

Southern Community Park

Town of Chapel Hill
Parks and Recreation

Special Use Permit Drawings
January 6, 2005

64

Owner:

Town of Chapel Hill
Parks & Recreation
200 Plant Road
Chapel Hill, NC 27514
phone: 919.968.2787
fax: 919.932.2923

Landscape Architect:

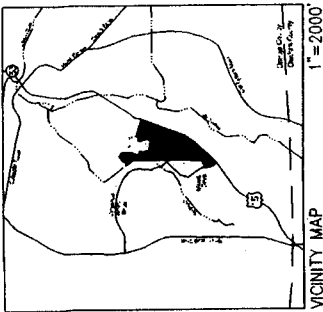
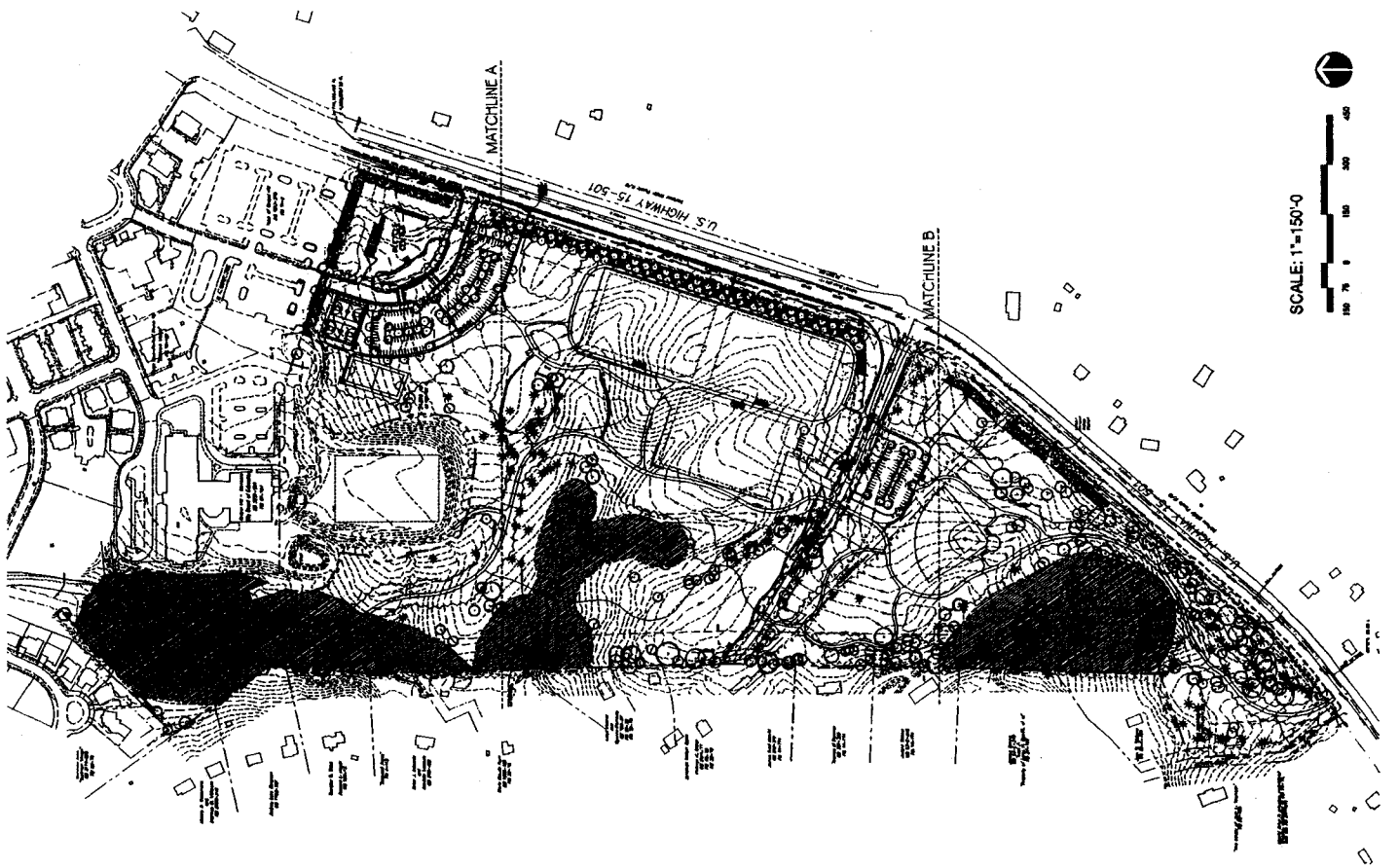
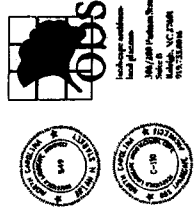
obs Landscape Architects
P.O. Box 28504
Raleigh, NC 27611-8504
phone: 919.755.0046
fax: 919.755.0930

Civil Engineer:

Mitchell Westendorf, PA
1709 Legion Road
Suite 201
Chapel Hill, NC 27517
phone: 919.932.4587
fax: 919.932.9325

Electrical Engineer:

Calloway Johnson Moore & West
119 Brookstown Avenue
Winston Salem, NC 27101
phone: 336.724.1503
fax: 336.724.2407



- DRAWING INDEX:**
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 - S-2 SITE VEGETATION & CULTURAL FEATURES
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SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

96

AREA MAP

Consultants:
 MITCHELL WESTBROOK, PA
 1700 LEGION ROAD
 CHAPEL HILL, NC 27517
 P: 919.833.4287
 F: 919.833.2885

Professional Seals

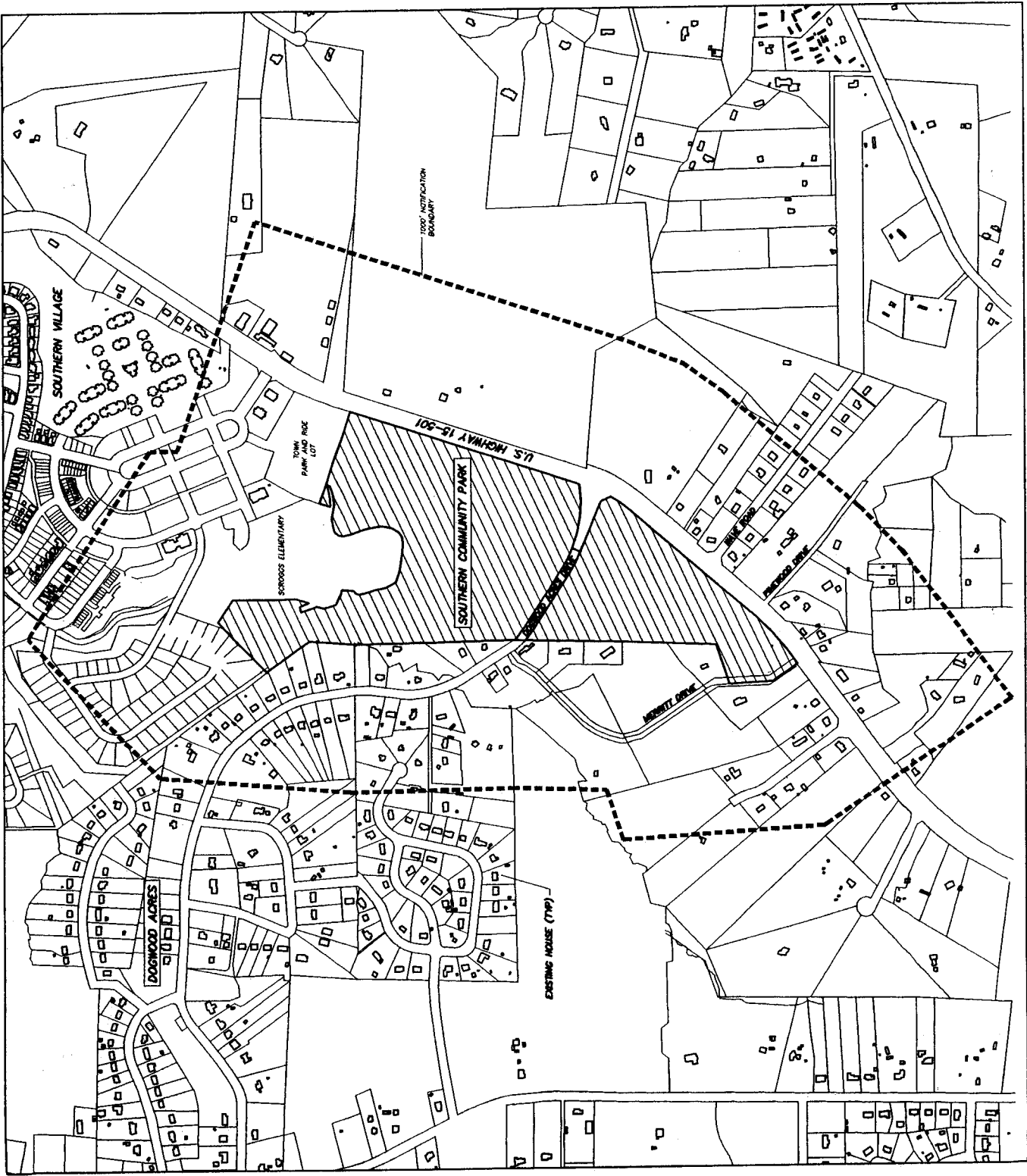


Revisions

No.	Description	Date	By

Date Issued: 01.06.05
 Scale: 1"=250'
 Drawn by: CEAC
 Checked by: BHS
 Sheet No.

