES AND/OR THE UNDERGROUND DETENTION STRUCTURE.
 13. ALL PROVISION OF POWER, TELEPHONE AND GAS SERVICES WILL BE UNDERGROUND. ACCESS AND SERVICE ROUTES WILL BE COORDINATED WITH THE UTILITY PROVIDERS BY THE CONTRACTOR.
 14. UTILITY/STORM LOCATION, BOUNDARY AND TOPOGRAPHICAL SURVEY PROVIDED BY GURLITZ ARCHITECTURAL GROUP.
 15. ALL THE BUILDINGS WILL HAVE SPRINKLER SYSTEMS INSTALLED IN ACCORDANCE WITH TOWN CODE, PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY
 16. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, FIRE PROTECTION DEVICES MUST BE INSTALLED, TESTED, APPROVED AND PERMITTED BY THE FIRE MARSHALL WHERE REQUIRED BY THE NC FIRE PREVENTION CODE, TOWN OF CHAPEL HILL CODE AND APPLICABLE NFPA CODES.

**2/SUP-5.0
UTILITY NOTES
NTS**

- Orange Water And Sewer Authority
Utility Notes for 1609 East Franklin Street**
- Standards and Specifications - All construction shall be in accordance with OWASA Standards and Specifications dated August, 2003, latest revised version.
 - Sewer Use Ordinance - Discharge from this project must be in compliance with the OWASA Sewer Use Ordinance. A grease interceptor shall be provided when in the opinion of OWASA it is necessary for the proper handling of wastewater containing excessive amounts of grease. All interception units must be of the type and capacity which is certified by the Project Engineer as meeting the requirements of OWASA.
 - Sewer Services - Each building connected to the sewer system shall be served by a separate building sewer of not less than 4" in diameter. Sewer services located within public right-of-ways or OWASA sewer easements must be constructed of ductile iron pipe from the tap up to and including the first clean-out. Except for dead end manholes, all 4" inch sewer services must be tapped into the sewer main. All 6" services must be connected to a manhole.
 - OWASA Easements - No grading or encroachments are allowed within OWASA water or sewer easements. Proposed easements must have vehicular access for OWASA maintenance vehicles with slopes no greater than 4 to 1. Proposed plantings within OWASA easements must come from the OWASA Suggested Plantings for Water and Sewer Easements adopted by the Board of Directors. A landscape plan must be submitted to OWASA clearly showing the water and/or sewer line, its placement within the easement, proposed plantings from the approved list clearly labeled as such, and the distance from the water/sewer line. OWASA will only approve landscaping plans for its easements submitted in this manner. An approval letter will be given for landscaping plans that propose plantings that do not interfere with OWASA ability to operate and maintain its utilities in accordance with the rules and regulations of the State of North Carolina. **Plan approval does not automatically give any approval to any landscaping plan that may be included in the plan set.**
 - Dechlorination Requirements - The Contractor shall be responsible for neutralization of chlorinated water at the point of discharge from the main being tested. This shall occur following chlorination to disinfect a main or any other time when elevated levels of chlorine could potentially be discharged into the environment by the Contractor. At the time the disinfection and purity testing procedures are discussed with the OWASA Construction Inspector, the procedure for dechlorination will be covered. Absolutely no flushing, disinfection, or purity sampling is to take place without prior approval of a sampling plan by the OWASA Inspector.
 - Cross-Connection Control Ordinance - Backflow Prevention will be required in accordance with OWASA Cross-Connection Control Ordinance and Manual.

Date issued 4-25-08

**3/SUP-5.0
STANDARD OWASA NOTES
NTS**

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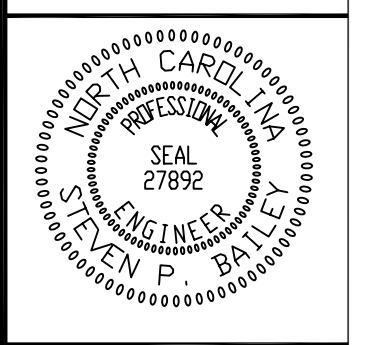
CHAPEL HILL, NORTH CAROLINA

OWNER/DEVELOPER:
HPW PROPERTIES LLC
1001 WADE AVENUE
RALEIGH, NC 27605

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fx: 919-645-9543

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9799-04-6951

TMR: 7.46.A.5
7.46.A.4



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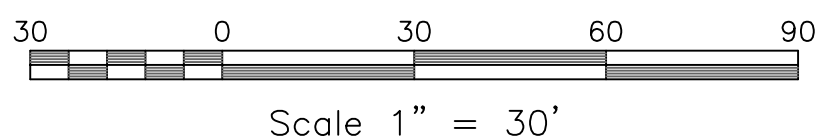
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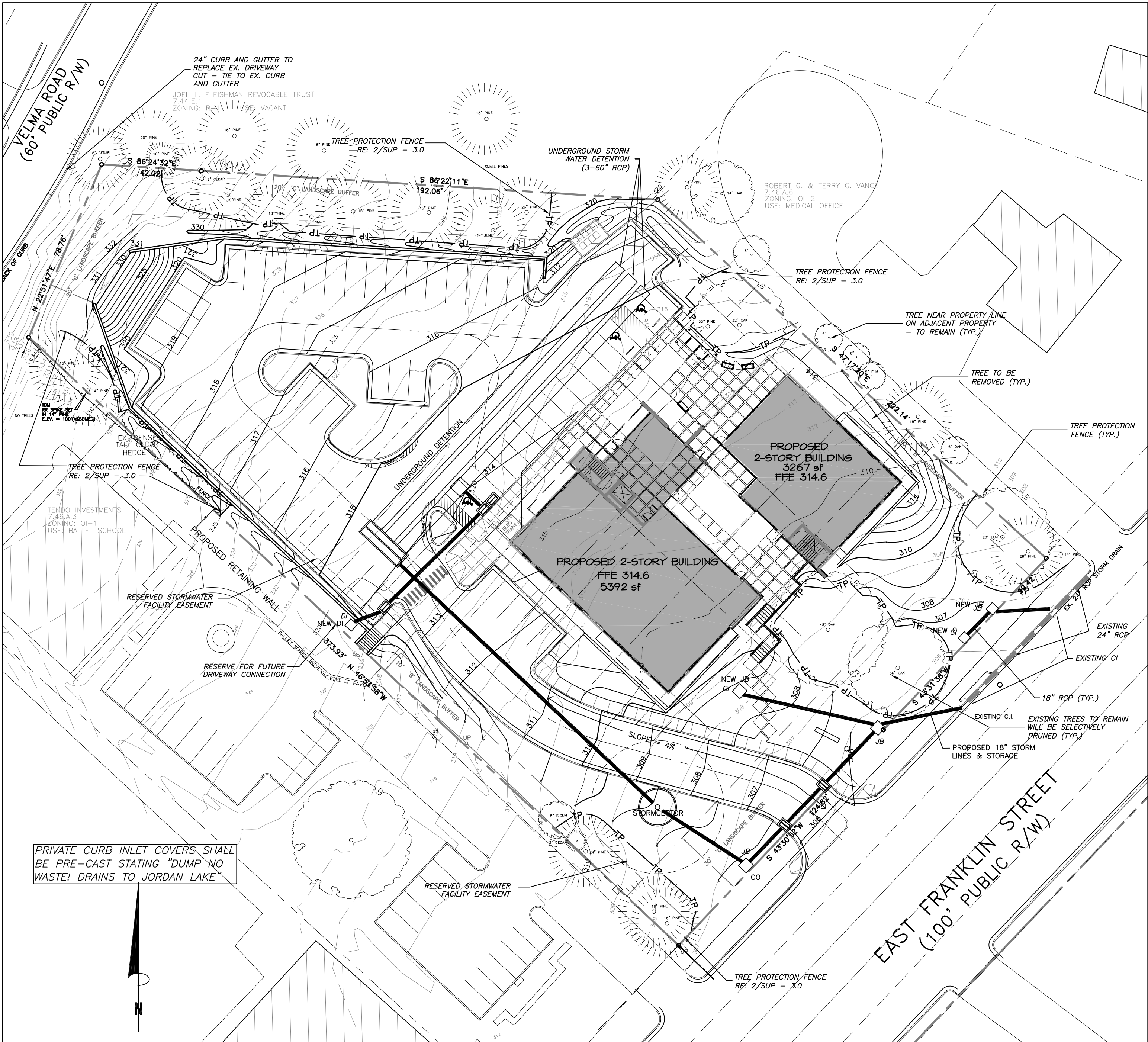
**UTILITY
PLAN**

