

PHILIP
POST
ASSOCIATES

401 Providence Road
Chapel Hill, NC 27514
919-973-7711
919-973-7711

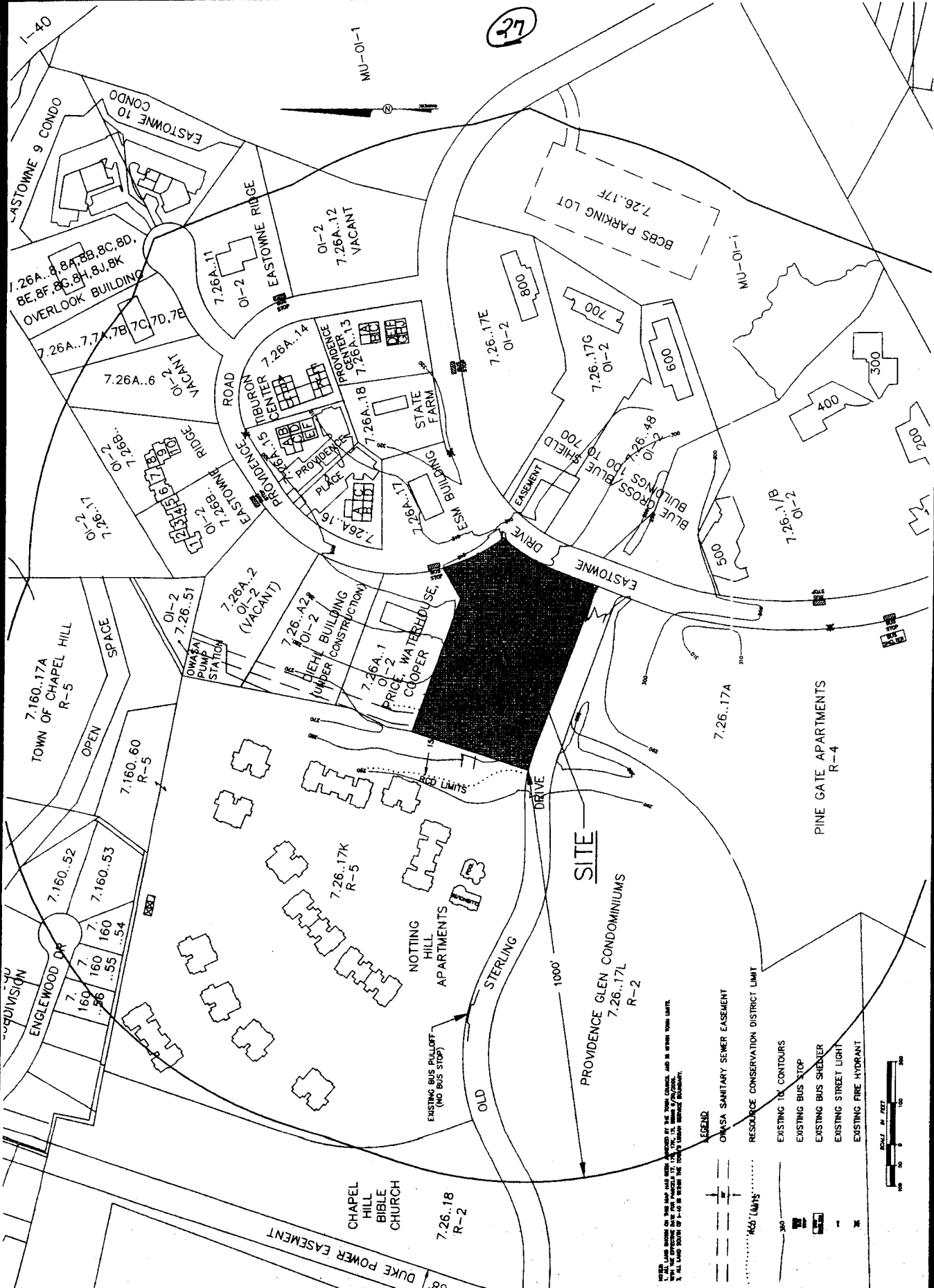


501 EASTOWNE
NOTIFICATION / AREA MAP

TOWN OF CHAPEL HILL
ORDINANCE NO. 17-2000
APPROVED BY THE TOWN BOARD
ON 11/17/00
DRAWN BY: J. B. BARNETT
CHECKED BY: J. B. BARNETT

REVISIONS

NO.	DATE	DESCRIPTION
1	11/17/00	ISSUED FOR PERMITS



LEGEND

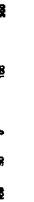
- OWASA SANITARY SEWER EASEMENT
- RESOURCE CONSERVATION DISTRICT LIMIT
- 600' LIMITS
- EXISTING TR. CONTOURS
- EXISTING BUS STOP
- EXISTING BUS SHELTER
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT

SCALE IN FEET

0 50 100 200

THIS MAP SHOWS THE PROPOSED SITES AND AREAS TO BE DEVELOPED BY THE TOWN OF CHAPEL HILL IN ACCORDANCE WITH THE TOWN ZONING ORDINANCE. THE TOWN ENGINEER HAS REVIEWED THIS MAP AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE TOWN ZONING ORDINANCE. ALL LAND SHOWN IS UNLESS OTHERWISE NOTED TO BE OWNED BY ANOTHER PARTY.

