

Approved Zoning Compliance Plans
48 Lots

LEGEND

EXISTING	NEW
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)
--- (Dashed line)	--- (Dashed line)

NOTES:

1. ALL NEW AND EXISTING UTILITIES SHALL BE SHOWN AT THE CORNER OF ALL LOTS TO BE SERVED.
2. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
3. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
4. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
5. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
6. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
7. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
8. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
9. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
10. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.

CHANGING WATER AND SEWER UTILITY RIGHTS FOR FRANKLIN GROVE

CIVIL CONSULTANTS INC.
3787 CARROLL PARKWAY, SUITE 201-1, CHAPEL HILL, NC 27517

FRANKLIN GROVE
CHapel Hill, North Carolina
WATER & SEWER PLAN

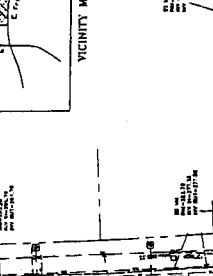
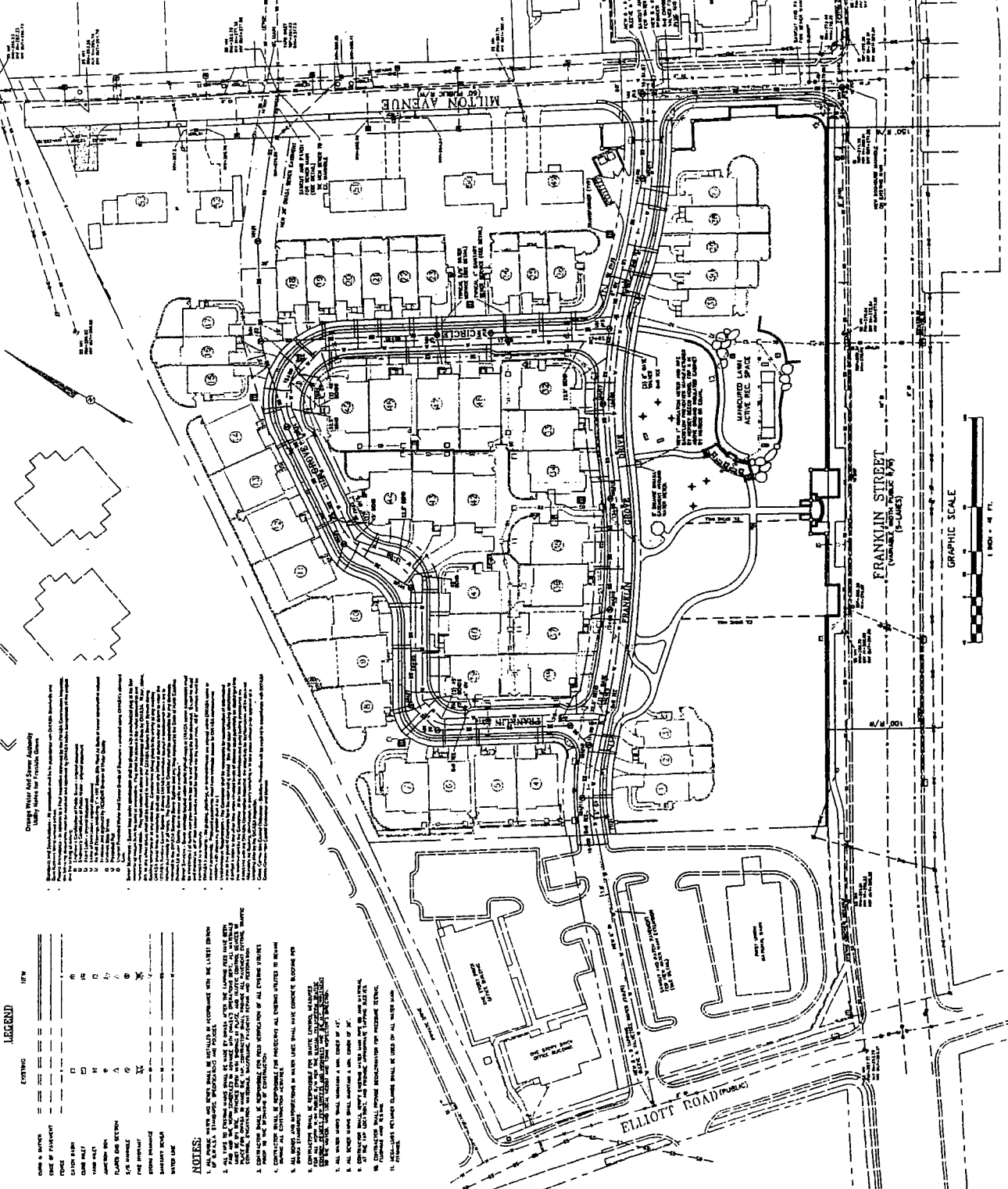
CS