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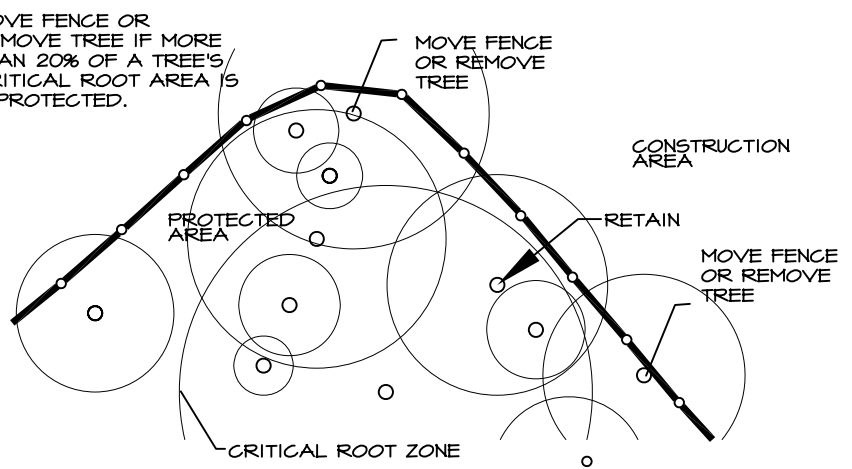
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**1/SUP-5.0
UTILITY PLAN
T-30-0**

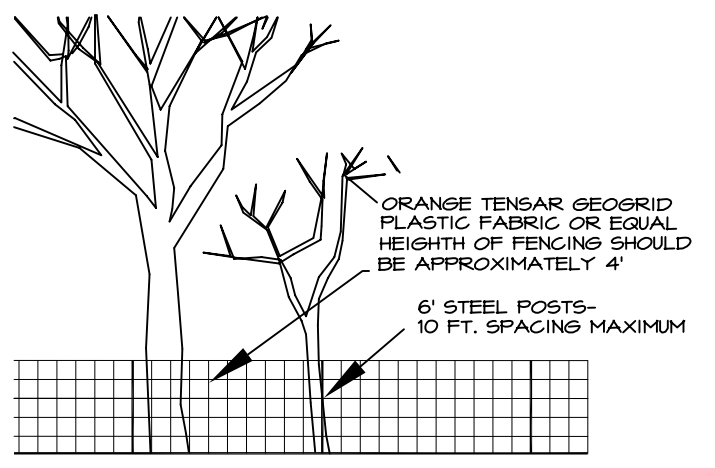




- NOTES:
1. ROOT PRUNE TREES TO REMAIN WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
 2. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 3. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 4. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.



- SEQUENCE:
1. OBTAIN APPROPRIATE PERMITS.
 2. HOLD A PRECONSTRUCTION CONFERENCE WITH THE LANDSCAPE PROTECTION SUPERVISOR, ARCHITECT OR LANDSCAPE ARCHITECT AND URBAN FORESTER.
 3. ERECT TREE PROTECTION FENCING.
 4. CLEAR AND GRUB TREES AND SHRUBS TO BE REMOVED.
 5. INSTALL SOIL AND EROSION CONTROL MEASURES.
 6. ROUGH GRADE SITE.
 7. EXCAVATE FOR FOOTINGS, INSTALL UTILITIES AND CONSTRUCT BUILDING(S).
 8. FINISH FINAL GRADING AND PAVING.
 9. REMOVE TREE PROTECTION FENCING.
 10. INSTALL LANDSCAPING.



**2/SUP-3.0
TREE PROTECTION FENCING
NTS**



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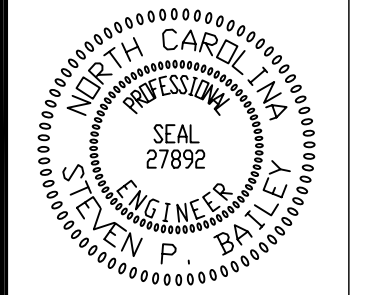
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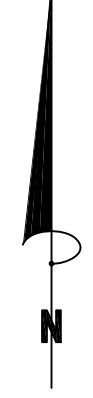
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Sheet Title:

GRADING AND
LANDSCAPE
PROTECTION PLAN
Sheet Number
SUP-3.0

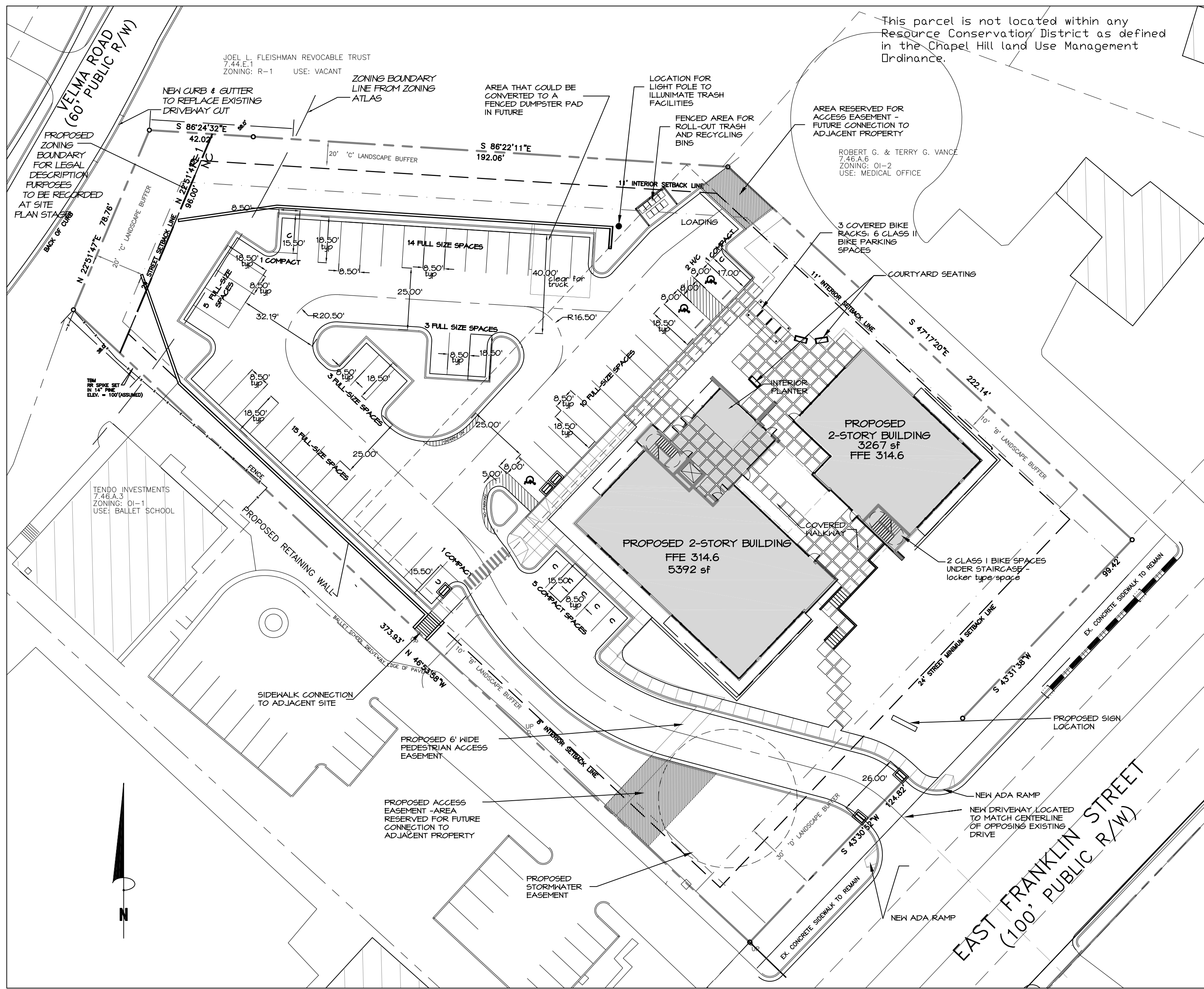
CHAPEL HILL FILE
NO. 9799-04-6951

PRIVATE CURB INLET COVERS SHALL
BE PRE-CAST STATING "DUMP NO
WASTE! DRAINS TO JORDAN LAKE"



Scale 1" = 30'

**1/SUP-3.0
GRADING AND LANDSCAPE PROTECTION PLAN
SCALE: 1" = 20'**



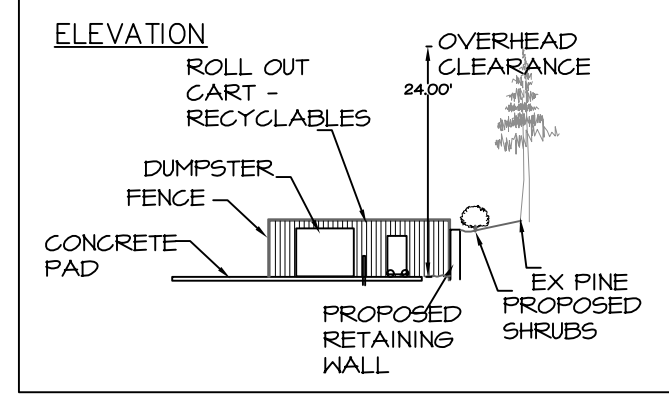
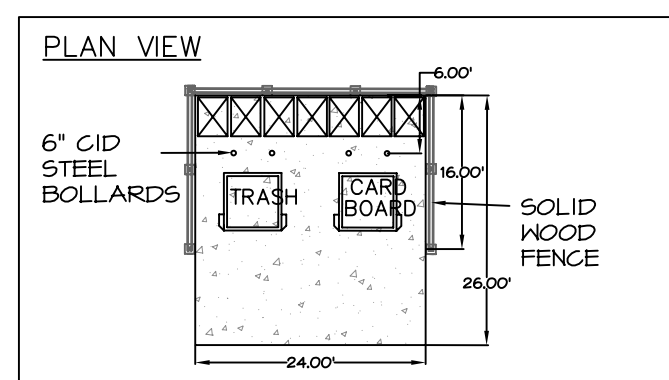
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- NOTES:**
1. PARKING LOT IS TO BE CONSTRUCTED TO TOWN OF CHAPEL HILL STANDARDS.
 2. ALL DRIVE AISLES TO BE PAVED WITH HEAVY DUTY ASPHALT PAVEMENT TO SUPPORT GARBAGE AND DELIVERY VEHICLES.
 3. AS-BUILTS TO BE PROVIDED FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS, AND ALL OTHER EXISTING OR PROPOSED IMPERVIOUS SURFACES.
 4. PRIOR TO ANY CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD A PRE-DEMOLITION AND PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF.
 5. IF ANY VEHICLES ARE PARKING IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINERS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
 6. ORANGE COUNTY SOLID WASTE DEPARTMENT WILL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.

- NOTES (TO BE PLACED ON FINAL PLANS):**
1. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
 2. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
 3. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD A PRE-DEMOLITION/CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING WITH OTHER DEPARTMENT OFFICIALS.

- SOLID WASTE NOTES**
1. ANY GATE DESIGN WILL INCLUDE GATE RETAINERS.
 2. THE USER WILL BE RESPONSIBLE FOR OPENING GATES TO THE DUMPSTER AREA ON COLLECTION DAYS OF ANY MATERIAL(S) TO BE COLLECTED FROM THIS LOCATION.
 3. IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINERS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
 4. COLLECTION VEHICLE ACCESS ROUTE TO ANY AREA CONTAINING RECYCLABLE MATERIAL COLLECTION CONTAINERS IS TO BE PAVED WITH ALL-WEATHER, HEAVY-DUTY PAVEMENT.