SCALE IN FEET



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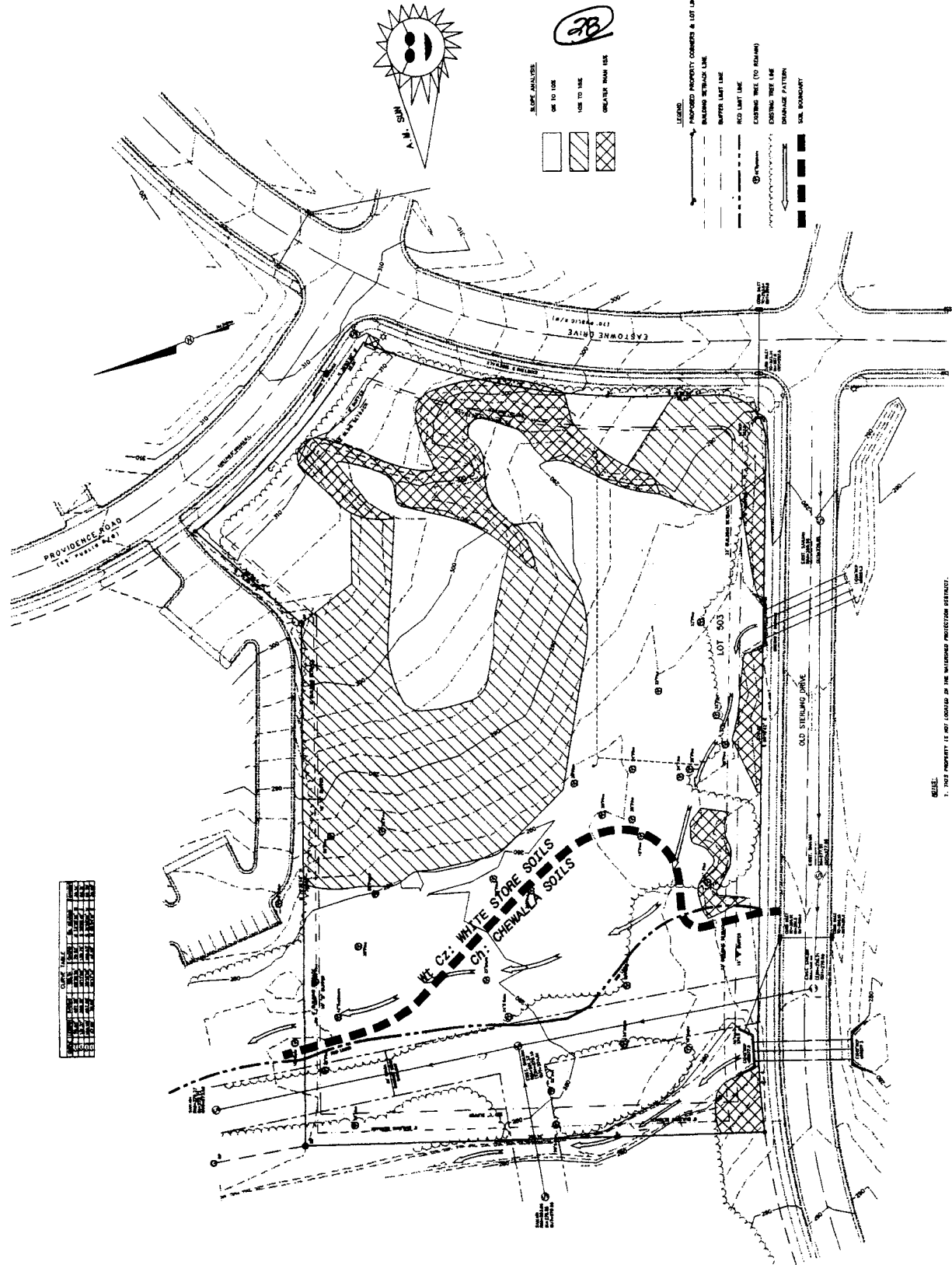


SITE ANALYSIS MAP
EASTWANE OFFICE PARK
501 EASTWANE DRIVE
ORANGE COUNTY, N.C.

SCALE 1"=200'
DRAWN BY J. H. HOPKINS
CHECKED BY J. H. HOPKINS
DATE 11/11/88
PROJECT NO. 88-0022
DRAWING NO. 88-0022
SHEET NO. 10

REVISIONS

SHEET 10



SOIL ANALYSIS

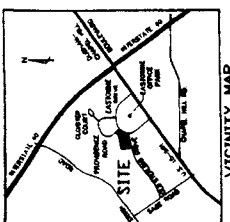
- OR TO USE
- USE TO USE
- GREATER THAN USE

LEGEND

- PROPOSED PROPERTY CORNER & LOT LINE
- EXISTING RETAIN WALL
- BUFFER LOT LINE
- LOT LINE
- RED LOT LINE
- EXISTING TREE (TOP REMAIN)
- EXISTING TREE LINE
- DRAINAGE PATTERN
- SOIL BOUNDARY



NOTE:
1. THIS PROPERTY IS NOT COVERED BY THE NATIONAL PROTECTION DISTRICT.