ATTACHMENT 13

DESCRIPTION

DATE	DESCRIPTION
11/14/19	ISSUE FOR PERMITS
08/27/19	ISSUE FOR PERMITS
07/11/19	ISSUE FOR PERMITS
06/14/19	ISSUE FOR PERMITS
05/01/19	ISSUE FOR PERMITS
04/01/19	ISSUE FOR PERMITS

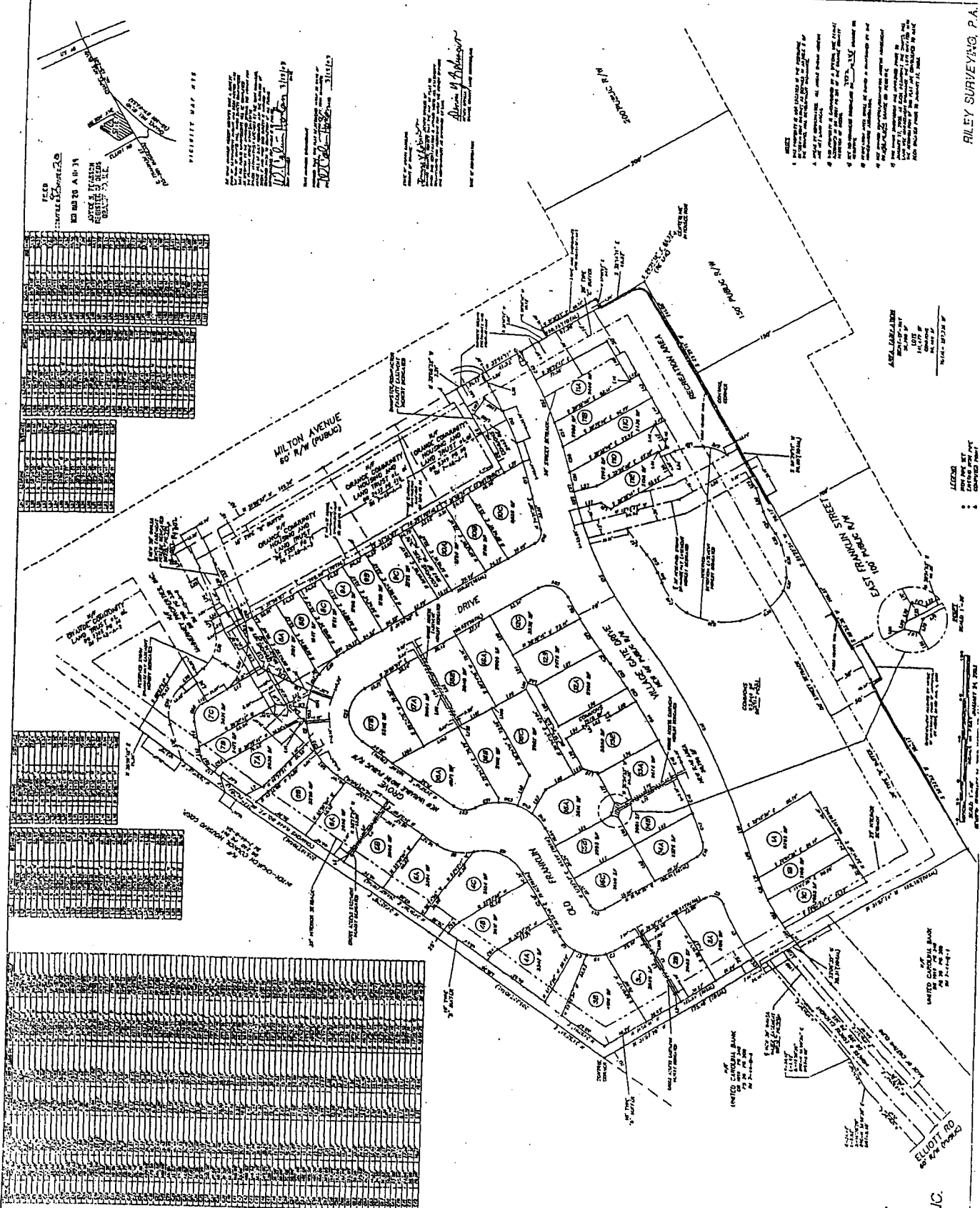
1 OF 21



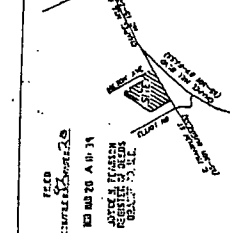
NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPROPRIATE AGENCIES.
2. ALL UTILITIES SHALL BE SHOWN AT THE CORNER OF ALL LOTS TO BE SERVED.
3. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
4. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
5. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
6. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
7. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
8. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
9. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.
10. ALL NEW AND EXISTING UTILITIES SHALL HAVE SUFFICIENT CLEARANCE OVER THE PROJECT.