2/SUP-20 GENERAL NOTES
NT8



3/SUP-20 DUMPSTER PAD DETAIL
SCALE: 1" = 20'

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ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE

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REGISTERED LANDSCAPE ARCHITECT
1302
WENDI L. RAMSDEN

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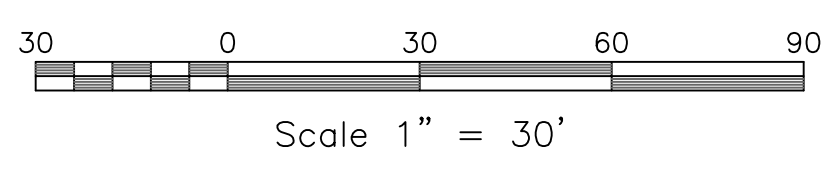
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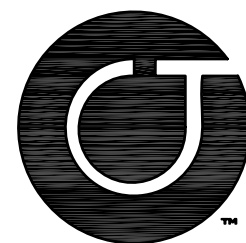
SITE LAYOUT

Sheet Number
SUP-2.0

CHAPEL HILL FILE NO. 9799-04-6951

1/SUP-20 SITE PLAN
T-30'-0"





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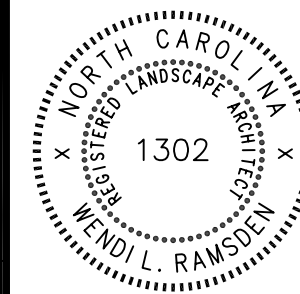
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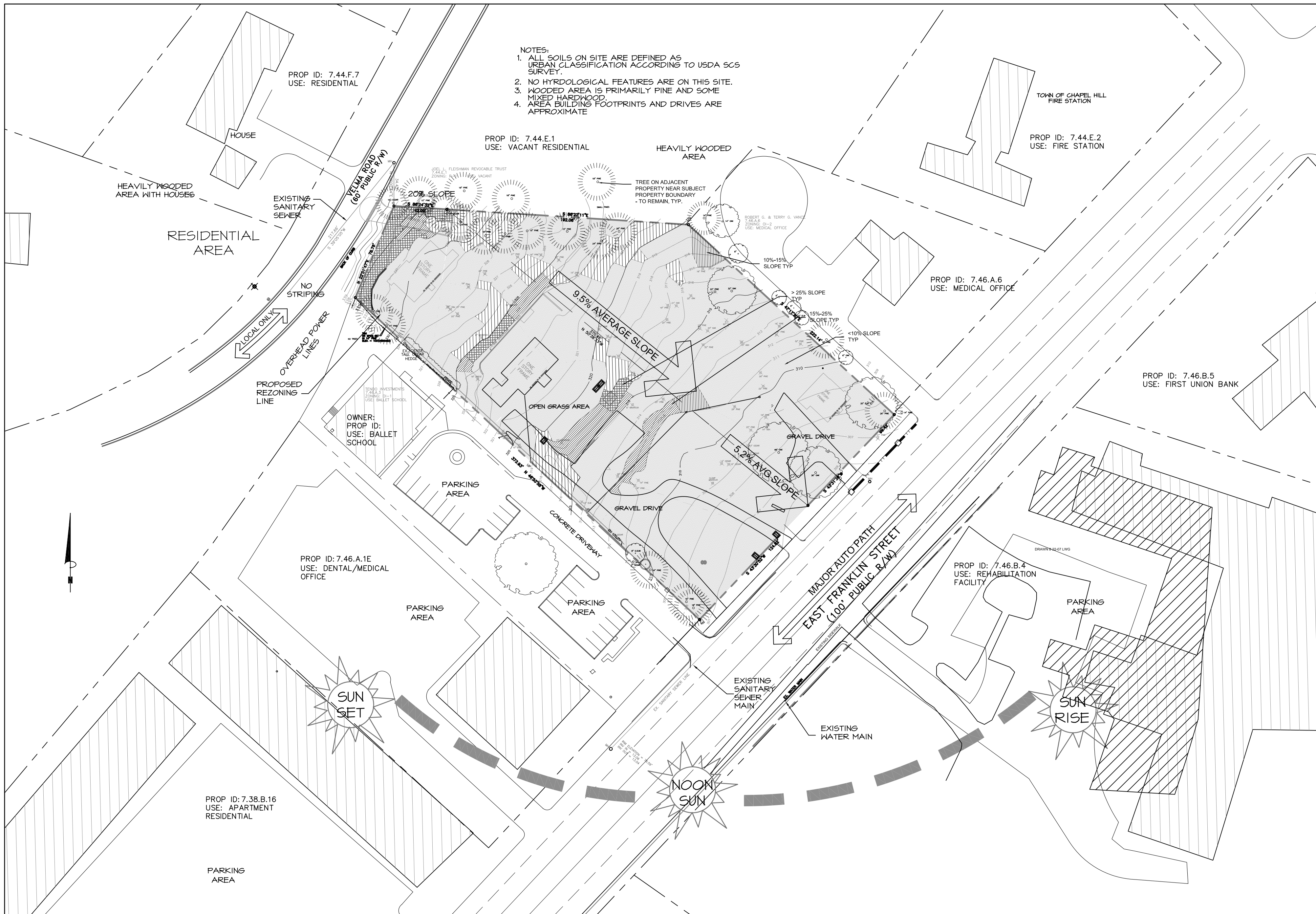
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**SITE
ANALYSIS**

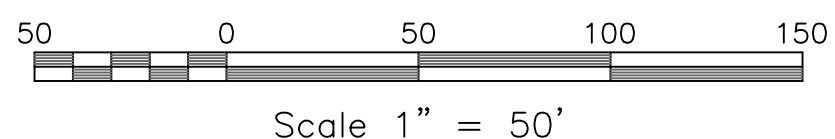
Sheet Number
SUP-1.1

CHAPEL HILL FILE
NO. 9799-04-6951

- NOTES:
1. ALL SOILS ON SITE ARE DEFINED AS URBAN CLASSIFICATION ACCORDING TO USDA SCS SURVEY.
 2. NO HYDROLOGICAL FEATURES ARE ON THIS SITE.
 3. WOODED AREA IS PRIMARILY PINE AND SOME MIXED HARDWOOD.
 4. AREA BUILDING FOOTPRINTS AND DRIVES ARE APPROXIMATE