VICINITY MAP
NOT TO SCALE

PHILIP POST ASSOCIATES
 401 Providence Road
 Orange County, NC 27514
 (919) 273-7711



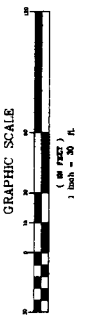
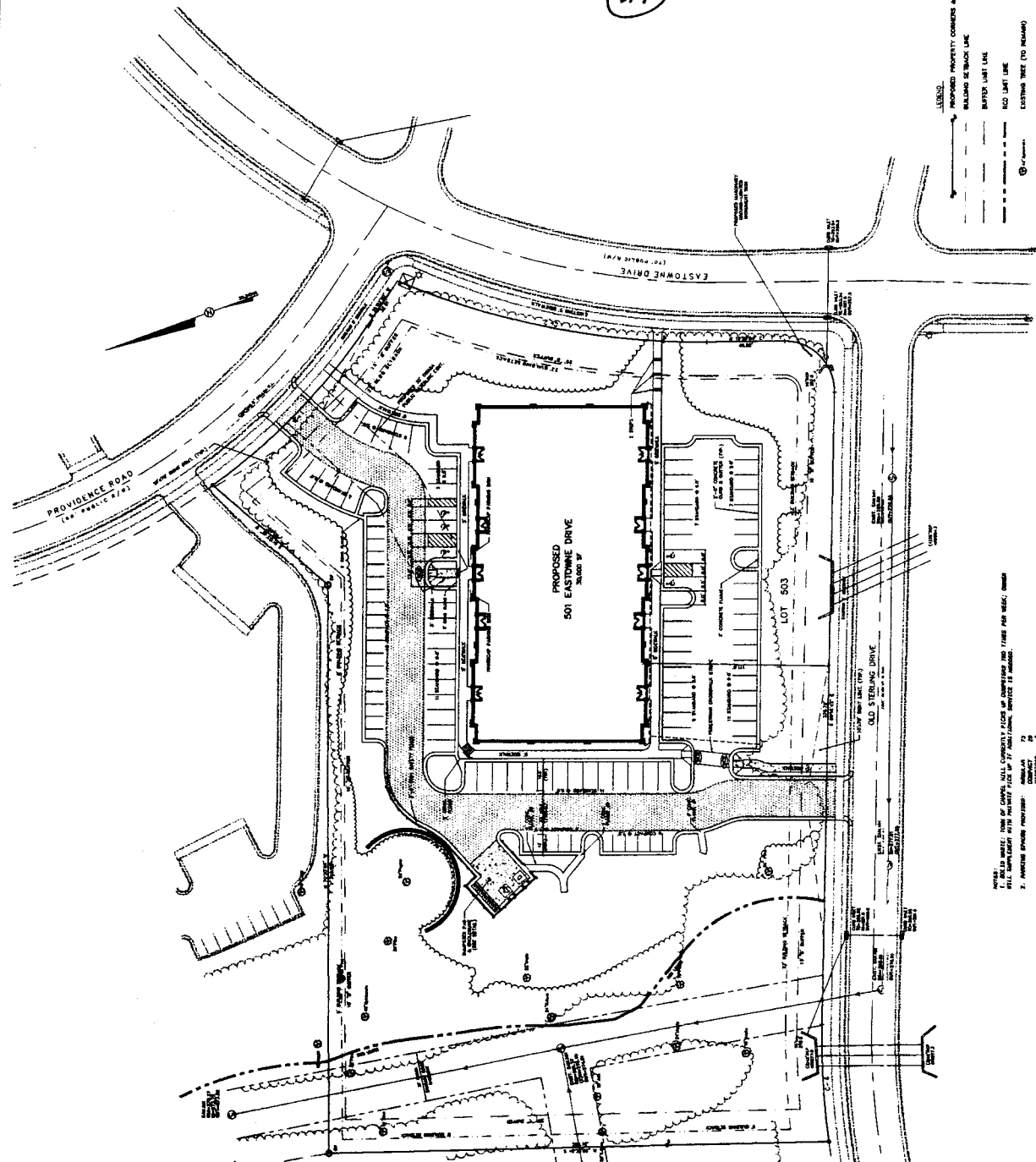
TOWN OF CHARLE HILL
 ORANGE COUNTY, N.C.
 EASTWANE OFFICE PARK
 501 EASTWANE DRIVE
 SITE PLAN

SCALE: 1"=40'-0"
 DRAWN BY: J.S./P.P.
 CHECKED BY: P.P./J.S.
 DATE: 08/29/00
 PROJECT NO. 11352-02
 DRAWING NO. 11352-02

REVISIONS:
 1. LAYOUT, SITE PLAN, PROPOSED PROPERTY LINES & LOT LINES
 2. LAYOUT, SITE PLAN, PROPOSED PROPERTY LINES & LOT LINES
 3. LAYOUT, SITE PLAN, PROPOSED PROPERTY LINES & LOT LINES
 4. LAYOUT, SITE PLAN, PROPOSED PROPERTY LINES & LOT LINES
 5. LAYOUT, SITE PLAN, PROPOSED PROPERTY LINES & LOT LINES