Approved and Recorded Plat
48 Lots



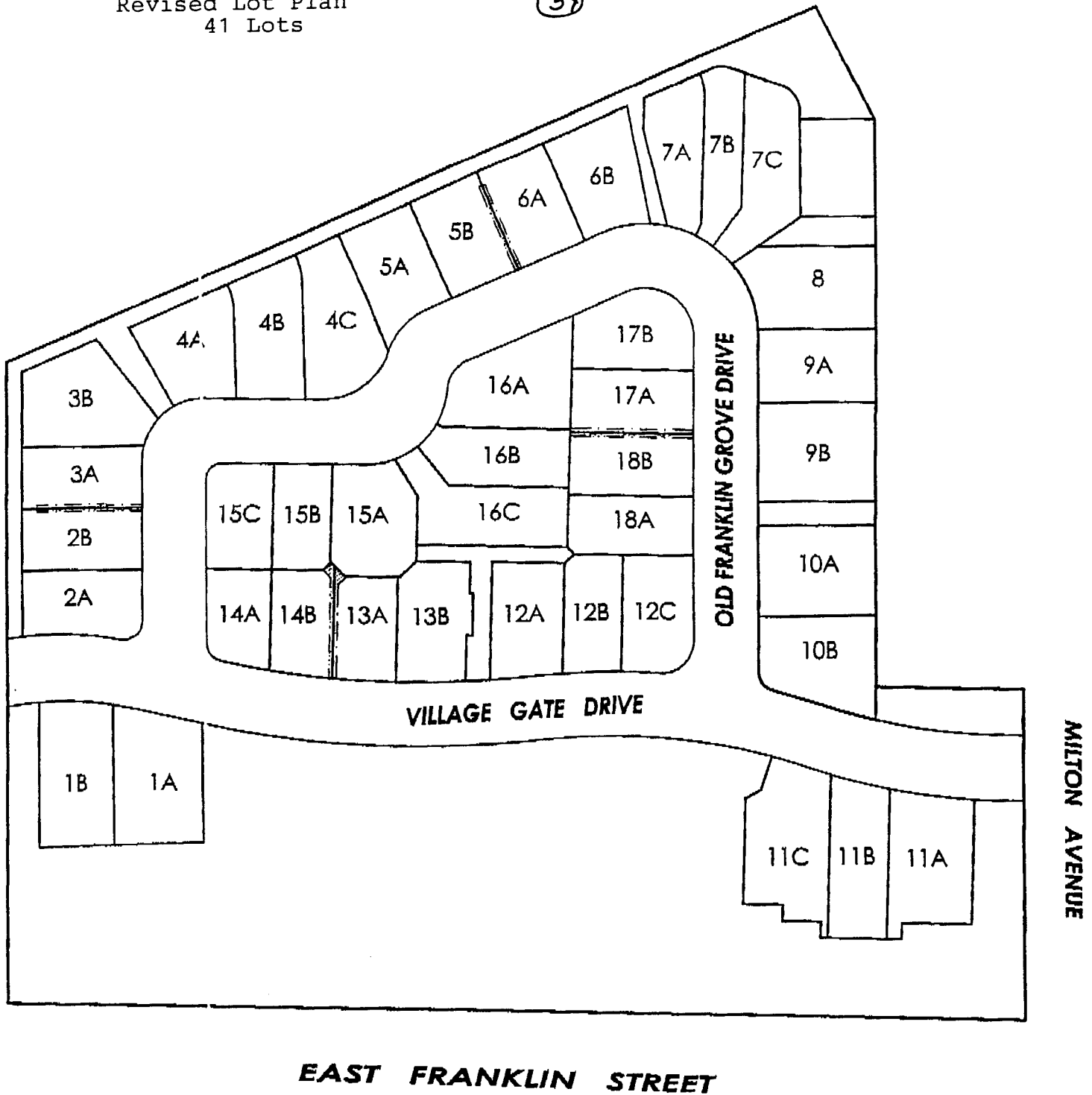
Final Plat
FRANKLIN GROVE
A Township in Jefferson
SARCOM VENTURES, INC.
Various signatures, stamps, and legal notices.



NEIGHBORHOOD MAP #112
MILTON AVENUE
Various descriptive text and notes.

NOTICE
The undersigned, being duly sworn, depose and say that the foregoing is a true and correct copy of the original plat as shown to him by the person who presented it for recording, and that he is a member of the Surveying Board of the State of Pennsylvania.

RILEY SURVEYING, P.A.