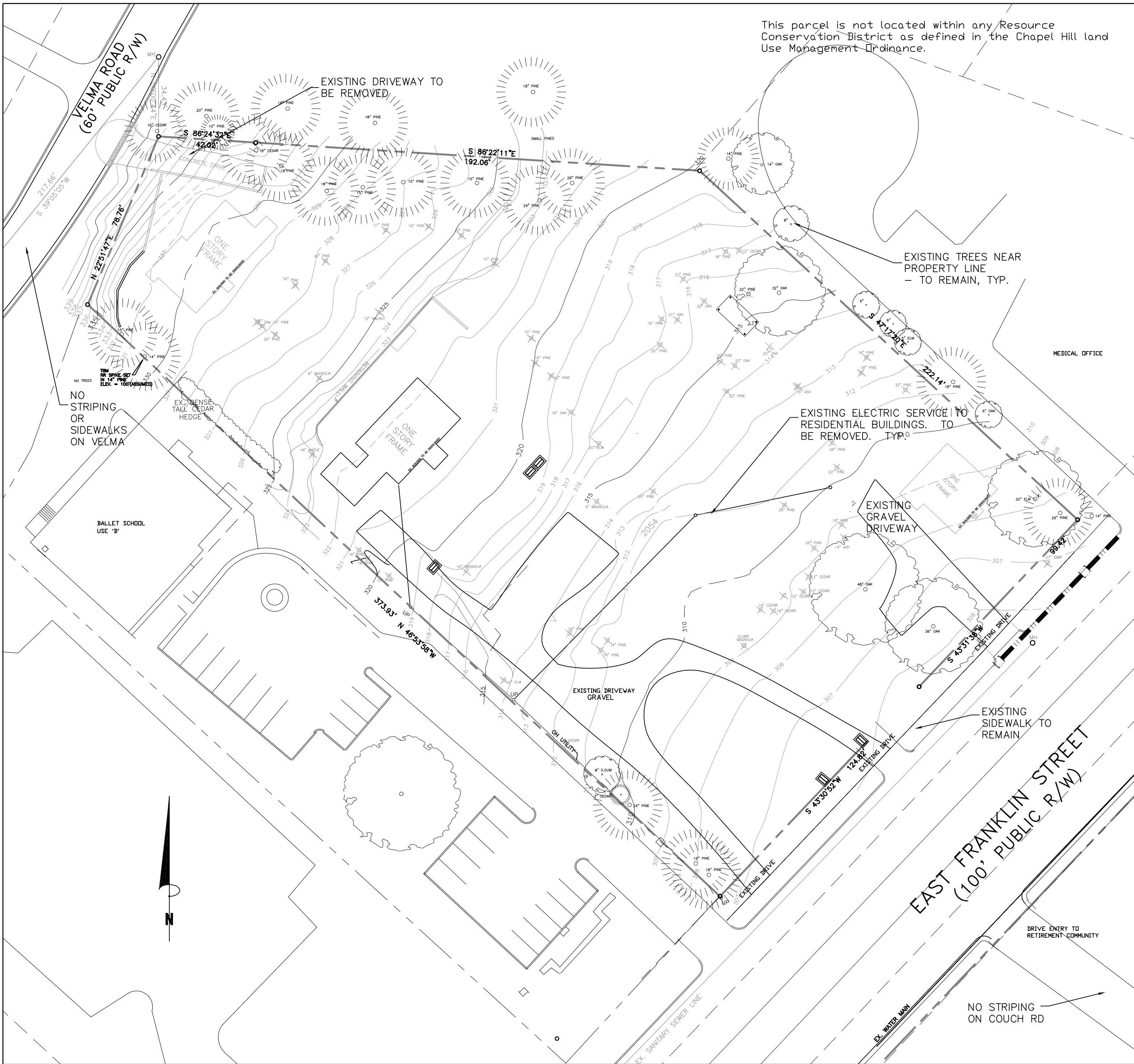


SLOPE LEGEND



	SLOPE <10%		15% - 25% SLOPE
	10% - 15% SLOPE		> 25% SLOPE

1/SUP 1.1
SITE ANALYSIS
1"=50'-0"



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- NOTES:**
1. PARKING LOT IS TO BE CONSTRUCTED TO TOWN OF CHAPEL HILL STANDARDS.
 2. ALL DRIVE AISLES TO BE PAVED WITH HEAVY DUTY ASPHALT PAVEMENT (1/SUP-8.0)
 3. AS-BUILTS TO BE PROVIDED FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS, AND ALL OTHER EXISTING OR PROPOSED IMPERVIOUS SURFACES.
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1. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
 2. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
 3. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD A PRE-DEMOLITION/CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING WITH OTHER DEPARTMENT OFFICIALS.

2/SD-2
GENERAL NOTES
NTS



**Coulter
Jewell
Thames** P.A.

111 West Main Street
Durham, N.C. 27701
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Project:

**1609
EAST
FRANKLIN
STREET**

CHAPEL HILL, NORTH CAROLINA

OWNER/DEVELOPER:
HPW PROPERTIES LLC
1001 WADE AVENUE
RALEIGH, NC 27605

ATTN: CARY JOSHI
ph: 919-789-5203
fx: 919-645-9543

PIN#: 9799-04-7995
9799-04-6951

TMR#: 7.46.A.5
7.46.A.4



PLANS PREPARED FOR
SPECIAL USE PERMIT
APPLICATION-SPECIAL USE

PLANS NOT RELEASED
FOR CONSTRUCTION

Job Number: 0739

Drawn	PBR, WLR
Checked	WLR, SPB
Date	9-13-07
Revisions	09-03-08 Planning Rev
	10-23-08 Planning Rev