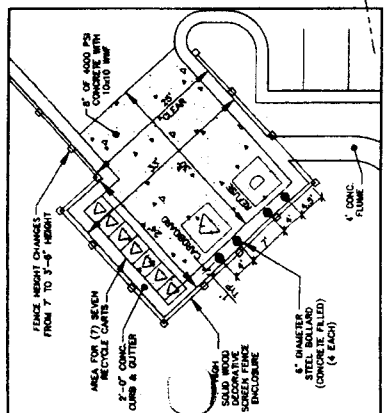
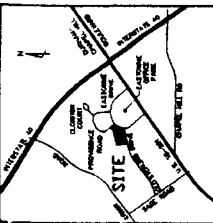
SHEET 10 OF 10

29



LEGEND:
 PROPOSED PROPERTY LINES & LOT LINES
 EXISTING PROPERTY LINES
 EXISTING UTILITY LINES
 EXISTING TREE (TO REMAIN)

NOTES:
 1. ALL WASTE: TOWN OF CHARLE HILL, CURRENTLY PLACES UP COMPACTING AND TIPS FOR REUSE; OWNER WILL COMPENSATE WITH PERMIT FEE UP TO \$10,000.00 PER YEAR. SERVICE IS PROVIDED.
 2. ALL UTILITIES: PROVIDE PROTECTION TO ALL UTILITIES.

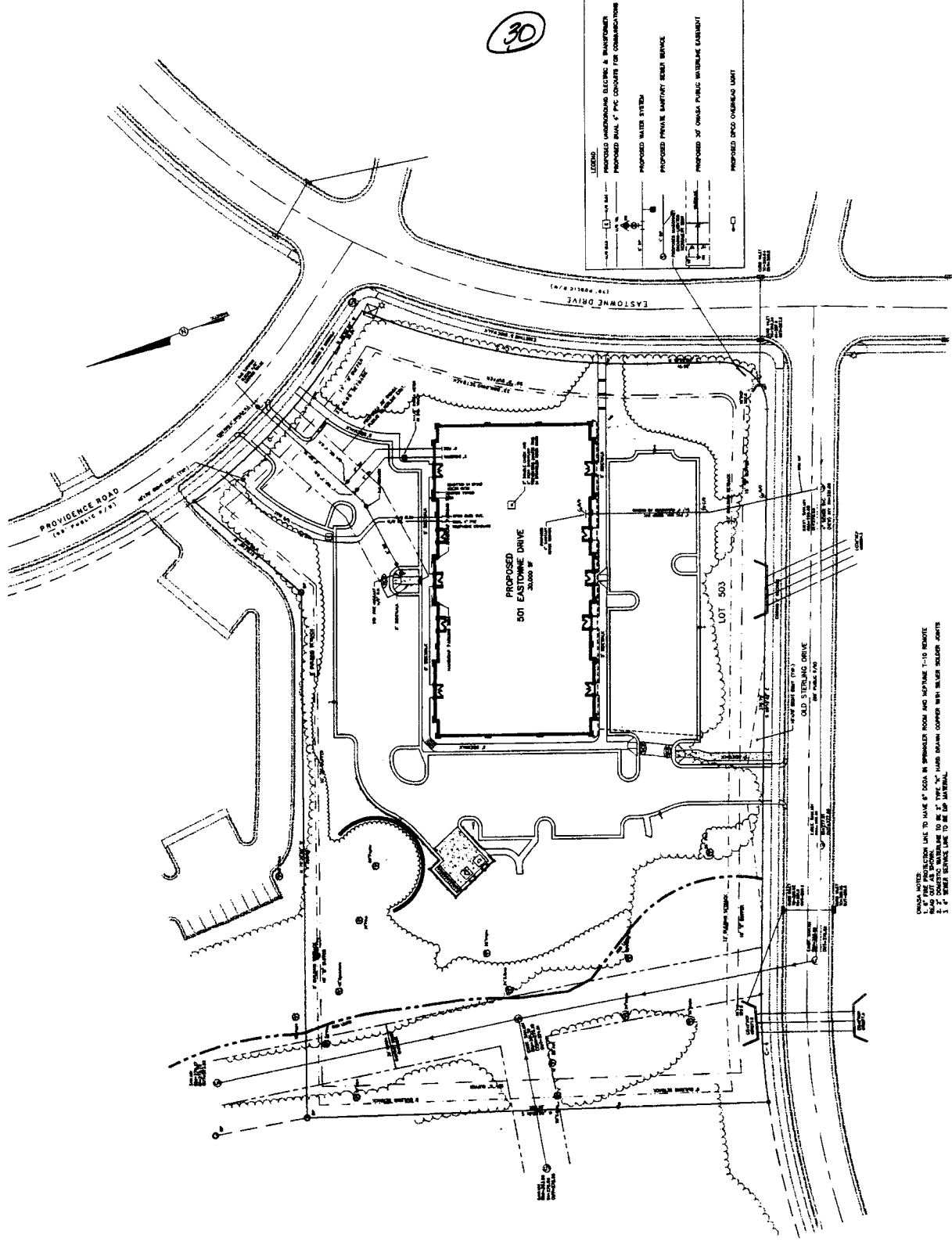


DUMPSTER / RECYCLE DETAIL
 SCALE: 1"=4'-0"
 PARALLEL SIDEWALK 12" WIDE
 8' DIAMETER WHEEL (CONIC FLUME)
 2' x 8' CONIC CURB & GUTTER