FRANKLIN GROVE
A LUXURY TOWNHOME COMMUNITY

CAPKOV VENTURES, INC.
A KOVENS COMPANY
919-968-4496

Franklin Grove

Chapel Hill, North Carolina
Kovens Construction Company

Phase I

DEVELOPER &
GENERAL CONTRACTOR:
KOVENS
203 STABLE RD.
CARRBORO, NC 27510
(919) 942-8005



ARCHITECT:
CLINE DESIGN ASSOCIATES, P.A.
125 N. HARRINGTON ST.
RALEIGH, NC 27603
(919) 833-6413

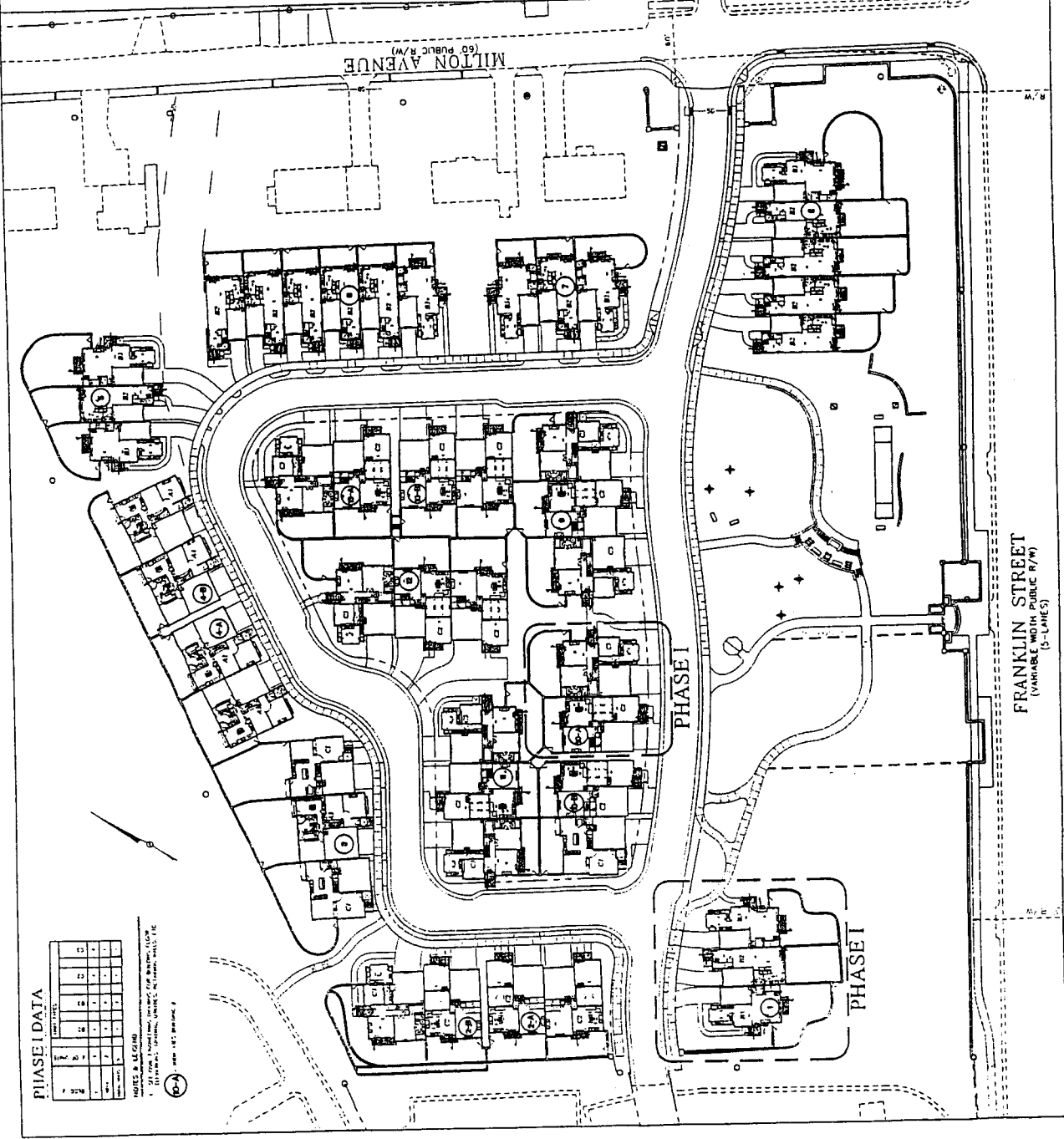


STRUCTURAL ENGINEER
STEWART ENGINEERING INC.
2000 AERIAL CENTER PARKWAY
SUITE 118
MORRISVILLE, NC 27560
(919) 380-8750

35

LIST OF DRAWINGS

ARCHITECTURAL	
G101	COVER SHEET
A001	PROJECT DATA SHEET
A101	UNIT TYPE B1 PLANS
A102	UNIT TYPE B2 SECTION AND INTERIOR ELEVATIONS
A103	UNIT TYPE B3 PLANS
A104	UNIT TYPE B3 SECTION AND INTERIOR ELEVATIONS
A105	UNIT TYPE C1 PLANS
A106	UNIT TYPE C2 SECTION AND INTERIOR ELEVATIONS
A107	UNIT TYPE C3 PLANS
A108	UNIT TYPE C3 SECTION AND INTERIOR ELEVATIONS
A109	UNIT TYPE C3 ROOF PLAN, SECTION, AND INTERIOR ELEVATIONS
A110	BUILDING #10A FIRST, SECOND, ATTIC, AND ROOF PLANS
A201	BUILDING #10A ELEVATIONS
A301	BUILDING #10A ELEVATIONS