SUP SUBMITTAL

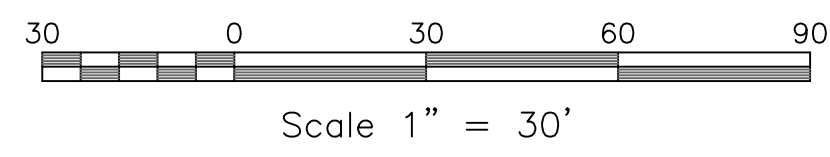
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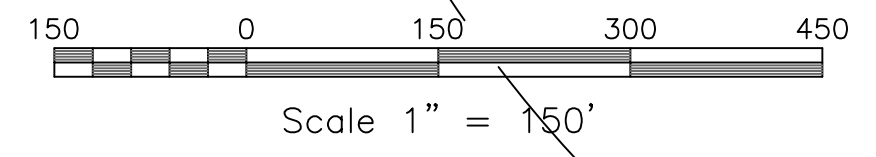
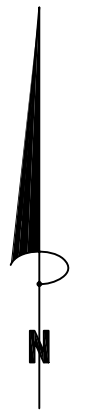
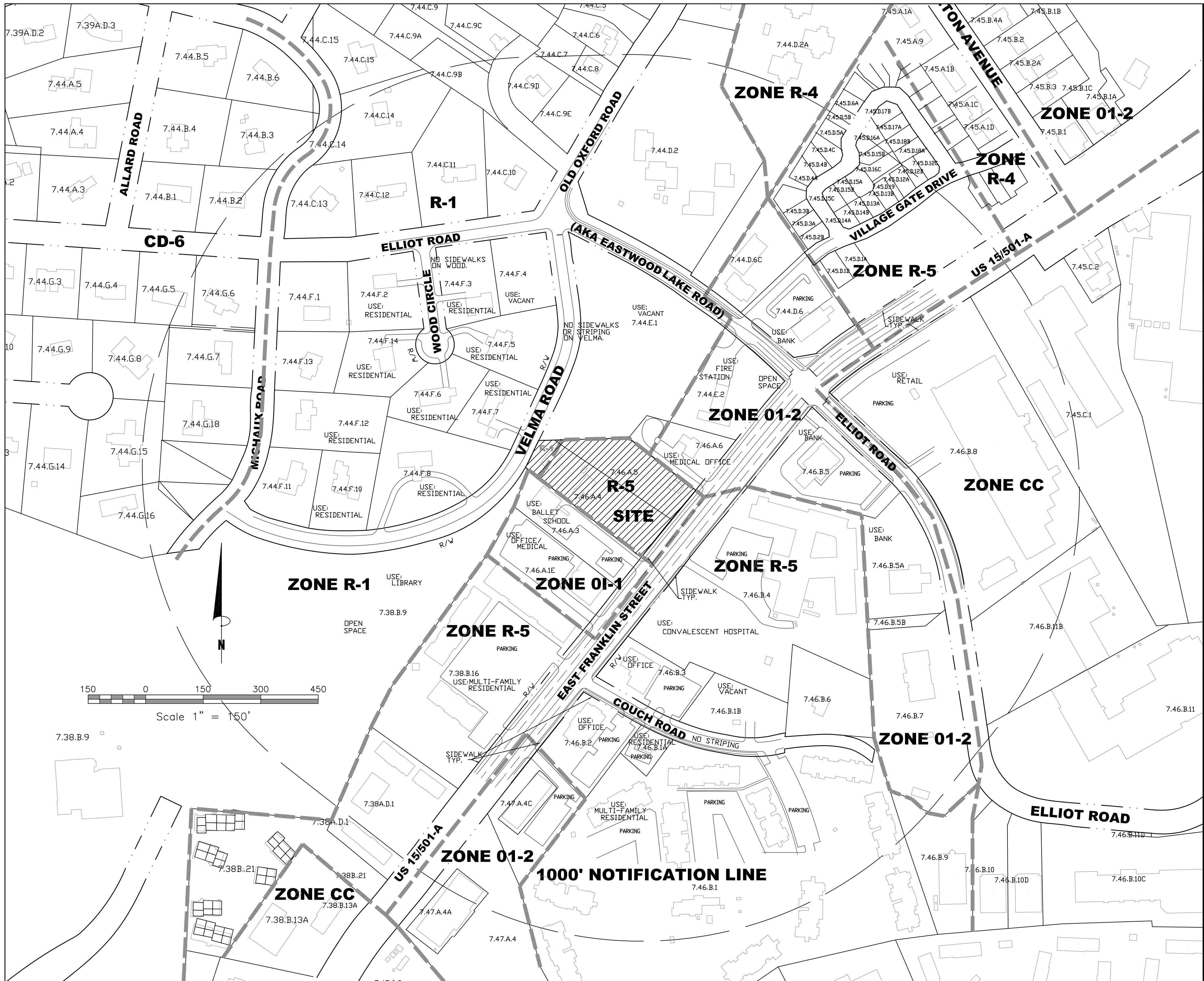
**EXISTING
CONDITIONS**

Sheet Number
SUP-1.0

CHAPEL HILL FILE
NO. 9799-04-6951

1/SUP-1.0
EXISTING CONDITIONS
1" = 20'





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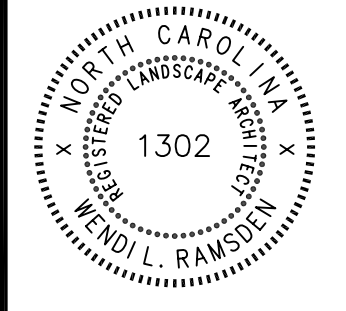
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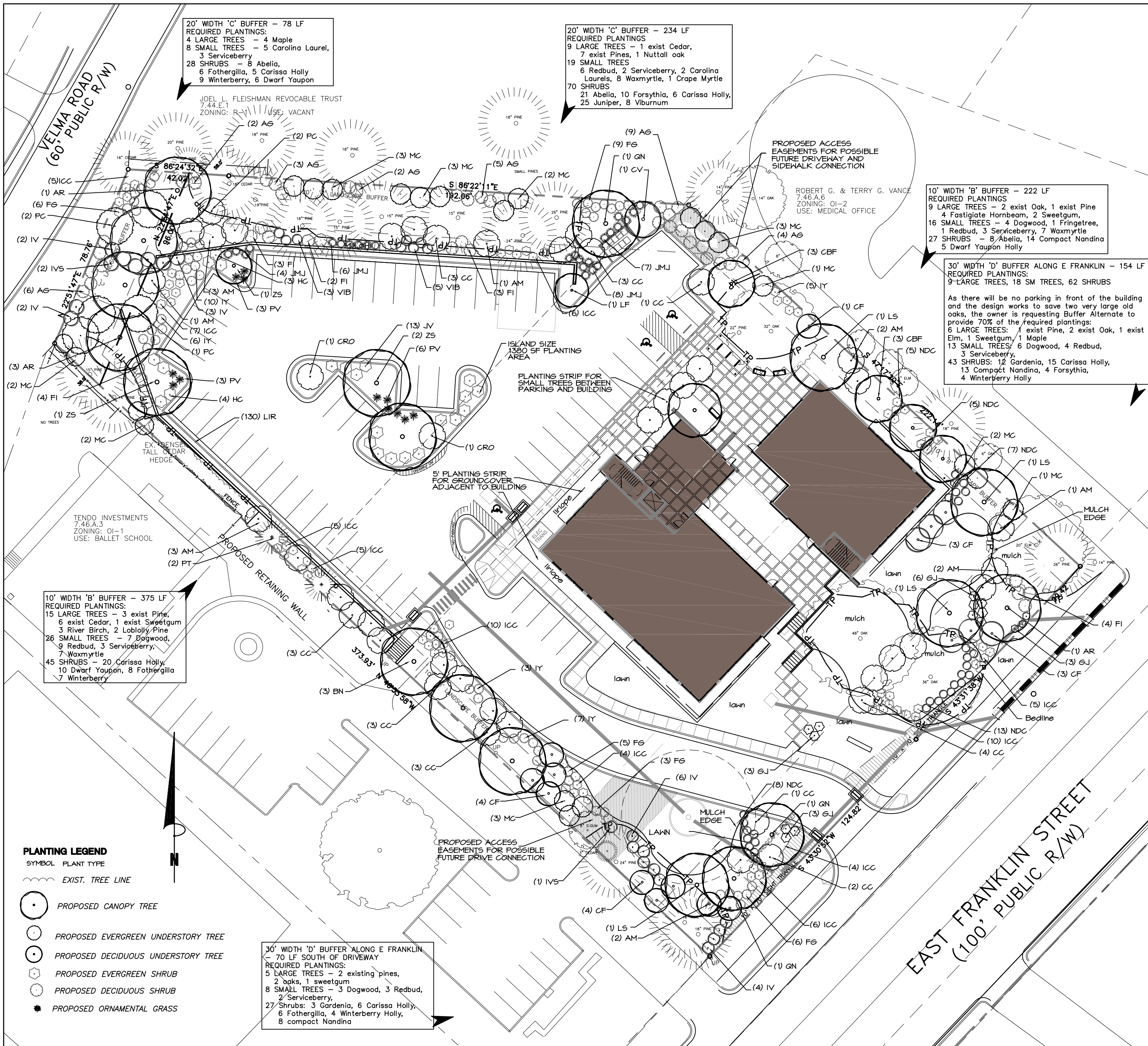
SUP SUBMITTAL