A-1





300 300 Piedmont Court
 Suite 200
 Raleigh, NC 27604
 919.782.2000

SOUTHERN COMMUNITY PARK

CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

96

SITE ANALYSIS

Consultants
 SOUTHERN COMMUNITY PARK
 1700 LEGION ROAD
 SUITE 200
 RALEIGH, NC 27617
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 F: 919.782.2000

Professional Seals

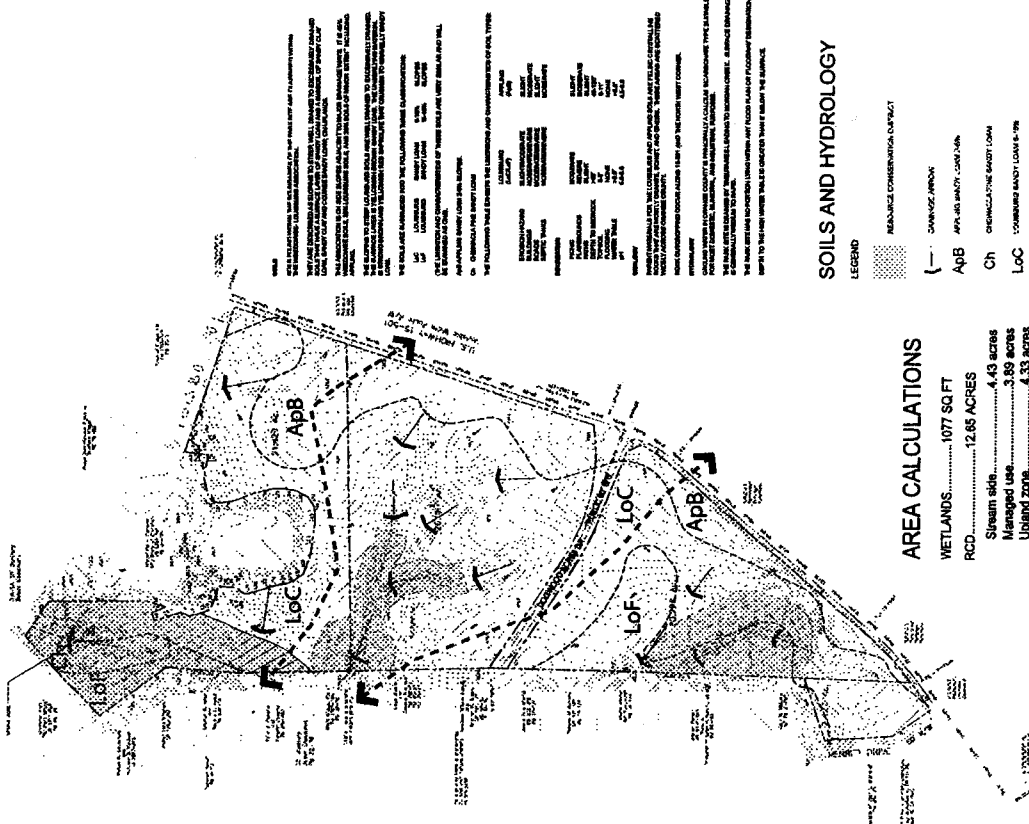


Revisions

No.	Description	Date

Date Issued: 01.08.05
 Scale: 1"=200'
 Drawn By: CEJC
 Checked By: BUS
 Sheet No.:

SA-1



SOILS AND HYDROLOGY

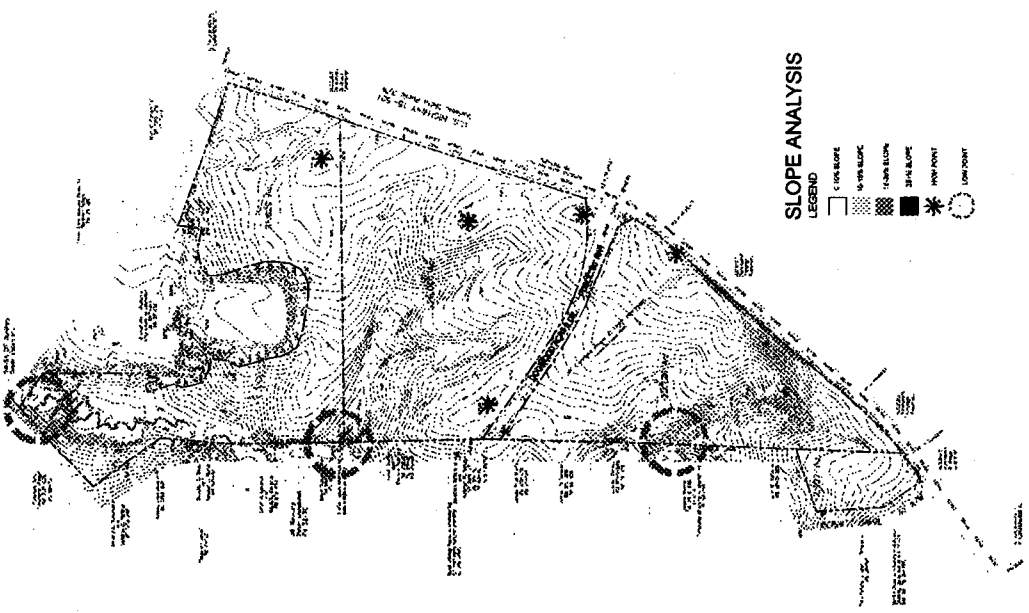
- LEGEND
- WETLANDS (Hatched pattern)
 - Stream Bed (Dashed line)
 - Managed Use (Dotted pattern)
 - Upland Zone (Stippled pattern)
 - LoC (Cross-hatched pattern)
 - LoF (Diagonal lines)
 - ApB (Diagonal lines)
 - Ch (Diagonal lines)
 - LoC (Cross-hatched pattern)
 - LoF (Diagonal lines)
 - Major Drainage Ditch (Dashed line)

AREA CALCULATIONS

WETLANDS	1077 SQ FT
RCD	12.65 ACRES
Stream beds	4.43 acres
Managed use	3.89 acres
Upland zone	4.33 acres
NORTH OF DOGWOOD ACRES DR	47.89 ACRES
SOUTH OF DOGWOOD ACRES DR	22.65 ACRES
SITE TOTAL	70.54 ACRES

SLOPE ANALYSIS

- LEGEND
- 0-1% Slope (White)
 - 1-2% Slope (Light Gray)
 - 2-3% Slope (Medium Gray)
 - 3-4% Slope (Dark Gray)
 - Spot Point (Star symbol)
 - Upland Point (Circle symbol)



THE FOLLOWING TABLE SUMMARIZES THE LIMITATIONS AND ASSUMPTIONS FOR THIS TYPE OF ANALYSIS. THE ANALYST HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS REVIEWED THE AVAILABLE RECORDS. THE ANALYST HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS REVIEWED THE AVAILABLE RECORDS. THE ANALYST HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS REVIEWED THE AVAILABLE RECORDS.

SOURCE: ORANGE COUNTY, NORTH CAROLINA, URBAN, 1:25,000 SCALE, 1984. SOURCE: ORANGE COUNTY, NORTH CAROLINA, URBAN, 1:25,000 SCALE, 1984.