A302	WALL SECTIONS AND DETAILS
A303	SECTION AND DETAILS
A304	SECTION AND DETAILS
E101	UNIT B1 LIGHTING PLANS
E102	UNIT B3 LIGHTING PLANS
E103	UNIT C2 LIGHTING PLANS
E104	UNIT C3 LIGHTING PLANS
E105	UNIT C3 LIGHTING PLAN
STRUCTURAL	
S101	GENERAL NOTES
S201	FOUNDATION PLAN
S202	FOUNDATION PLAN
S301	1ST FLOOR FRAMING PLAN
S302	1ST FLOOR FRAMING PLAN
S303	2ND FLOOR FRAMING PLAN
S304	2ND FLOOR FRAMING PLAN
S305	3RD FLOOR FRAMING PLAN
S306	3RD FLOOR FRAMING PLAN
S307	ROOF FRAMING PLAN
S308	ROOF FRAMING PLAN
S401	SHEAR WALL SCHEDULES & DETAILS
S402	SHEAR WALL ELEVATIONS



PHASE I DATA

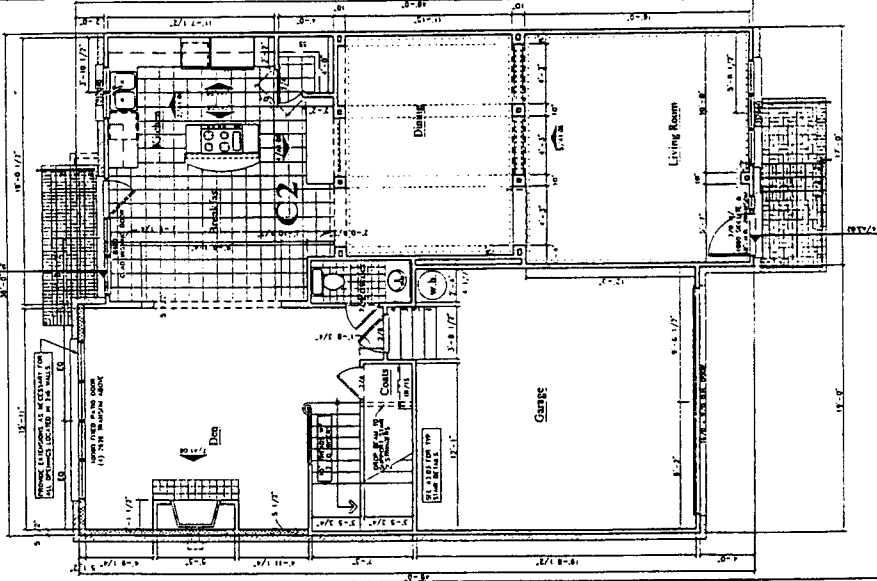
UNIT TYPE	NO. OF UNITS	TOTAL SQ. FT.
B1	12	12,000
B2	12	12,000
B3	12	12,000
C1	12	12,000
C2	12	12,000
C3	12	12,000
TOTAL	72	72,000

NOTES & LEGEND:
1. ALL UNITS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2015 IBC.
2. ALL UNITS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2015 IBC.
3. ALL UNITS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2015 IBC.

FRANKLIN STREET
(Variable Width Public R/W)
(6'-LANES)