SCALE: 1"=30'-0"
 DRAWN BY: M. J. COOPER
 CHECKED BY: M. J. COOPER
 DATE: 08/28/2013
 DRAWING NO.: 18574-001
 PROJECT NO.: 18574

REVISIONS	DATE	BY	DESCRIPTION



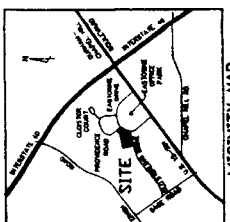
(30)

LEGEND

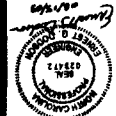
- PROPOSED UNDERGROUND ELECTRIC & MANHOLES
- PROPOSED MAIN 4" PVC CONDUIT FOR COMMUNICATIONS
- PROPOSED WATER SYSTEM
- PROPOSED PRIVATE EMERGENCY WATER SERVICE
- PROPOSED 1/2" GAS MAIN
- PROPOSED 10" PUBLIC WATERMAIN CEMENT
- PROPOSED 10" PVC OVERHEAD LIGHT



GENERAL NOTES:
 1. ALL PROVISIONS ARE TO HAVE A POOL IN SPRINKLER ROOM AND NEPTUNE T-10 REMOVE
 2. ALL CONDUIT MATERIALS TO BE 3" TYPE "N" HARD DRAWN COPPER WITH SILVER BRASS JOINTS
 3. ALL STREET LIGHTING TO BE 10' TALL



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ASSOCIATES

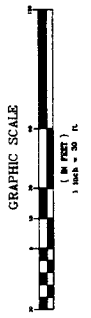
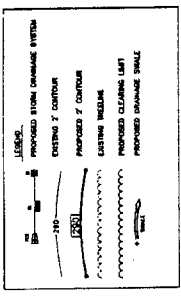
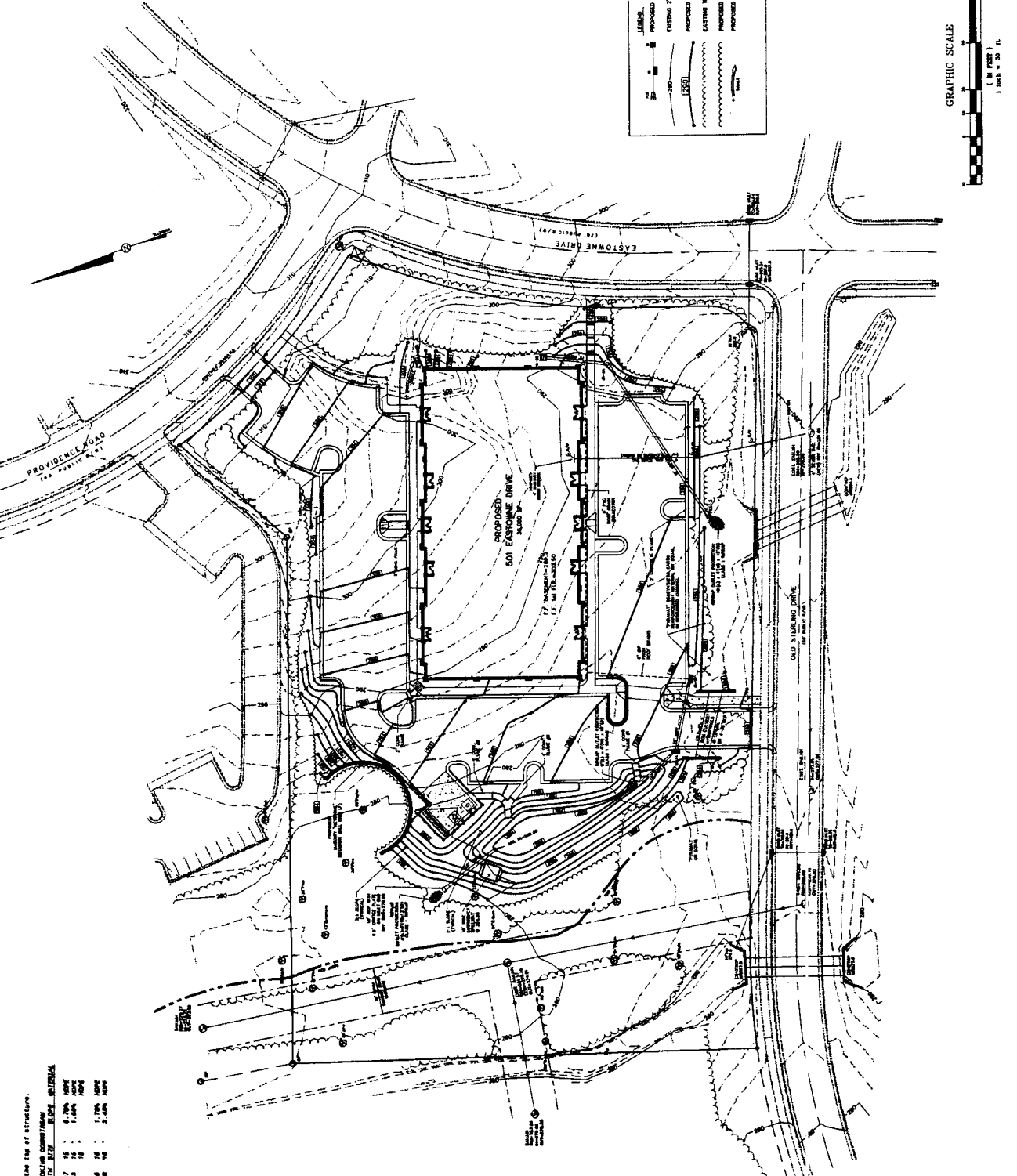