SAS
 100 S. 20th Street
 Raleigh, NC 27601
 919.791.2000

SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

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CIRCULATION PLAN

CONTRACTOR:
 MICHAEL WESTENDORF, P.A.
 1700 LEGION ROAD
 CHAPEL HILL, NC 27517
 P: 919.282.4007
 F: 919.282.0285

Professional Seal

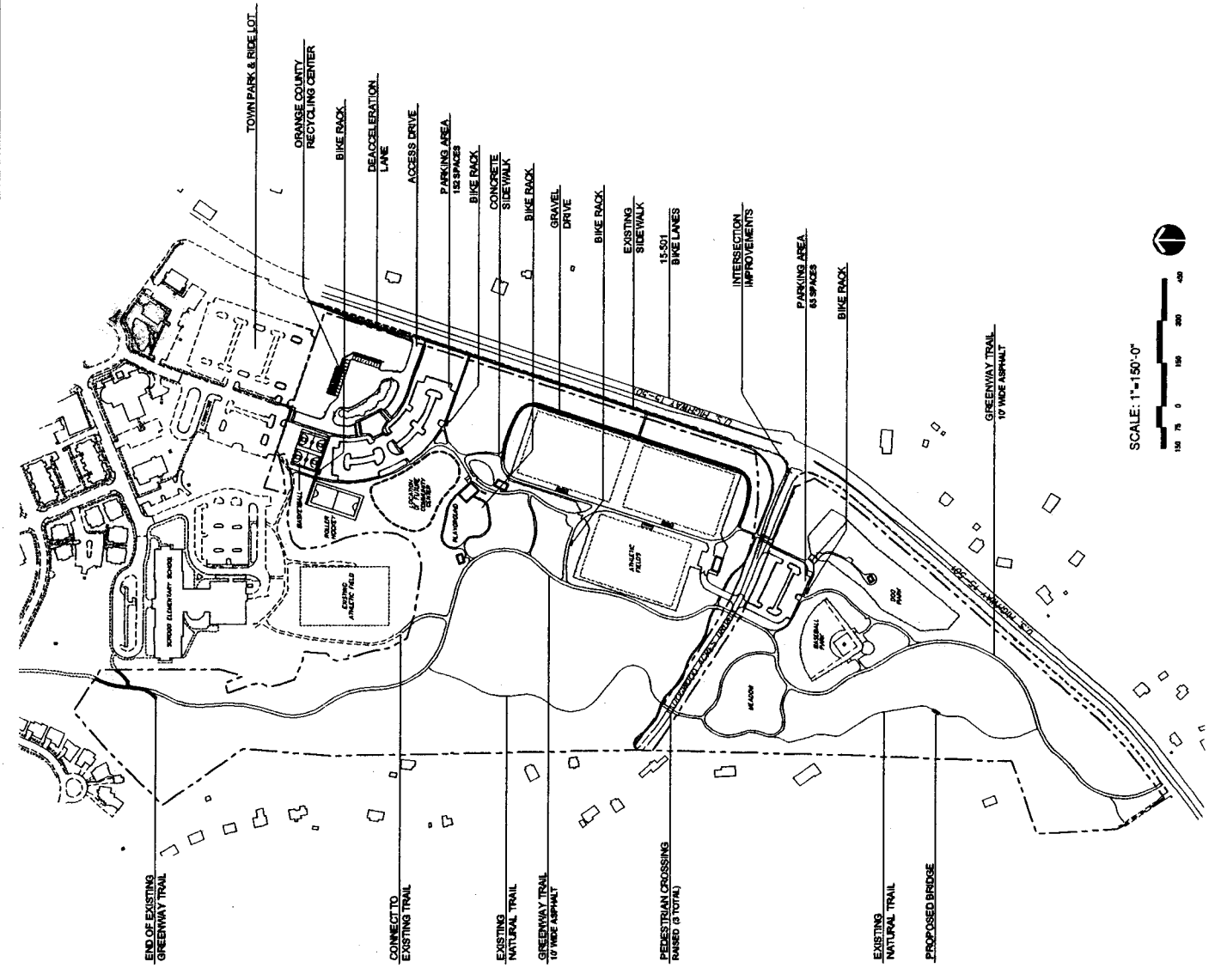


Revisions

No.	Description	Date

Date Issued: 01.06.05
 Scale:
 Drawn by: GELC
 Checked by: BMS
 Sheet No.

C-1





GENERAL NOTES &
LEGEND
Consultants
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1000 SOUTH MAIN ROAD
SUITE 201
CHAPEL HILL, NC 27517
TEL: 919.982.6200
F: 919.982.6205

Professional Seals
Professional Engineer
Professional Land Surveyor
Professional Architect
Professional Geotechnical Engineer
Professional Environmental Engineer
Professional Electrical Engineer
Professional Mechanical Engineer
Professional Chemical Engineer
Professional Nuclear Engineer
Professional Fire Protection Engineer
Professional Safety Engineer
Professional Traffic Engineer
Professional Urban and Regional Planner
Professional Planning
Professional Historic Preservation
Professional Archaeologist
Professional Anthropologist
Professional Biologist
Professional Botanist
Professional Geologist
Professional Geophysicist
Professional Hydrologist
Professional Meteorologist
Professional Oceanographer
Professional Paleontologist
Professional Photographer
Professional Public Health and Safety Engineer
Professional Recreation Management
Professional Scientist
Professional Soil and Water Conservation Engineer
Professional Structural Engineer
Professional Surveying
Professional Textile and Apparel Engineer
Professional Toxicologist
Professional Veterinary
Professional Wildlife and Fisheries Management
Professional Woodwork
Professional Zoning and Code Enforcement
Professional Architectural Historian
Professional Archaeologist
Professional Anthropologist
Professional Biologist
Professional Botanist
Professional Geologist
Professional Geophysicist
Professional Hydrologist
Professional Meteorologist
Professional Oceanographer
Professional Paleontologist
Professional Photographer
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Professional Soil and Water Conservation Engineer
Professional Structural Engineer
Professional Surveying
Professional Textile and Apparel Engineer
Professional Toxicologist
Professional Veterinary
Professional Wildlife and Fisheries Management
Professional Woodwork
Professional Zoning and Code Enforcement

LEGEND:

ITEM	EXISTING	PROPOSED
PROPERTY LINE / BOUND OF WAY	---	---
OVERHEAD POWER EASEMENT	---	---
BUFFER LINE	---	---
S.U.P. BOUNDARY	---	---
CORNER	---	---
SPOT ELEVATION	---	---
POWER LINE	---	---
POWER POLE	---	---
ROAD CENTERLINE	---	---
CURB & GUTTER	---	---
HEAVY DUTY ASPHALT PAVING	---	---
STANDARD DUTY ASPHALT PAVING	---	---
CONCRETE PAVES	---	---
HEAVY DUTY CONCRETE PAVING	---	---
STANDARD DUTY CONCRETE PAVING	---	---
GRAVEL DRIVE	---	---
PAINTED CROSSWALK	---	---
RESOURCE CONCENTRATION DISTRICT	---	---
CREK CENTERLINE	---	---
TOP OF BANK	---	---
WETLAND AREA	---	---
SAWTOOTH SERRIS EASEMENT	---	---
SAWTOOTH SERRIS	---	---
WATERLINE	---	---
HIGHWAY	---	---
TREE PROTECTION FENCE	---	---
SEDIMENT FENCE	---	---
CHAIN LINK FENCE	---	---
SURF SERRIS PPE	---	---
CATCH BASIN	---	---
CURB INLET	---	---
FLARED END OULET	---	---
SEDIMENT BASIN	---	---
TREE LINE	---	---
DECIDUOUS TREE	---	---
EVERGREEN TREE	---	---
TREE TO BE REMOVED	---	---
SPEED TABLE /	---	---
PEDSTWIM CROSS WALK	---	---
BOLLARD	---	---
BLACKEP	---	---
DEMOLITION NOTE	---	---
UNDOT NOTE	---	---

CONSTRUCTION SEQUENCE

- Obtain permit and other applicable permits.
- Finalize construction sequence of at least one week prior to starting construction. Turn this information over to the contractor at the start of construction.
- Finalize construction sequence.
- Complete temporary erosion control measures, including ground construction entrances, sediment basins, live protection fences, silt fences and temporary diversions.
- Complete final grading and final grading by contractor to meet project U.S. clearing.
- Complete final grading. Final grading by Landscape Architect and team representatives.
- Install curb & gutter and borders.
- Install trees and grades on all storm structures.
- Finalize curb and gutter and gutter and gutter.
- Finalize curb and gutter and gutter and gutter.
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GENERAL CONSTRUCTION NOTES:

- Finalize curb and gutter and gutter and gutter. The Landscape Architect may require grade changes as required in the field without affecting the soil bed prior to automated installation.
- Unless otherwise noted, all fill areas shall be constructed in layers of 6" maximum thickness, with water added or soil conditioned to the optimum moisture content as determined by the engineer and compacted with a tamper or roller to a compaction equal to or greater than 95% (100% in the top 7" of the soil) below temporary and parking lots) of the newly obtained by compacting a sample of the soil to the same moisture content as the soil to be placed. The moisture content shall be determined by ASTM D2922 or ASTM-D1556 unless specified in other specifications.
- Finalize curb and gutter and gutter and gutter. The Landscape Architect may require grade changes as required in the field without affecting the soil bed prior to automated installation.

DEPOSITABLE MATERIAL

- Grading and sediment control measures shall be removed from the site and properly disposed of by the contractor at the expense of the owner, unless specified otherwise.
- Final grading shall be performed on all areas, including wetlands, which may be required in specific disposal areas determined on the plans or otherwise. The contractor shall be responsible for the final disposal of all materials removed from the site. The contractor shall be responsible for the final disposal of all materials removed from the site. The contractor shall be responsible for the final disposal of all materials removed from the site.
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EROSION CONTROL MEASURES

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GENERAL NOTES:

- Drawings based on survey by Michael H. Hester, Chapel Hill, North Carolina.
- Landowner Architect assumes no responsibility for construction.
- Construction shall be done by a contractor licensed in the state of North Carolina.
- Final grading shall be done by a contractor licensed in the state of North Carolina.
- When dimensions approximate graphic representation, do not scale drawings.
- Soils Report is available from the Landscape Architect by request.
- Contractor is responsible for the cost incurred for recording of other lots.
- Builders are encouraged to visit the site prior to submitting bids.