Sheet Title:

**AREA
MAP**

Sheet Number
SUP-0.1

CHAPEL HILL FILE
NO. 9799-04-6951



20' WIDTH 'C' BUFFER - 78 LF
 REQUIRED PLANTINGS:
 4 LARGE TREES - 4 Maple
 8 SMALL TREES - 5 Carolina Laurel,
 3 Serviceberry
 28 SHRUBS - 8 Abelia,
 6 Fothergilla, 5 Carissa Holly,
 9 Winterberry, 6 Dwarf Yaupon

20' WIDTH 'C' BUFFER - 234 LF
 REQUIRED PLANTINGS:
 9 LARGE TREES - 1 exist Cedar,
 7 exist Pines, 1 Nuttall oak,
 19 SMALL TREES
 6 Redbud, 2 Serviceberry, 2 Carolina
 Laurels, 8 Waxmyrtle, 1 Grape Myrtle
 70 SHRUBS
 21 Abelia, 10 Forsythia, 6 Carissa Holly,
 25 Juniper, 8 Viburnum

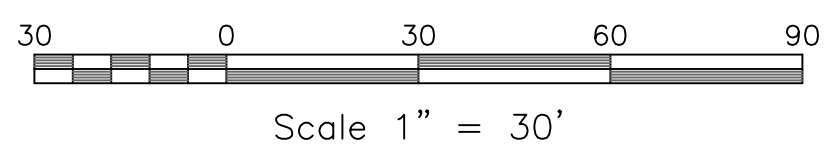
10' WIDTH 'B' BUFFER - 222 LF
 REQUIRED PLANTINGS:
 9 LARGE TREES - 2 exist Oak, 1 exist Pine
 4 Fastigiate Hornbeam, 2 Sweetgum,
 14 SMALL TREES - 4 Dogwood, 1 Fringetree,
 1 Redbud, 3 Serviceberry, 7 Waxmyrtle
 27 SHRUBS - 8 Abelia, 14 Compact Nandina
 5 Dwarf Yaupon Holly

30' WIDTH 'D' BUFFER ALONG E FRANKLIN - 154 LF
 REQUIRED PLANTINGS:
 9 LARGE TREES, 18 SM TREES, 62 SHRUBS
 As there will be no parking in front of the building
 and the design works to save two very large old
 oaks, the owner is requesting Buffer Alternate to
 provide 70% of the required plantings:
 6 LARGE TREES: 1 exist Pine, 2 exist Oak, 1 exist
 Elm, 1 Sweetgum, 1 Maple
 13 SMALL TREES: 6 Dogwood, 4 Redbud,
 3 Serviceberry,
 43 SHRUBS: 12 Gardenia, 15 Carissa Holly,
 13 Compact Nandina, 4 Forsythia,
 4 Wintersberry Holly

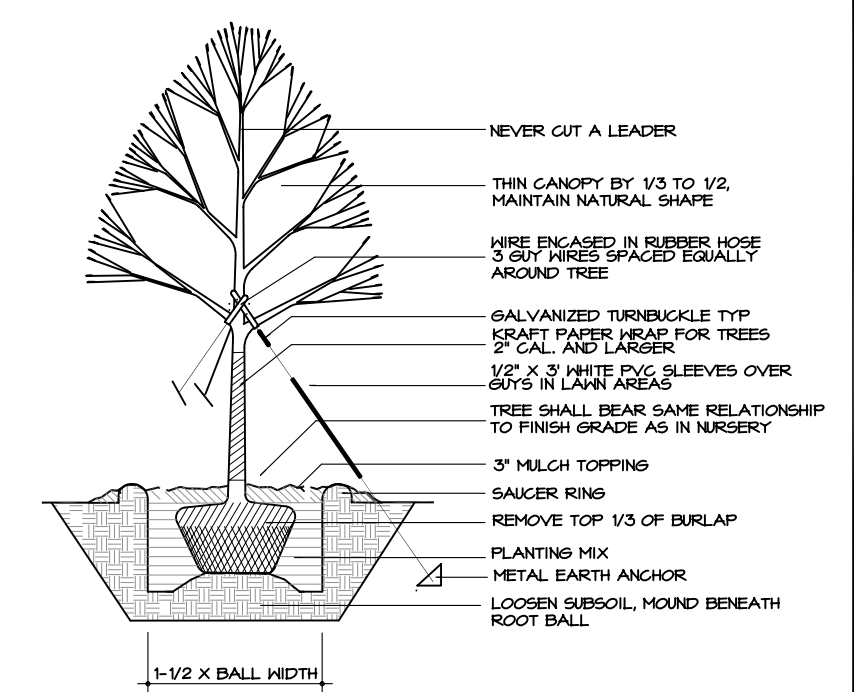
10' WIDTH 'B' BUFFER - 375 LF
 REQUIRED PLANTINGS:
 15 LARGE TREES - 3 exist Pine,
 6 exist Cedar, 1 exist Sweetgum
 3 River Birch, 2 Loblolly Pine
 26 SMALL TREES - 7 Dogwood,
 9 Redbud, 3 Serviceberry,
 7 Waxmyrtle
 45 SHRUBS - 20 Carissa Holly,
 10 Dwarf Yaupon, 8 Fothergilla
 7 Wintersberry