GRADING AND DRAINAGE PLAN
EASTOWNE OFFICE PARK
501 EASTOWNE DRIVE
ORANGE COUNTY, N.C.

DATE: 08/27/00
DRAWN BY: JWP
CHECKED BY: JWP
PROJECT NO.: 00-000000

REVISIONS: 1. (DATE) BY (NAME) (DESCRIPTION)
2. (DATE) BY (NAME) (DESCRIPTION)
3. (DATE) BY (NAME) (DESCRIPTION)

PROVINCENCE ROAD
100' PUBLIC RIGHT OF WAY



(3)

NOTE: All elevations are taken from the top of structure.

STRUCTURE	EL.	INT. IN.	INT. OUT.	PIPE LENGTH	COMMITMENT	SLOPE	INTERVAL
11	282.00	284.00	286.50	27	15	0.70%	40'
12	280.00	282.00	284.50	25	15	1.00%	40'
13	280.00	282.00	284.50	175	15	1.00%	40'
14	280.00	282.00	284.50	65	15	1.70%	40'
15	280.00	282.00	284.50	65	15	0.70%	40'

PHILIP POST ASSOCIATES
822 NORTH 2ND STREET
DURHAM, NC 27601
(919) 286-1173
FAX: (919) 286-1173
401 PLYMOUTH ROAD
RANDOLPH, NC 28134
PH: (919) 286-1173
FAX: (919) 286-1173

PHILIP POST ASSOCIATES
 400 W. MAIN ST., SUITE 200
 CHARLOTTE, NC 28202
 (704) 333-1111

TOWN OF CHARLES HILL
 501 and 503 EASTOWNE DRIVE
 EASTOWNE OFFICE PARK
 ORANGE COUNTY, N.C.

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SITE DETAILS

DATE: 10/23/01
 DRAWN BY: JRP
 CHECKED BY: JRP
 SCALE: AS SHOWN

RESERVED PARKING SIGN DETAIL

HANDICAPPED PARKING SIGN DETAIL

JAN ACCESS

MAXIMUM PENALTY \$100

SEMI-ENCLOSED HANDICAPPED PARKING REGISTRATION

RECOMMENDED SIGNING HEIGHTS

NO SCALE

SHRUB PLANTING SECTION
 NET TO SCALE

GROUND COVER PLANTING
 NET TO SCALE

TREE PLANTING SECTION
 NET TO SCALE

CONCRETE SIDEWALK
 NO SCALE

PRIVATE CURB & GUTTER AND SIDEWALK

CONCRETE FLUME
 NO SCALE

PAVEMENT DESIGN

NO SCALE

KEYSTONE RETAINING WALL SYSTEMS
TYPICAL REINFORCED SECTION
 NO SCALE

REINFORCED CONCRETE WALL
 REINFORCED CONCRETE FOOTING
 REINFORCED CONCRETE KEYSTONE

6" STEEL BOLLARD
 NO SCALE

STEEL TUBE
 CONCRETE
 BRASS PLATE

TITLE FLARED END SECTION
 NO SCALE

CONCRETE
 REINFORCED CONCRETE
 REINFORCED CONCRETE

TITLE CHUTE BASKET - SIDE VIEW
 NO SCALE

TITLE CHUTE BASKET - TOP VIEW
 NO SCALE

TITLE CHUTE BASKET - FRONT VIEW
 NO SCALE

TITLE CHUTE BASKET - SIDE VIEW
 NO SCALE

TITLE CHUTE BASKET - TOP VIEW
 NO SCALE

TITLE CHUTE BASKET - FRONT VIEW
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TITLE CHUTE BASKET - FRONT VIEW
 NO SCALE