IMPACTS FOR CONSTRUCTION SITES

- Finalize curb and gutter and gutter and gutter. The Landscape Architect may require grade changes as required in the field without affecting the soil bed prior to automated installation.
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EROSION CONTROL MEASURES

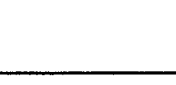
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GENERAL NOTES &
LEGEND
Consultants
MICHONN WESTERHOFF, P.A.
1000 SOUTH MAIN ROAD
SUITE 201
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TEL: 919.982.6200
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Professional Seals
Professional Engineer
Professional Land Surveyor
Professional Architect
Professional Geotechnical Engineer
Professional Environmental Engineer
Professional Electrical Engineer
Professional Mechanical Engineer
Professional Chemical Engineer
Professional Nuclear Engineer
Professional Fire Protection Engineer
Professional Safety Engineer
Professional Traffic Engineer
Professional Urban and Regional Planner
Professional Planning
Professional Historic Preservation
Professional Archaeologist
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Professional Geophysicist
Professional Hydrologist
Professional Meteorologist
Professional Oceanographer
Professional Paleontologist
Professional Photographer
Professional Public Health and Safety Engineer
Professional Recreation Management
Professional Scientist
Professional Soil and Water Conservation Engineer
Professional Structural Engineer
Professional Surveying
Professional Textile and Apparel Engineer
Professional Toxicologist
Professional Veterinary
Professional Wildlife and Fisheries Management
Professional Woodwork
Professional Zoning and Code Enforcement



S&S
 10101 Park Lakeshore
 Suite 100
 Charlotte, NC 28217
 704.552.2887

SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

07

LAYOUT &
 UTILITY PLAN

CONTRACT NO. 1710
 MICHELLE WESTERLOOF, P.E.
 1710 LEGATION ROAD
 SUITE 100
 CHAPEL HILL, NC 27517
 P: 919.852.2887
 F: 919.852.2888

Professional Seals



Revisions

No.	Description	Date

Date Issued: 01.06.05
 Scale: 1"=50'
 Drawn by: CE/JC
 Checked by: BHS
 Sheet No.

LA-2

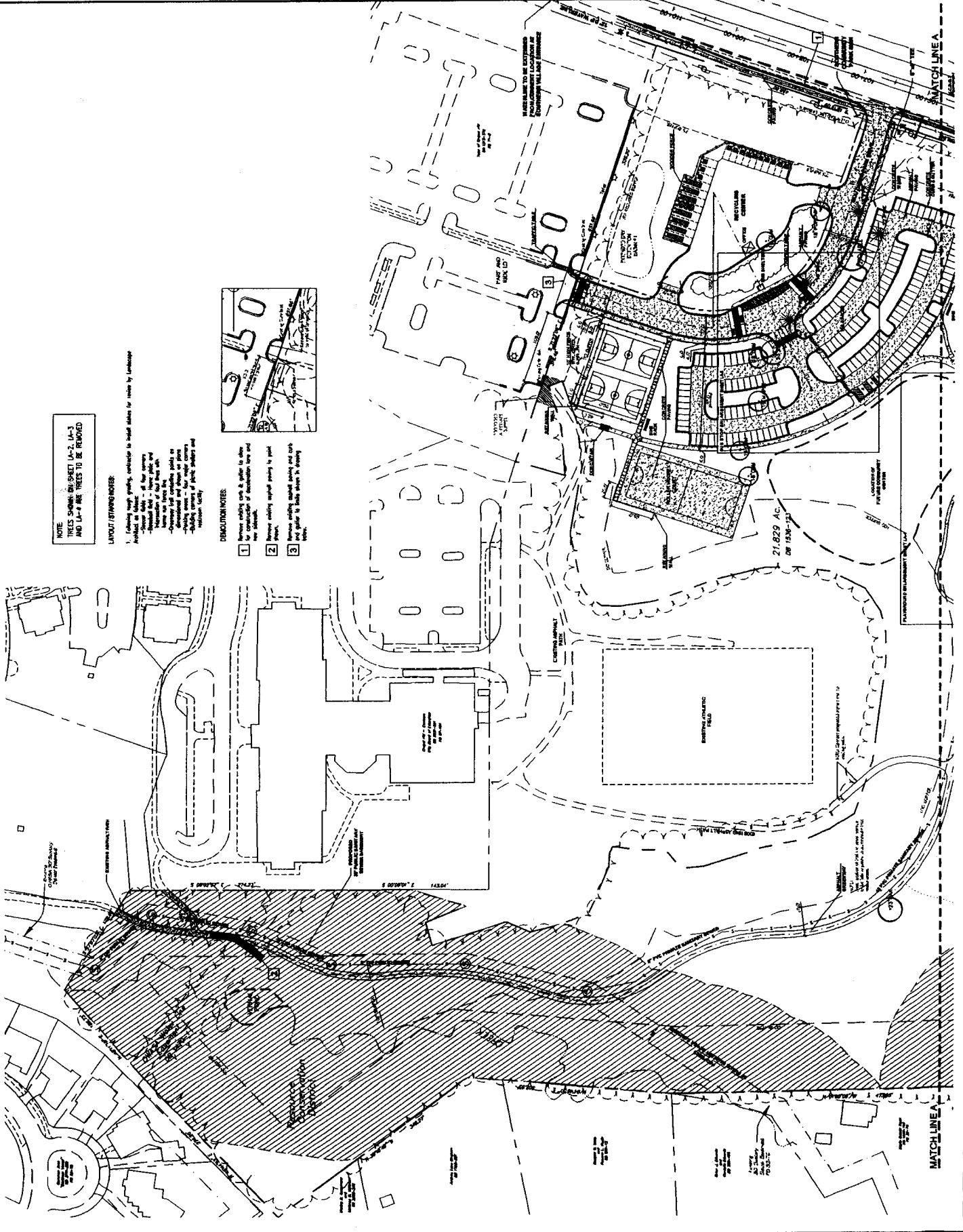
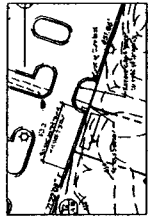
NOTE
 ALL EXISTING TREES TO BE REMOVED
 AND LA-2 ARE TREES TO BE REMOVED

LAYOUT REMARKS:

1. Existing tree planting, including in-kind stakes for trees by Landscape Architect, shall be shown on all four corners.
2. Existing tree planting shall be shown on all four corners.
3. Existing tree planting shall be shown on all four corners.

DETAILED NOTES:

1. Remove existing curb & gutter to show for construction of reconstruction base and new sidewalk.
2. Remove existing asphalt paving to plant grass.
3. Remove existing asphalt paving and curb to show for reconstruction of base and gutter.





SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

LAYOUT & UTILITY PLAN
 Consultants
 MITCHELL WESTERHOFF, P.A.
 1701 LEBRON ROAD
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 P: 919.803.8877
 F: 919.803.8882