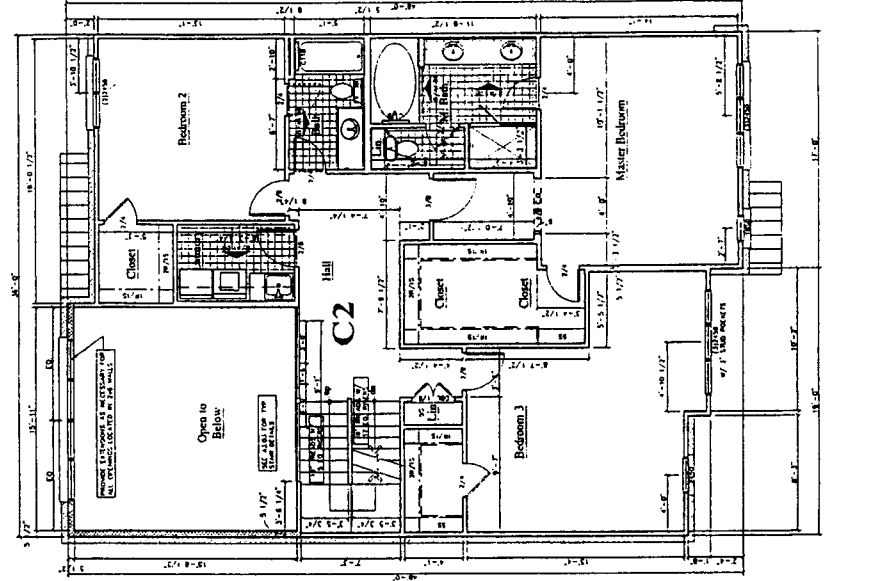
<p>ENERGY REQUIREMENTS</p> <p>APPROXIMATE ENERGY REQUIREMENTS HEATING: 100,000 BTU/yr (1000 sq ft @ 100 BTU/sq ft) COOLING: 50,000 BTU/yr (500 sq ft @ 100 BTU/sq ft) WATER HEATING: 10,000 BTU/yr (1000 sq ft @ 10 BTU/sq ft) LIGHTING: 10,000 kWh/yr (1000 sq ft @ 10 kWh/sq ft) MECHANICAL: 10,000 kWh/yr (1000 sq ft @ 10 kWh/sq ft)</p>	<p>2 ENERGY REQUIREMENTS</p>	<p>1 VICINITY MAP</p>																																																
<p>APPENDIX B - BUILDING CODE SUMMARY</p> <p>APPROXIMATE BUILDING CODE SUMMARY STRUCTURAL: 1989 International Building Code (IBC) with 2001 amendments MECHANICAL: 1997 ASHRAE Handbook - HVAC Applications ELECTRICAL: 1999 National Electrical Code (NEC) PLUMBING: 1995 International Plumbing Code (IPC) MECHANICAL: 1997 ASHRAE Handbook - HVAC Applications INSULATION: 1989 International Building Code (IBC) with 2001 amendments</p>	<p>4 BUILDING CODE SUMMARY</p> <p>STRUCTURAL: 1989 International Building Code (IBC) with 2001 amendments MECHANICAL: 1997 ASHRAE Handbook - HVAC Applications ELECTRICAL: 1999 National Electrical Code (NEC) PLUMBING: 1995 International Plumbing Code (IPC) MECHANICAL: 1997 ASHRAE Handbook - HVAC Applications INSULATION: 1989 International Building Code (IBC) with 2001 amendments</p>	<p>3 GENERAL NOTES</p> <ol style="list-style-type: none"> GENERAL NOTES ONLY APPLICABLE TO THIS PROJECT. ALL OTHERS ARE TO BE OBTAINED FROM THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES BEFORE BEGINNING WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL ELECTRICAL CODE (NEC). ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL ELECTRICAL CODE (NEC). ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL ELECTRICAL CODE (NEC). ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL ELECTRICAL CODE (NEC). ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL ELECTRICAL CODE (NEC). ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED. 																																																
<p>Design No. 0305</p>	<p>UL ASSEMBLIES</p>	<p>6 ARCHIT. SYMBOLS</p>																																																
<p>3/4\"/> </p>	<p>7 MATERIAL GRAPHICS</p>	<p>8 ABBREVIATIONS</p> <table border="0"> <tr> <td>AC</td> <td>ACROUSTIC CEILING</td> </tr> <tr> <td>AD</td> <td>ADJUSTABLE DRAPES</td> </tr> <tr> <td>AE</td> <td>ADJUSTABLE EXTERIOR BLINDS</td> </tr> <tr> <td>AF</td> <td>ADJUSTABLE FINISH</td> </tr> <tr> <td>AG</td> <td>ADJUSTABLE GLASS</td> </tr> <tr> <td>AH</td> <td>ADJUSTABLE HANDLE</td> </tr> <tr> <td>AI</td> <td>ADJUSTABLE INTERIOR BLINDS</td> </tr> <tr> <td>AJ</td> <td>ADJUSTABLE JAMB</td> </tr> <tr> <td>AK</td> <td>ADJUSTABLE KICKER</td> </tr> <tr> <td>AL</td> <td>ADJUSTABLE LAMP</td> </tr> <tr> <td>AM</td> <td>ADJUSTABLE MOUNTING</td> </tr> <tr> <td>AN</td> <td>ADJUSTABLE