TITLE CHUTE BASKET - SIDE VIEW
 NO SCALE

TITLE CHUTE BASKET - TOP VIEW
 NO SCALE

TITLE CHUTE BASKET - FRONT VIEW
 NO SCALE

REVISIONS

DATE: 10/23/01

BY: JRP

CHECKED BY: JRP

SCALE: AS SHOWN

NEW BUILDING FOR:
 BUILDING 1
 501 EASTOWNE DRIVE
 CHAPEL HILL, NORTH CAROLINA

MAURER ARCHITECTURE

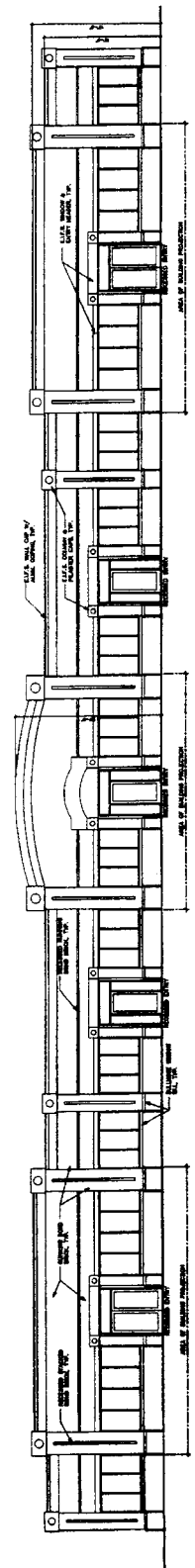
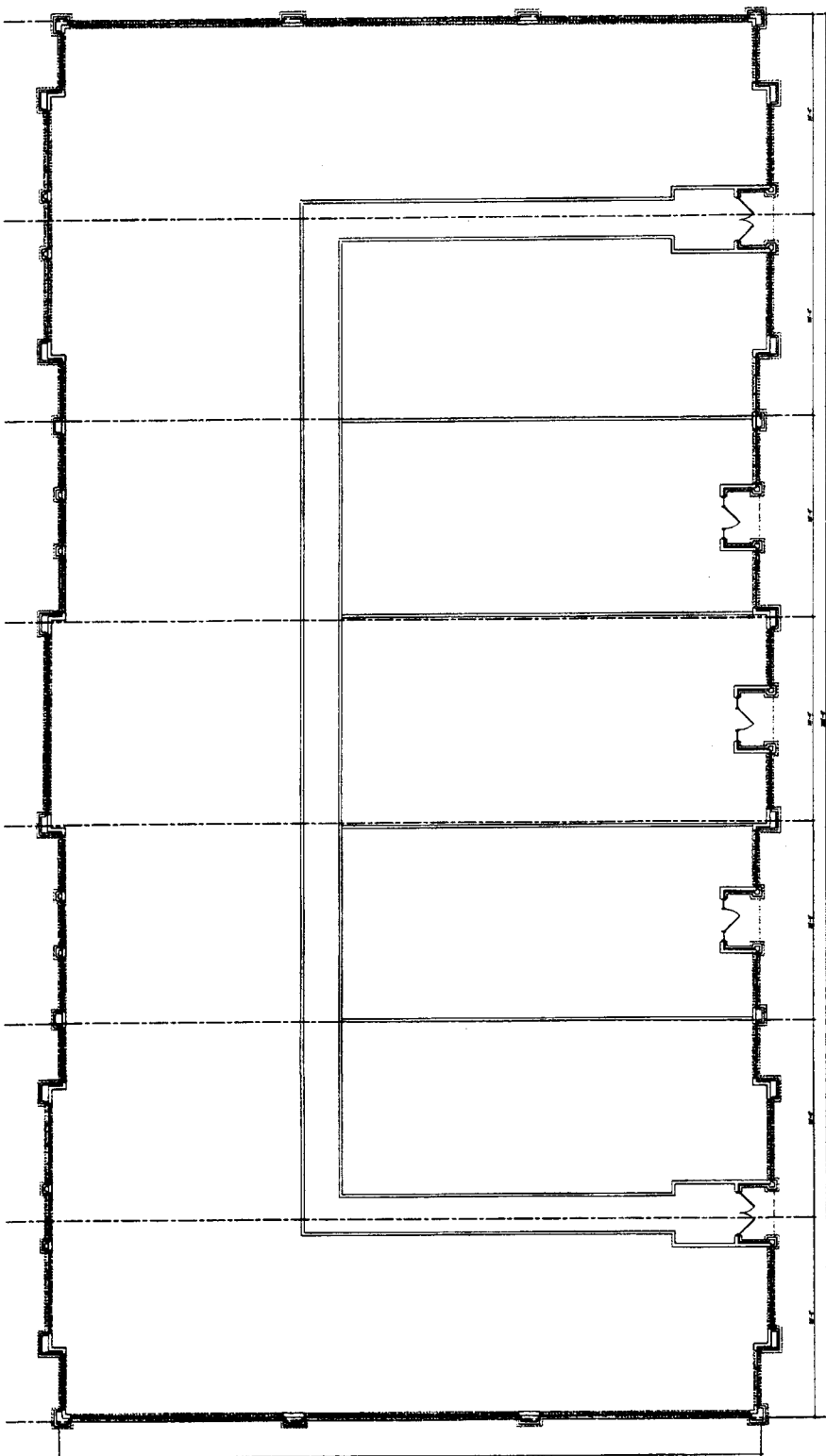
226 EAST MARTIN STREET RALEIGH, NC 27601
 TEL. 919-829-4969 FAX. 919-829-0860