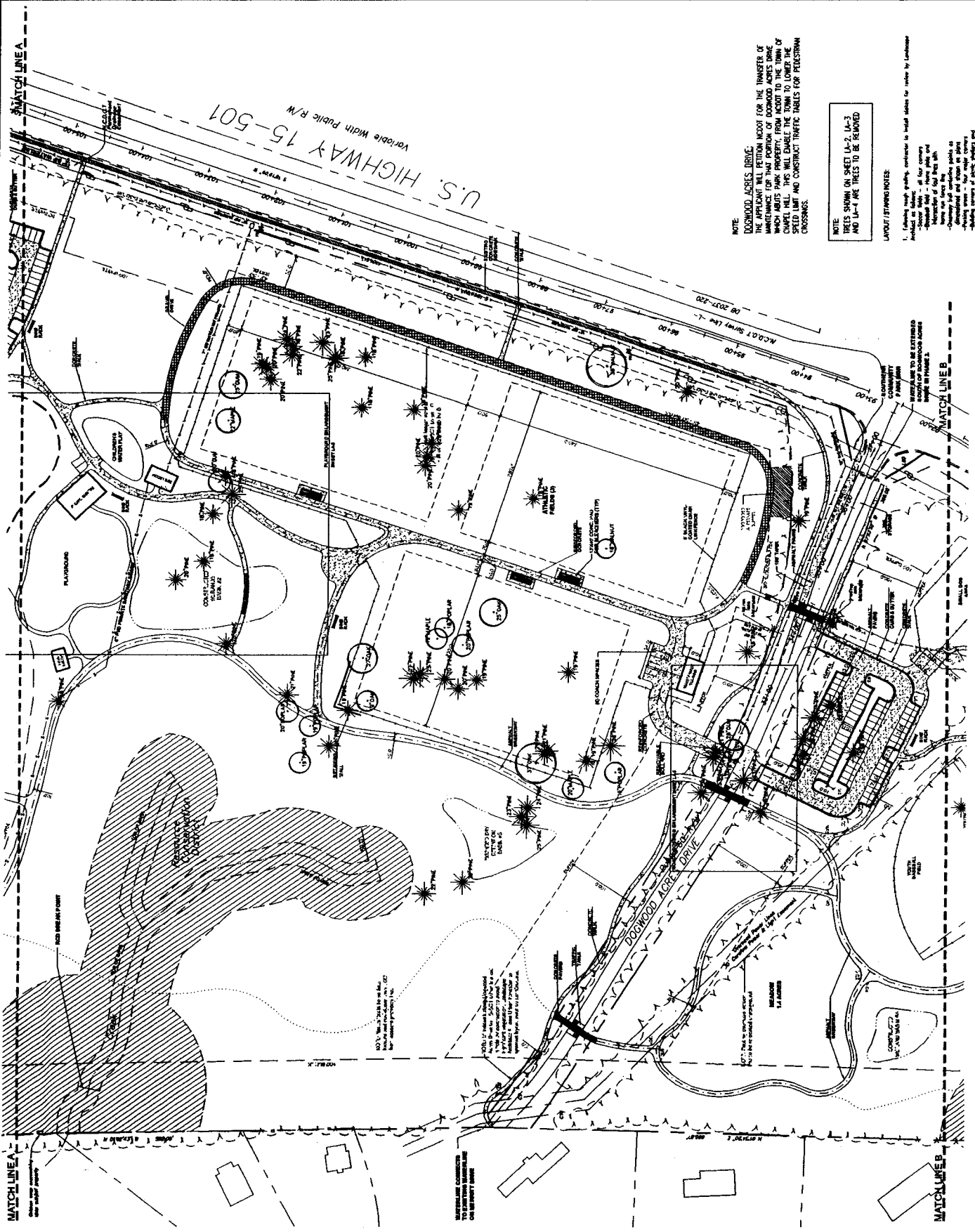


Professional Seals

No.	Name	Exp.

DATE: 01.06.05
 SHEET NO.: 1 OF 50
 CHECKED BY: CEJ/CE
 DRAWN BY: BJS
 SHEET NO.: 10

LA-3



NOTE: DOGWOOD ACCESS DRIVE:
 THE TOWN HAS REQUESTED FOR THE TRANSFER OF THE EASEMENT FOR THE DOGWOOD ACCESS DRIVE FROM THE PROPERTY OF THE TOWN TO THE PROPERTY OF SOUTHERN COMMUNITY PARK. THIS WILL ENABLE THE TOWN TO LOWER THE SPEED LIMIT AND CONSTRUCT TRAFFIC TABLES FOR PEDESTRIAN CROSSINGS.

NOTE:
 TREES SHOWN ON SHEET LA-2, LA-3, AND LA-4 ARE TREES TO BE REMOVED.

LAYOUT/STAMP NOTES:
 1. Schedule and quantity quantities to be included in the contract documents.
 2. All trees to be removed shall be removed by the contractor.
 3. All trees to be removed shall be removed by the contractor.
 4. All trees to be removed shall be removed by the contractor.
 5. All trees to be removed shall be removed by the contractor.

NOTE: ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.

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SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

72

**LAYOUT &
 UTILITY PLAN**

CONSULTANTS
 MITCHELL WESTWOOD, PA
 1700 LEBRON ROAD
 SUITE 200
 CHAPEL HILL, NC 27517
 P: 919.852.4887
 F: 919.852.0055

Professional Seals



Revisions

No.	Description	Date

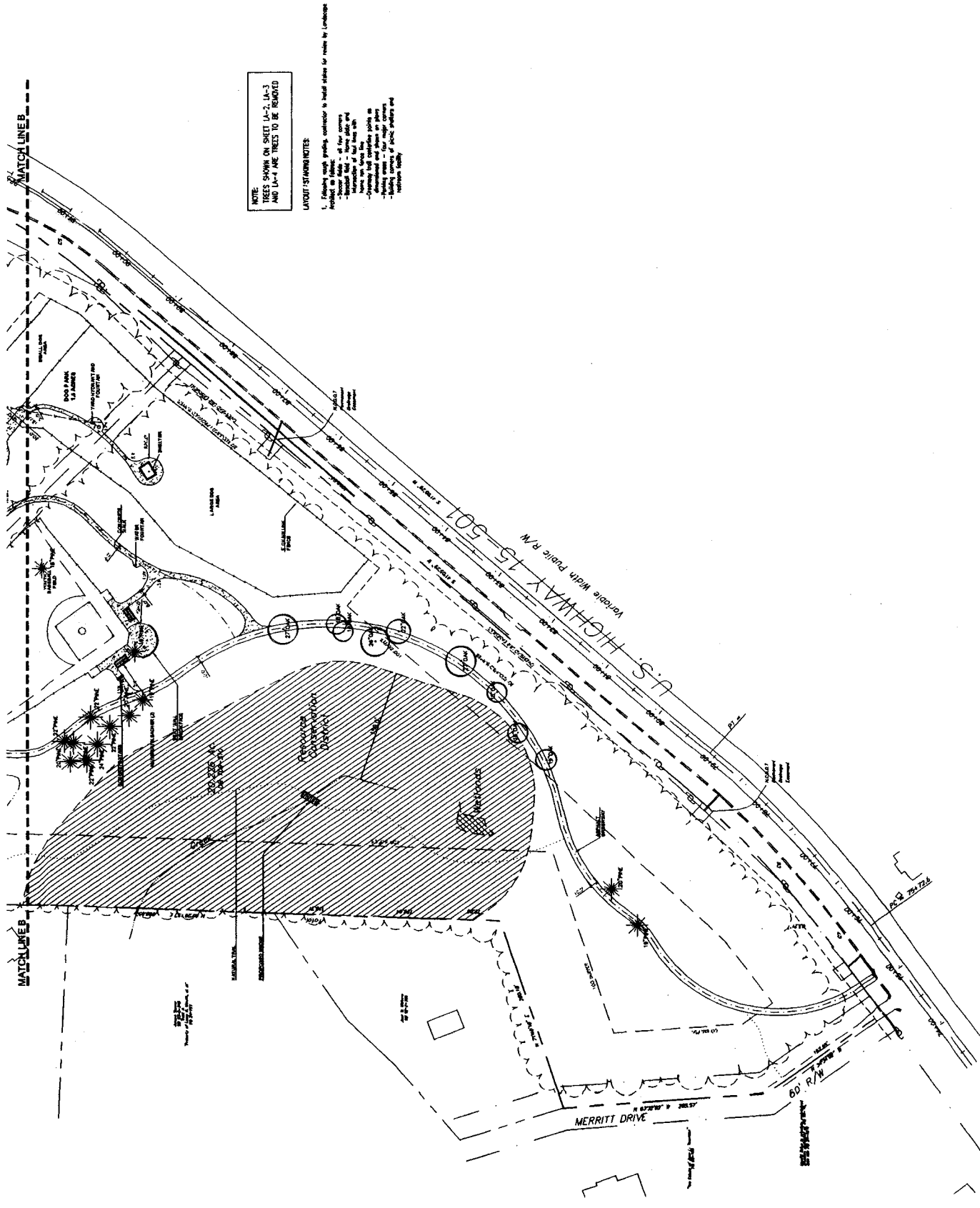
Date Issued: 01.06.05
 Scale: 1"=50'
 Drawn by: GE, JC
 Checked by: BHS
 Sheet No.

LA-4

NOTE:
 TREES SHOWN ON SHEET LA-3, LA-3
 AND LA-7 ARE TREES TO BE REMOVED

LAYOUT STANDARDS:

1. Existing utility grading, contractor to build station for review by landscape architect.
2. All utility lines to be shown on plan.
3. All utility lines to be shown on plan.
4. All utility lines to be shown on plan.
5. All utility lines to be shown on plan.
6. All utility lines to be shown on plan.
7. All utility lines to be shown on plan.
8. All utility lines to be shown on plan.
9. All utility lines to be shown on plan.
10. All utility lines to be shown on plan.





SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

13

LAYOUT, A/C, T/C,
 GRADING & DRAINAGE PLAN
 CONSULTANTS
 MITCHELL WESTERHOFF, P.A.
 1704 LEBRON ROAD
 CHAPEL HILL, NC 27517
 P: 919.952.4887
 F: 919.952.6028

Professional Seals

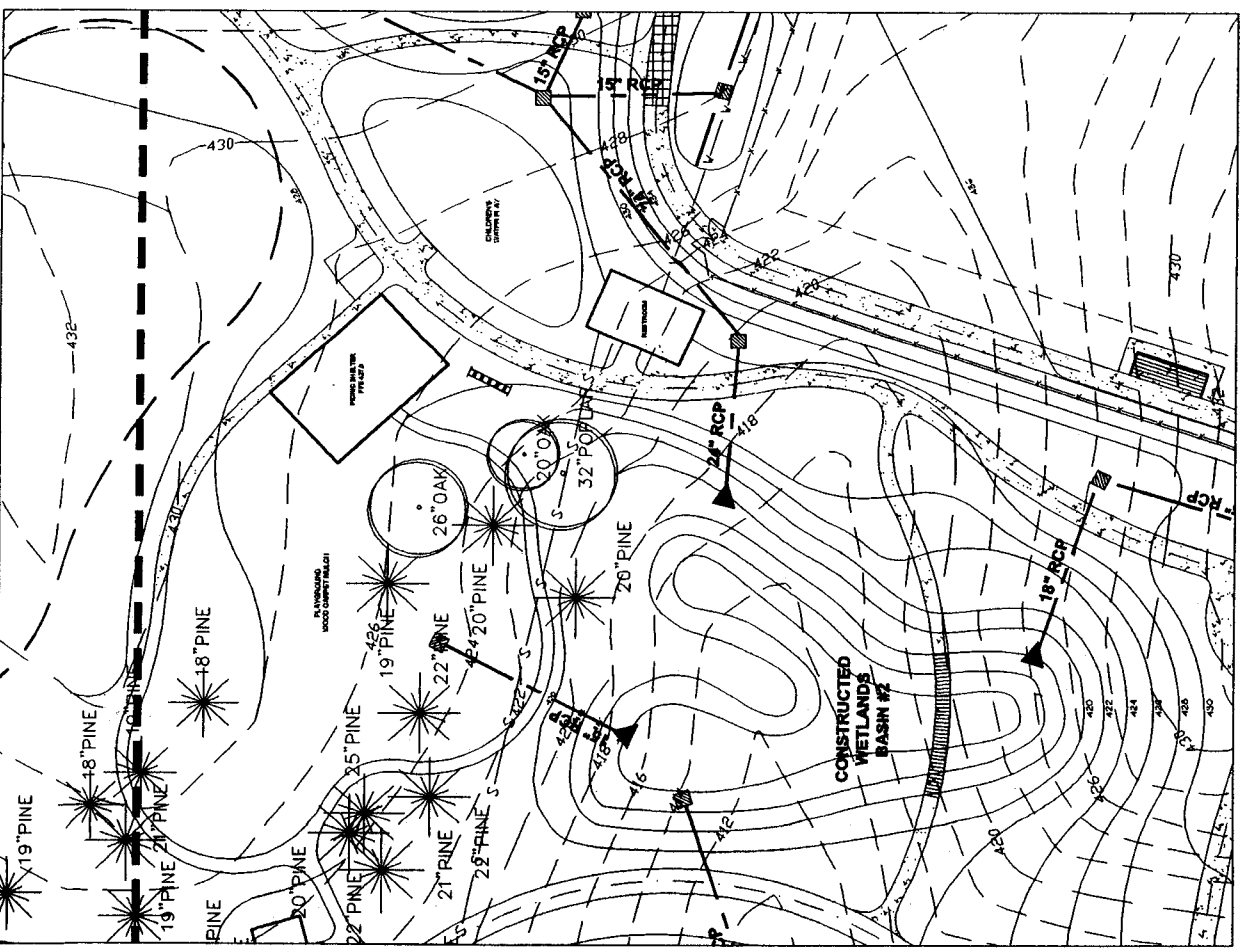
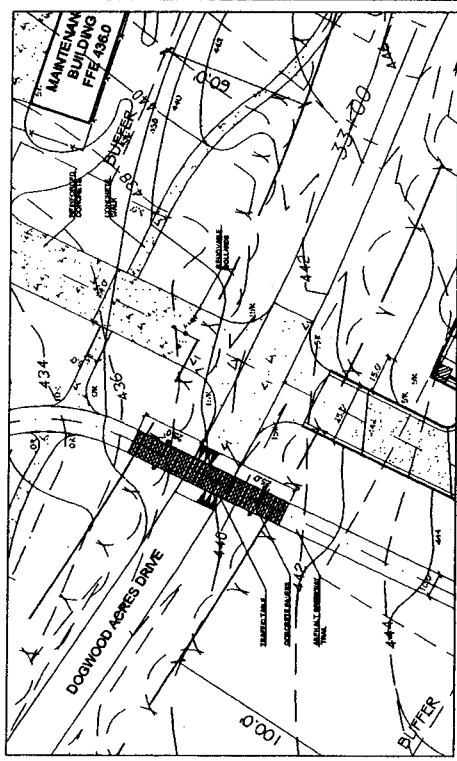
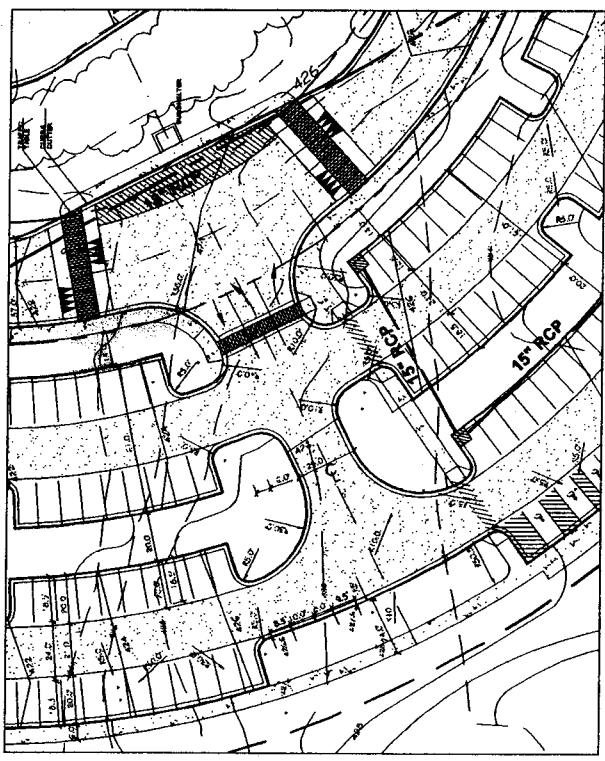


Revisions

No.	Description	Date

Date Issued: 01.06.05
 Scale: 1"=50'
 Drawn by: C.E.J.C.
 Checked by: BUS
 Sheet No.

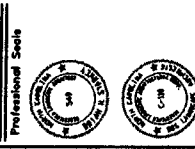
LA-5





SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

74
 GRADING, DRAINAGE
 AND TREE
 PROTECTION PLAN
 Consultants
 MICHELLE WESTBROOK, P.A.
 1000 W. WILSON ROAD
 CHAPEL HILL, NC 27517
 P: 919.852.0097
 F: 919.852.0098