NOSE</td> </tr> <tr> <td>AO</td> <td>ADJUSTABLE OILING</td> </tr> <tr> <td>AP</td> <td>ADJUSTABLE PANEL</td> </tr> <tr> <td>AQ</td> <td>ADJUSTABLE PAPER</td> </tr> <tr> <td>AR</td> <td>ADJUSTABLE RAIL</td> </tr> <tr> <td>AS</td> <td>ADJUSTABLE SILL</td> </tr> <tr> <td>AT</td> <td>ADJUSTABLE TRIM</td> </tr> <tr> <td>AU</td> <td>ADJUSTABLE UNDERLAY</td> </tr> <tr> <td>AV</td> <td>ADJUSTABLE VENEER</td> </tr> <tr> <td>AW</td> <td>ADJUSTABLE WALL</td> </tr> <tr> <td>AX</td> <td>ADJUSTABLE WINDOW</td> </tr> <tr> <td>AY</td> <td>ADJUSTABLE YARD</td> </tr> <tr> <td>AZ</td> <td>ADJUSTABLE ZONE</td> </tr> </table>	AC	ACROUSTIC CEILING	AD	ADJUSTABLE DRAPES	AE	ADJUSTABLE EXTERIOR BLINDS	AF	ADJUSTABLE FINISH	AG	ADJUSTABLE GLASS	AH	ADJUSTABLE HANDLE	AI	ADJUSTABLE INTERIOR BLINDS	AJ	ADJUSTABLE JAMB	AK	ADJUSTABLE KICKER	AL	ADJUSTABLE LAMP	AM	ADJUSTABLE MOUNTING	AN	ADJUSTABLE NOSE	AO	ADJUSTABLE OILING	AP	ADJUSTABLE PANEL	AQ	ADJUSTABLE PAPER	AR	ADJUSTABLE RAIL	AS	ADJUSTABLE SILL	AT	ADJUSTABLE TRIM	AU	ADJUSTABLE UNDERLAY	AV	ADJUSTABLE VENEER	AW	ADJUSTABLE WALL	AX	ADJUSTABLE WINDOW	AY	ADJUSTABLE YARD	AZ	ADJUSTABLE ZONE
AC	ACROUSTIC CEILING																																																	
AD	ADJUSTABLE DRAPES																																																	
AE	ADJUSTABLE EXTERIOR BLINDS																																																	
AF	ADJUSTABLE FINISH																																																	
AG	ADJUSTABLE GLASS																																																	
AH	ADJUSTABLE HANDLE																																																	
AI	ADJUSTABLE INTERIOR BLINDS																																																	
AJ	ADJUSTABLE JAMB																																																	
AK	ADJUSTABLE KICKER																																																	
AL	ADJUSTABLE LAMP																																																	
AM	ADJUSTABLE MOUNTING																																																	
AN	ADJUSTABLE NOSE																																																	
AO	ADJUSTABLE OILING																																																	
AP	ADJUSTABLE PANEL																																																	
AQ	ADJUSTABLE PAPER																																																	
AR	ADJUSTABLE RAIL																																																	
AS	ADJUSTABLE SILL																																																	
AT	ADJUSTABLE TRIM																																																	
AU	ADJUSTABLE UNDERLAY																																																	
AV	ADJUSTABLE VENEER																																																	
AW	ADJUSTABLE WALL																																																	
AX	ADJUSTABLE WINDOW																																																	
AY	ADJUSTABLE YARD																																																	
AZ	ADJUSTABLE ZONE																																																	