30' WIDTH 'D' BUFFER ALONG E FRANKLIN
 - 70 LF SOUTH OF DRIVEWAY
 REQUIRED PLANTINGS:
 5 LARGE TREES - 2 existing pines,
 2 oaks, 1 sweetgum
 8 SMALL TREES - 3 Dogwood, 3 Redbud,
 2 Serviceberry
 27 Shrubs: 3 Gardenia, 6 Carissa Holly,
 6 Fothergilla, 4 Wintersberry Holly,
 8 compact Nandina

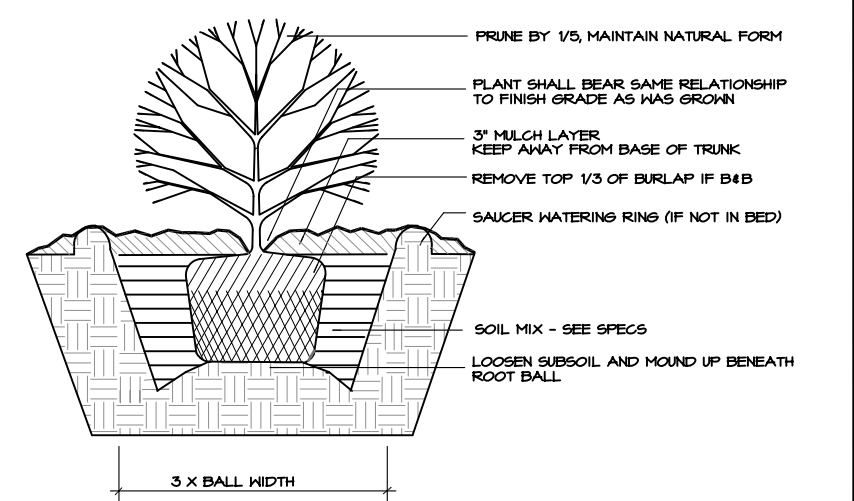
- PLANTING LEGEND**
 SYMBOL PLANT TYPE
- EXIST. TREE LINE
 - PROPOSED CANOPY TREE
 - PROPOSED EVERGREEN UNDERSTORY TREE
 - PROPOSED DECIDUOUS UNDERSTORY TREE
 - PROPOSED EVERGREEN SHRUB
 - PROPOSED DECIDUOUS SHRUB
 - PROPOSED ORNAMENTAL GRASS



1/SUP-70
 PLANTING PLAN
 F - 30'-0"



1/SUP-70
 TREE PLANTING DETAIL
 INTS



2/SUP-70
 SHRUB PLANTING DETAIL
 INTS

PARKING LOT TREES WILL INCLUDE A SELECTION FROM:
 ZELKOVA SERRATA 'Village Green' - 'Village Green' Zelkova
 INSTALLATION SIZE WILL BE MIN. 2 1/2" CALIBER
 CERCIS RENIFORMIS 'Oklahoma' - Texas White Redbud
 INSTALLATION SIZE 6' HT

PARKING LOT SHRUBS WILL INCLUDE A SELECTION FROM:
 JUNIPERUS VIRGINIANA 'Grey Owl' - Grey Owl Juniper
 HYPERICUM CALYGINUM - St. John's Wort
 PANICUM VIRGATUM 'Shenandoah' - 'Shenandoah' Switchgrass

INSTALLATION SIZE WILL BE MIN 18" HT FOR LARGER SHRUBS, AND 12"-15" HT FOR SPREADING/LOW GROWING SHRUBS

BUFFER PLANTINGS WILL INCLUDE A SELECTION FROM:
 CANOPY TREES:
 ACER RUBRUM 'AUTUMN BLAZE' - Autumn Blaze Red Maple
 PINUS TAEDA - Loblolly Pine
 LIQUIDAMBER STYRACIFLUA 'Rotundiloba' - Fruitless Sweet Gum
 QUERCUS NUTTALLII - Nuttall Oak

UNDERSTORY TREES:
 AMELANCHIER SPP 'AUTUMN BRILLIANCE' - Autumn Brilliance Serviceberry
 CORNUS FLORIDA - Dogwood
 CERCIS CANADENSIS - Eastern Redbud
 CHIONANTHUS VIRGINICUS - Fringetree
 LAGERSTROEMIA FAUREI - Crape Myrtle
 PRUNUS CAROLINIANA 'Bright'n'Tight' - 'Bright'n'Tight' Cherry Laurel
 MYRICA CERIFERA - Southern Wax Myrtle

INSTALLATION SIZE WILL BE MIN 6' HEIGHT

SHRUBS:
 ABELIA X GRANDIFLORA - Glossy Abelia
 FORSYTHIA X INTERMEDIA 'Spring Glory' - Spring Glory Forsythia
 GARDENIA JASMINOIDES 'Klein's Hardy' - Klein's Hardy Gardenia
 FOTHERGILLA 'Mt Airy' - Mt Airy Fothergilla
 ILEX GRENATA 'CARISSA' - Carissa Holly
 ILEX VERTICILLATA - Deciduous Holly
 ILEX VOMITORIA 'Nana' - Dwarf Yaupon Holly
 NANDINA DOMESTICA 'COMPACTA' - Compact Nandina

INSTALLATION SIZE WILL BE MIN 18" HT FOR LARGER SHRUBS, AND 12"-15" HT FOR SPREADING/LOW GROWING SHRUBS

COURTYARD PLANTINGS WILL INCLUDE A SELECTION FROM:
 CORNUS FLORIDA - Dogwood
 HALESIA CROLINIANA - Carolina Silverbell
 LAGERSTROEMIA FAUREI - Crape Myrtle
 STYRAX JAPONICA - Styrax
 VITEX AGNUS CASTUS - Chaste Tree
 GARDENIA AUGUSTA 'Radicans' - Trailing Gardenia
 ROSA X 'RADCON' - Pink Knockout Rose

INSTALLATION SIZE WILL BE MIN 2 1/2" CALIBER FOR TREES AND MIN 18" HT FOR LARGER SHRUBS

4/SUP-70
 PLANT SELECTION
 INTS



Coulter
 Jewell
 Thames

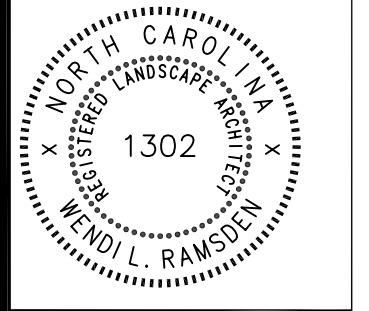
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Sheet Title:

**LANDSCAPE
 PLAN**

Sheet Number
SUP-7.0

CHAPEL HILL FILE
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