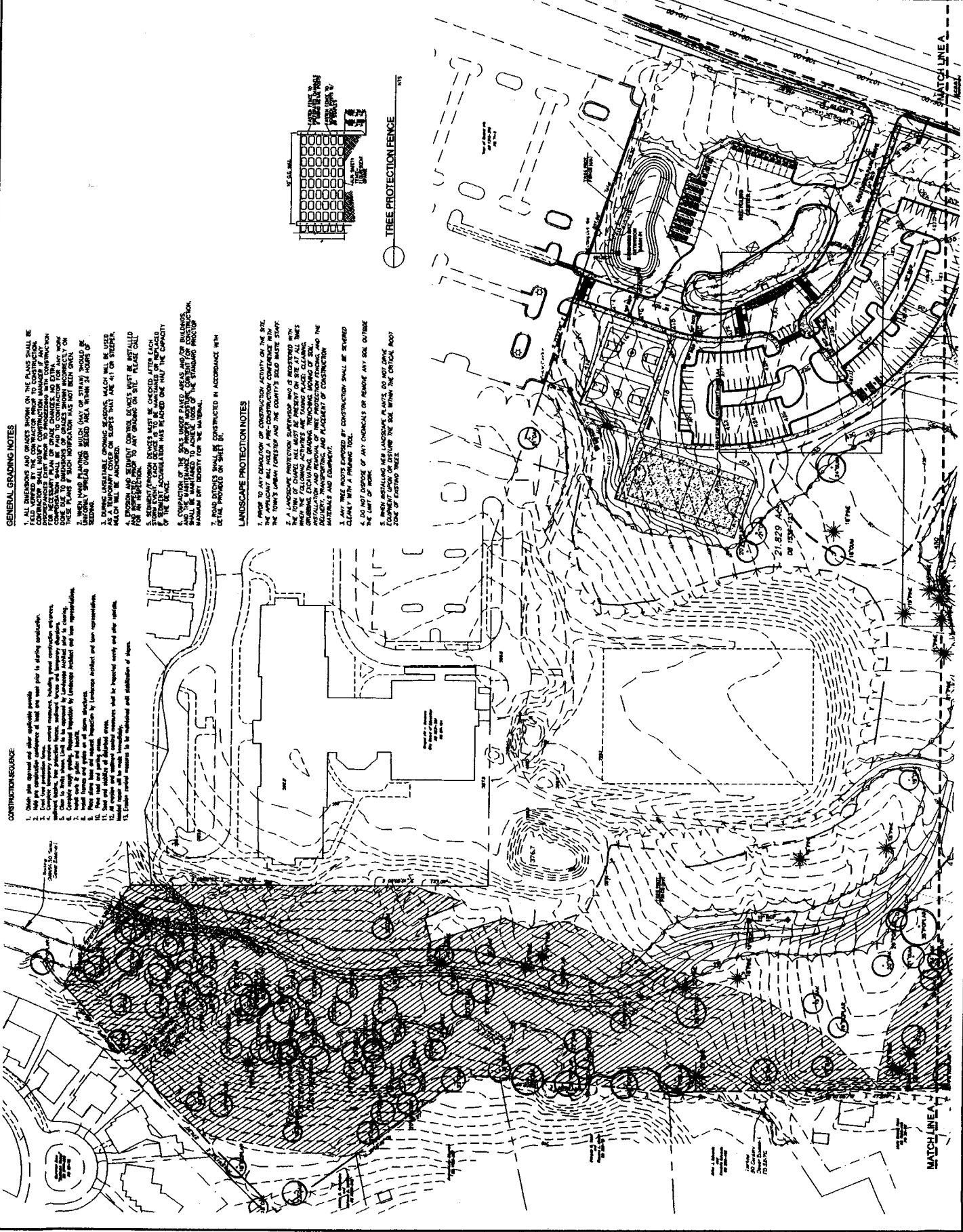


Professional Seal

No.	Description	Date

DATE ISSUED: 01.06.05
 SCALE: 1" = 50'
 DRAWN BY: GLENN
 CHECKED BY: BMS
 SHEET NO.

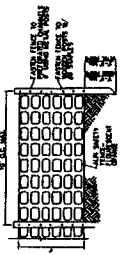
LA-6



- GENERAL GRADING NOTES**
1. ALL DIMENSIONS AND GRADES SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. DIMENSIONS SHALL BE TAKEN FROM THE PROVISIONAL SURVEY OF ANY CONSTRUCTION SHALL BE TAKEN FROM THE PROVISIONAL SURVEY OF ANY CONSTRUCTION SHALL BE TAKEN FROM THE PROVISIONAL SURVEY OF ANY CONSTRUCTION.
 2. WHEN FILING PLANS UNDER THESE RULES, THE CONTRACTOR SHALL SUBMIT A COPY OF THE PROVISIONAL SURVEY TO THE ENGINEER FOR REVIEW AND APPROVAL.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRADE WHEREVER POSSIBLE.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND LANDSCAPE FEATURES.
 8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE PATTERNS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE FEATURES.
 10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRADE WHEREVER POSSIBLE.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND LANDSCAPE FEATURES.
 12. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE PATTERNS.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE FEATURES.
 14. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRADE WHEREVER POSSIBLE.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND LANDSCAPE FEATURES.

- LANDSCAPE PROTECTION NOTES**
1. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE CONTRACTOR SHALL OBTAIN A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN'S GREEN ENGINEER AND THE COUNTY'S SOLID WASTE STAFF.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRADE WHEREVER POSSIBLE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND LANDSCAPE FEATURES.
 7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE PATTERNS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE FEATURES.
 9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRADE WHEREVER POSSIBLE.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND LANDSCAPE FEATURES.
 11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE PATTERNS.
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 13. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRADE WHEREVER POSSIBLE.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND LANDSCAPE FEATURES.
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 17. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRADE WHEREVER POSSIBLE.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND LANDSCAPE FEATURES.
 19. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE PATTERNS.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE FEATURES.

- CONSTRUCTION SEQUENCE**
1. Mobilize site and set up site offices.
 2. Clear site of existing vegetation.
 3. Install temporary erosion control measures.
 4. Excavate and grade site.
 5. Install permanent erosion control measures.
 6. Install drainage structures.
 7. Install retaining walls.
 8. Install paving.
 9. Install landscaping.
 10. Final site cleanup.
 11. Final site inspection.
 12. Final site report.
 13. Final site maintenance.
 14. Final site monitoring.
 15. Final site evaluation.



TREE PROTECTION FENCE

MATCH LINE

MATCH LINE



SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

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**GRADING, DRAINAGE
 AND RITE
 PROTECTION PLAN**
 Consultants
 MICHELL WESTWOOD, P.A.
 1000 W. WYOMING
 SUITE 301
 CHAPEL HILL, NC 27617
 P: 704.282.8855

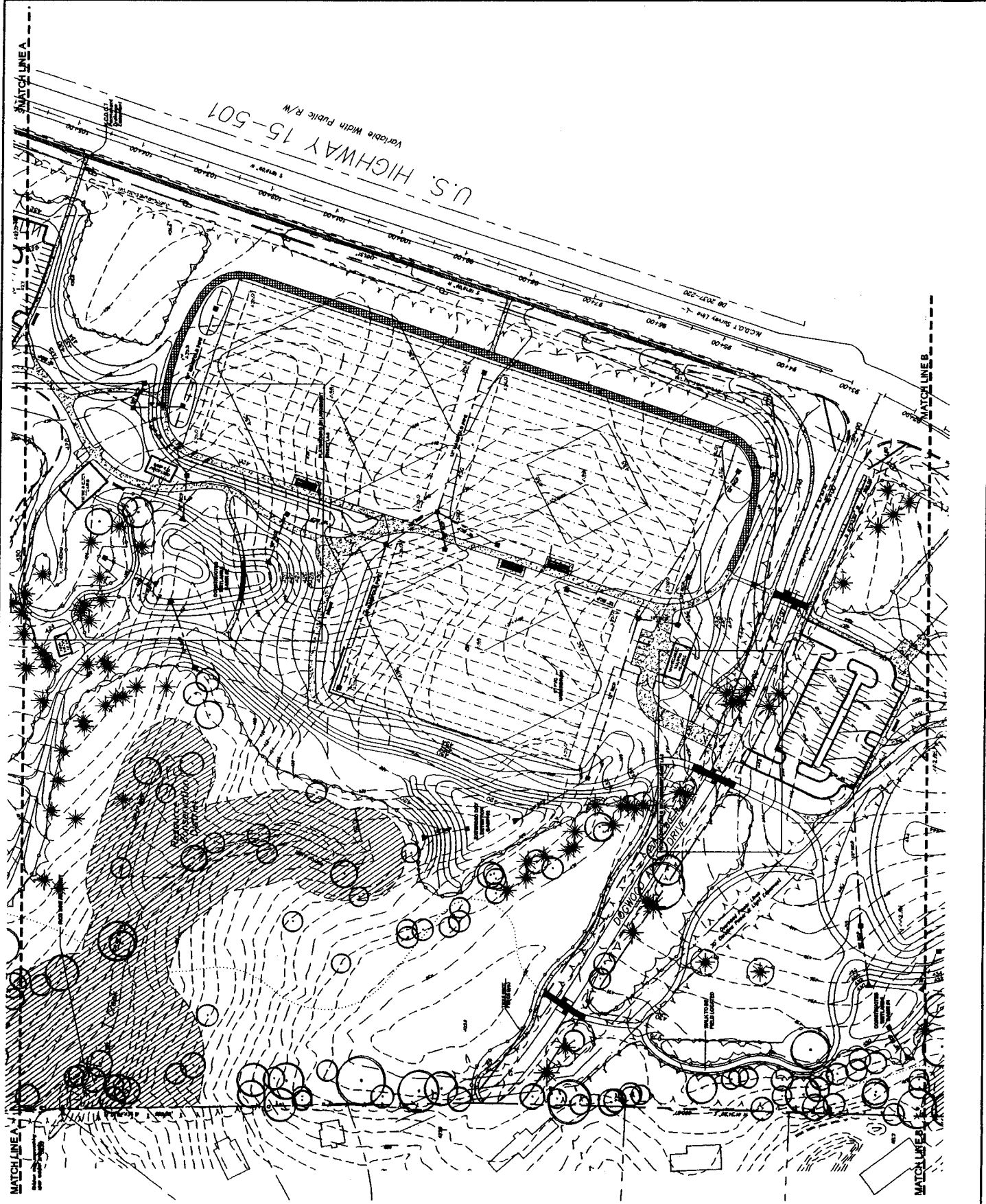


Professional Seals

No.	Description	Date	By

Date Issued: 07/08/05
 Scale: 1"=20'
 Drawn By: CEAS
 Checked By: BHS
 Sheet No.