DATE	3.7.03
DR.	AJD
CH.	DSM
PROJ. #	03XX
REVISIONS	DATE

MAIN FLOOR PLAN

A1.1

34



NEW BUILDING FOR:
 BUILDING I
 501 EASTOWNE DRIVE
 CHAPEL HILL, NORTH CAROLINA

MAURER ARCHITECTURE

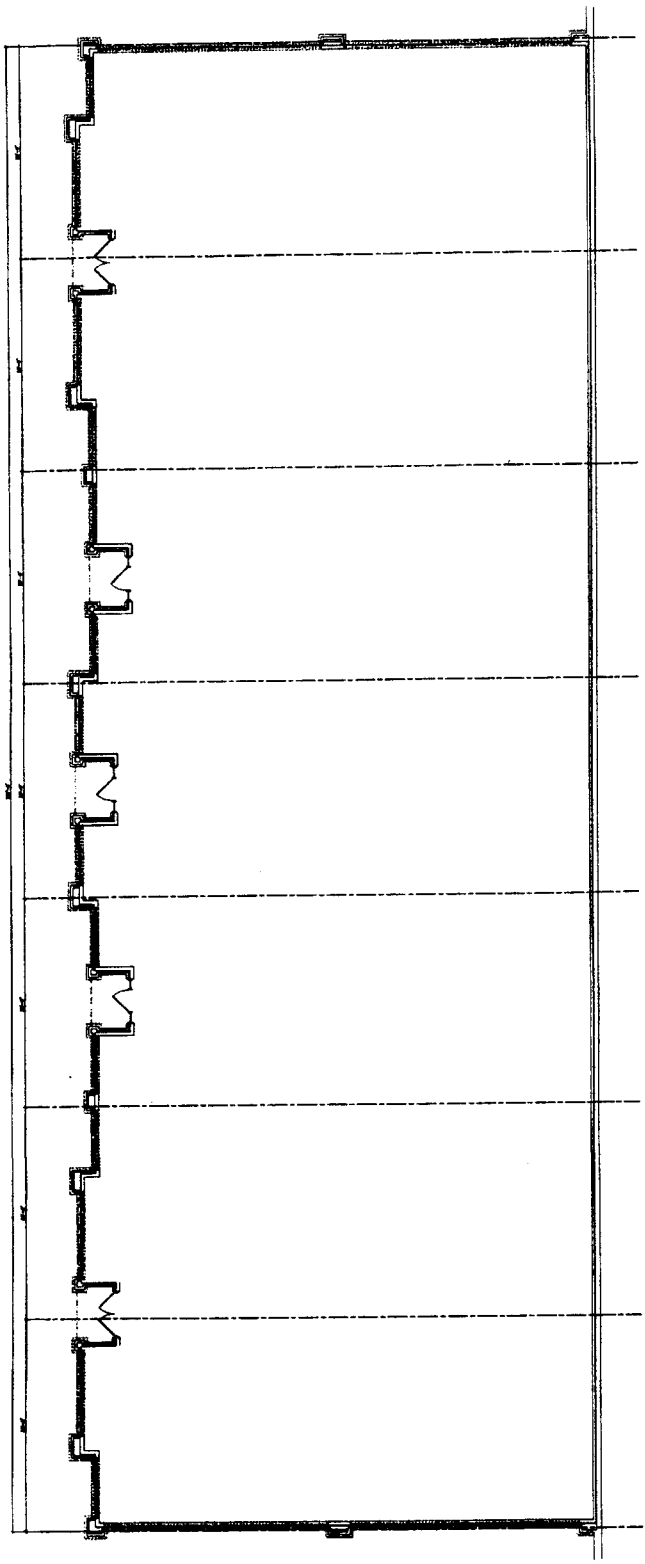
226 EAST MARTIN STREET RALEIGH, NC 27601
 TEL. 919-829-4969 FAX 919-829-0860

DATE	5.7.03
DR	AJO
CH	DSM
PROJ #	03XX
REVISIONS	DATE

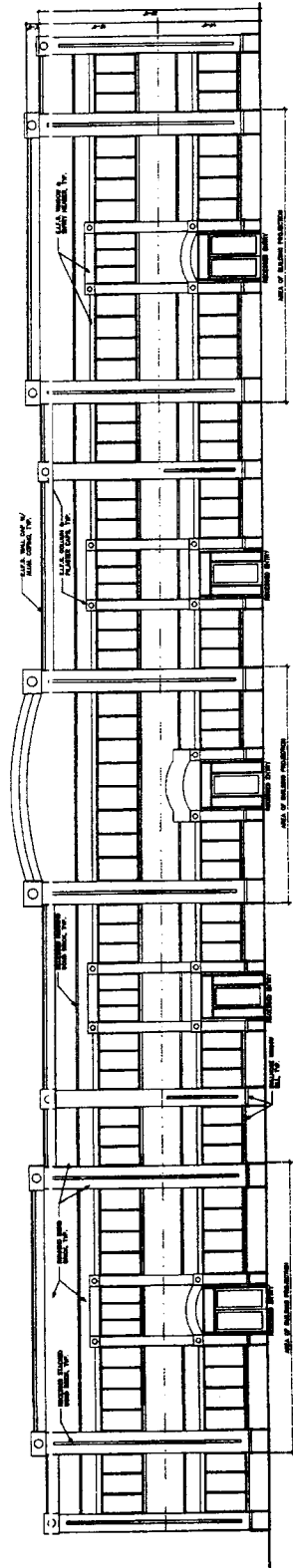
MAIN FLOOR PLAN

A1.2

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LOWER FLOOR PLAN
 1/8" = 1'-0"



TWO STORY ELEVATION
 1/8" = 1'-0"