LA-7





100 S. Park Street
 Suite 200
 Raleigh, NC 27601
 919.833.8888

SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

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**GRADING, DRAINAGE
 AND TREE
 PROTECTION PLAN**

Consultants
 SOUTHERN COMMUNITY PARK
 1700 LENOIR ROAD
 SUITE 200
 CHAPEL HILL, NC 27617
 P: 919.833.8888

Professional Seals

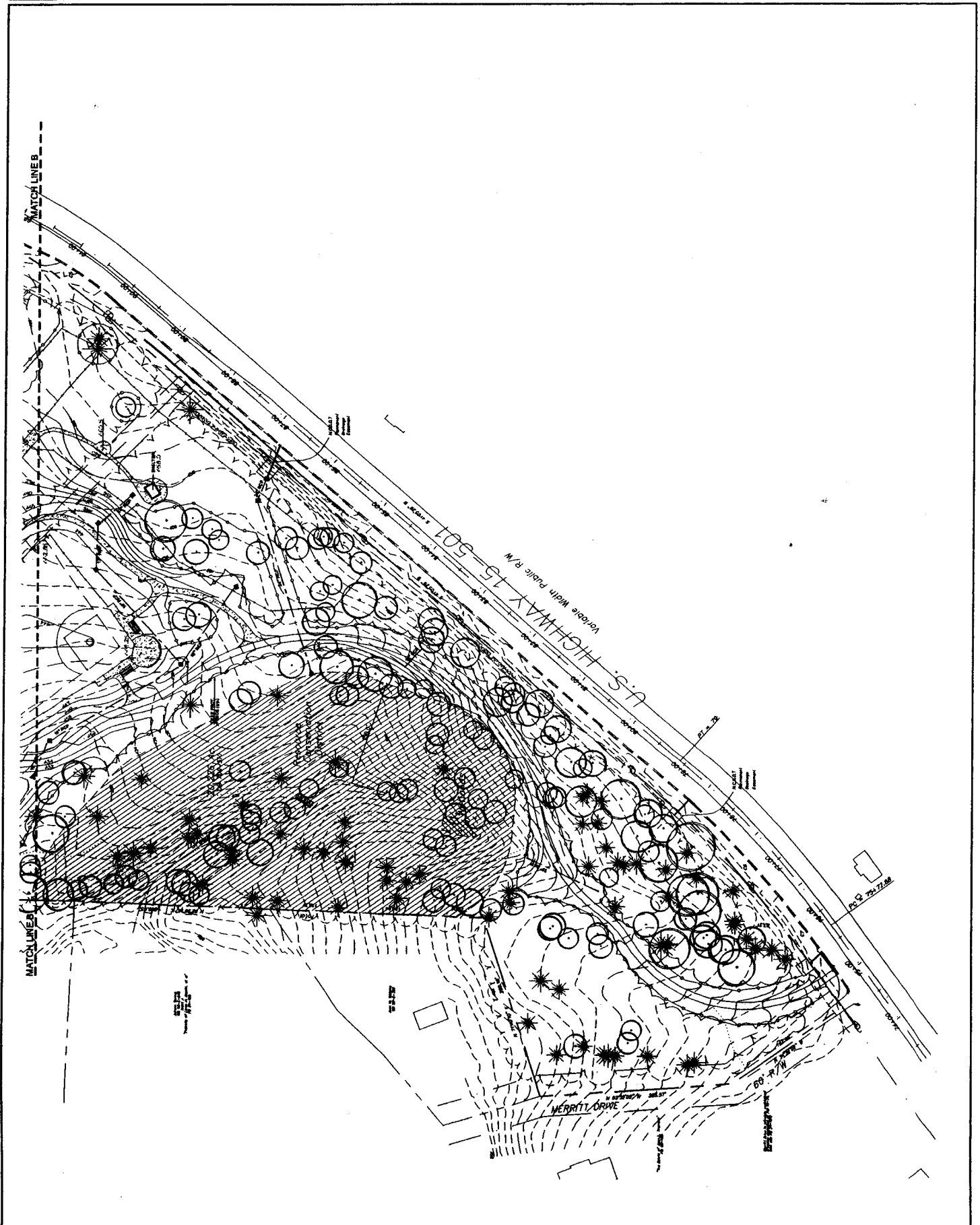


Revisions

No.	Description	Date	By

Date Issued: 01.08.05
 Scale: 1"=50'
 Drawn by: G.E.K.
 Checked by: BHS
 Sheet No.

LA-8





100 S. 1st Street
 Raleigh, NC 27601
 Tel: 919.286.1000

SOUTHERN COMMUNITY PARK
 CHAPEL HILL, NORTH CAROLINA
 SPECIAL USE PERMIT SUBMITTAL

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PLANTING PLAN

Consultants:
 CONSULTING ENGINEERS, PA
 1710 LEONARD ROAD
 SUITE 200
 FAYETTEVILLE, NORTH CAROLINA 28404
 P: 704.885.4000
 F: 704.885.4005

Professional Seals

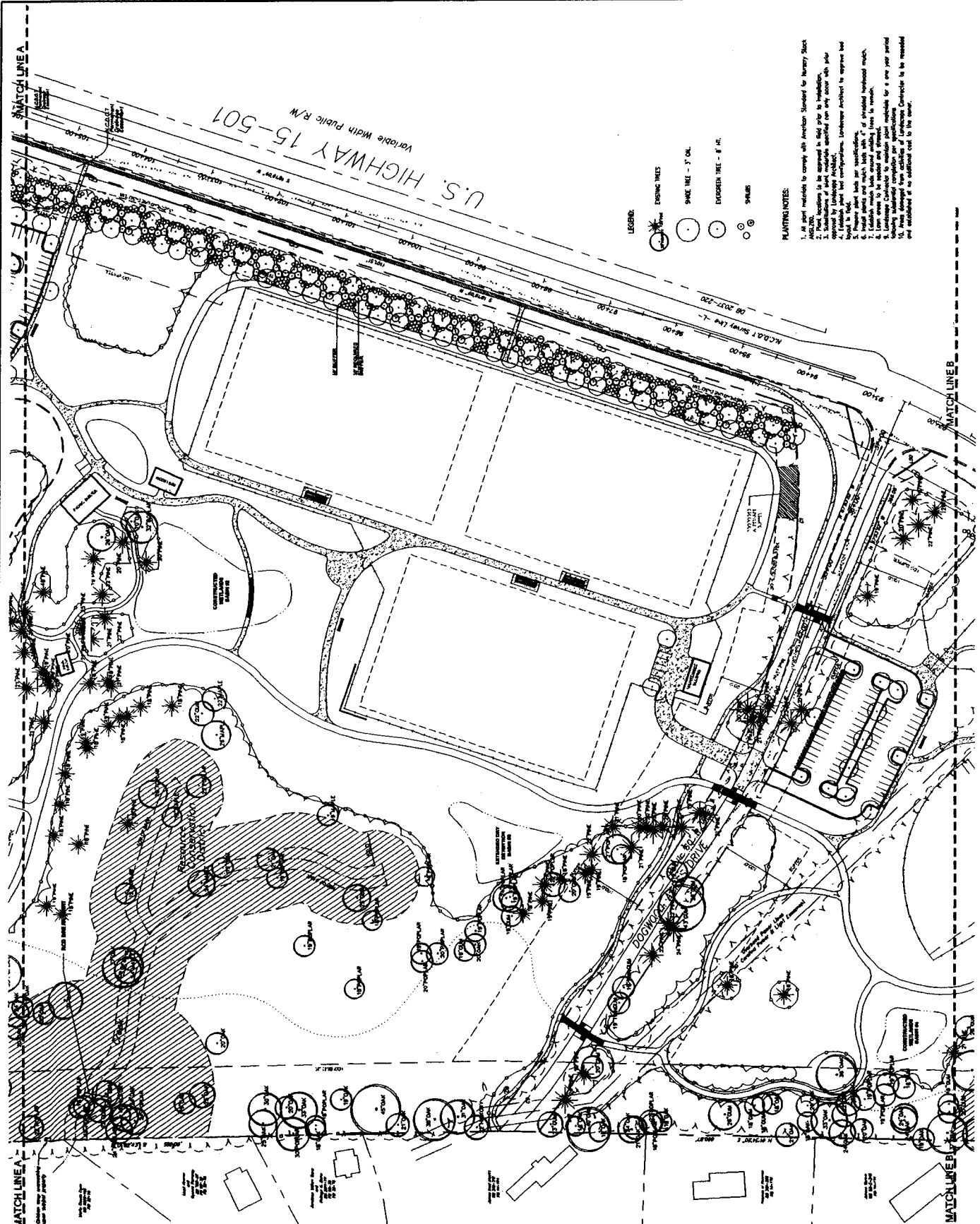


Revisions

No.	Description	Date

Date Issued: 01.06.05
 Scale: 1" = 50'
 Drawn By: CEJC
 Checked By: BHS
 Sheet No.

LA-10



- LEGEND:**
- EXISTING TREES
 - SMALL TREE - 7' DIA.
 - DOUGLASS TREES - 8" DIA.
 - SHRUBS

PLANTING NOTES:

- All plant material to comply with American Standard for Nursery Stock
- All trees to be installed in field prior to installation.
- Planting of all plant material shall be done only after the soil has been prepared.
- Provide plant bed preparation. Landscape Architect to prepare bed preparation details per specifications.
- Provide irrigation system to all trees.
- Install plants and mulch with 2" of mulched landscape mulch.
- Plant material to be installed and watered in place to ensure survival.
- Landscape Contractor to maintain plant materials for a one year period.
- Plant material to be installed and watered in place to ensure survival.
- Plant material to be installed and watered in place to ensure survival.