- NOTES:**
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 6. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 7. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 8. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 9. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 10. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 11. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 12. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 13. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 14. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 15. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 16. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 17. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 18. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 19. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.
 20. ALL DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.

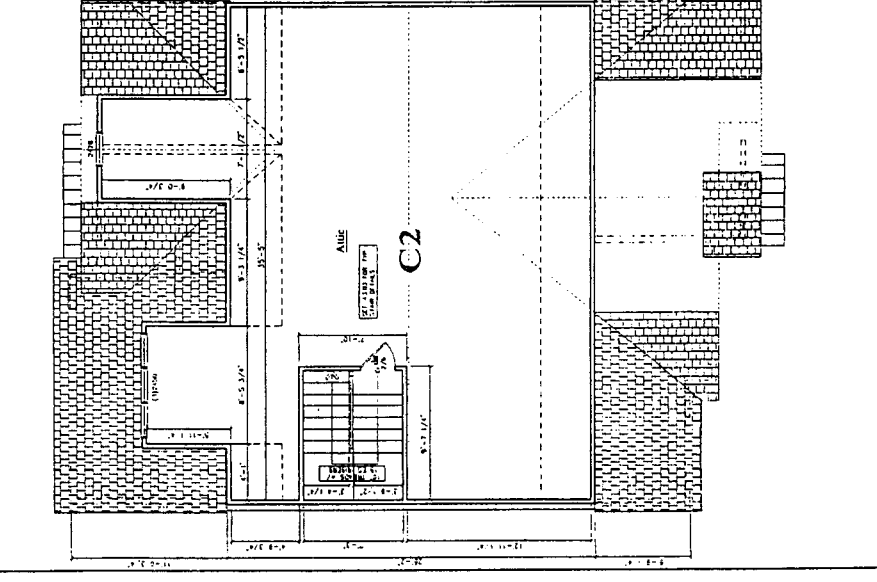


1 UNIT 'C2' FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

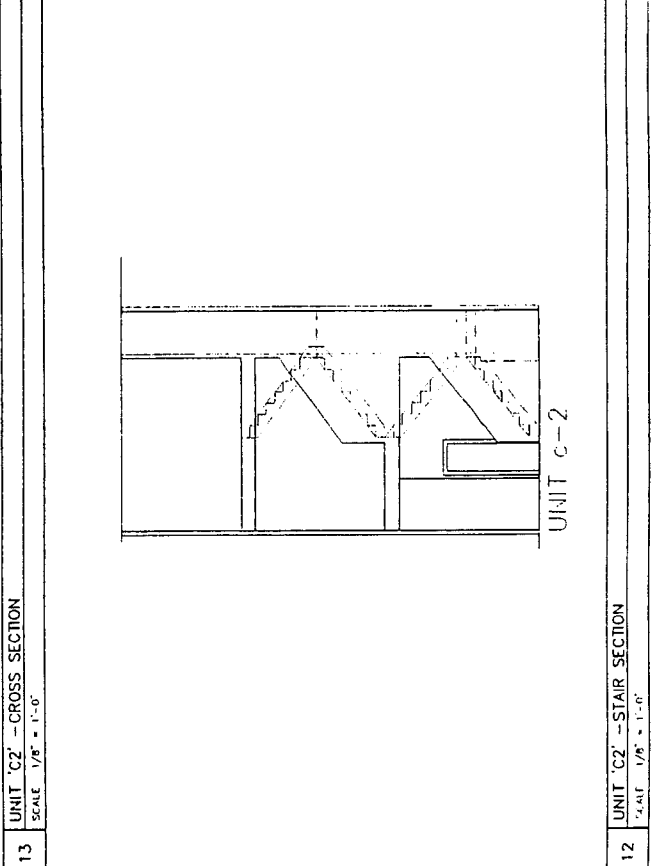
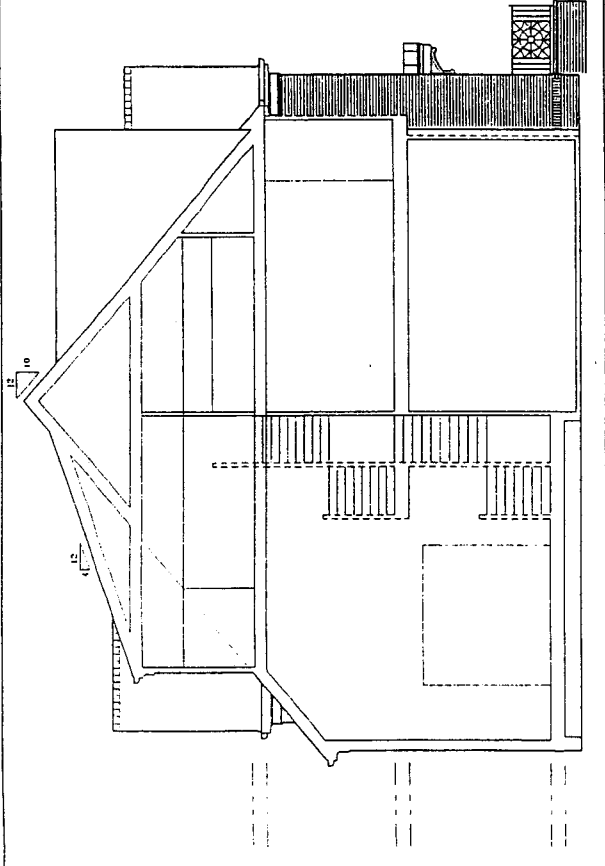
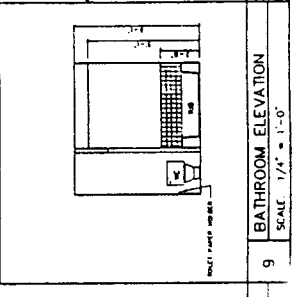
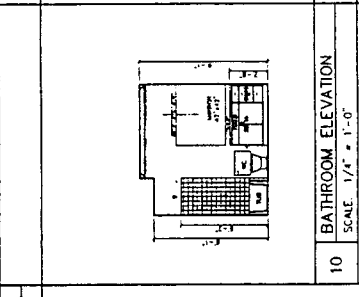
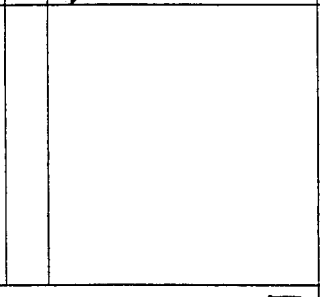
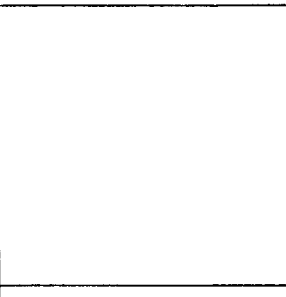
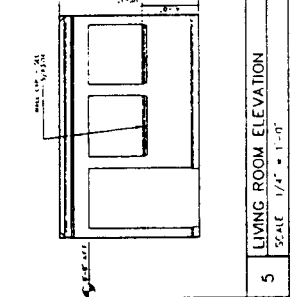
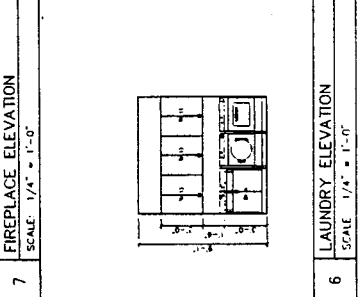
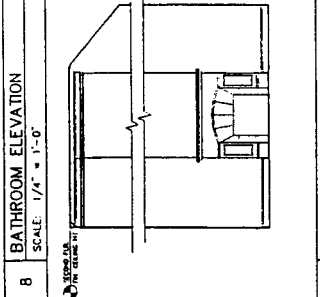
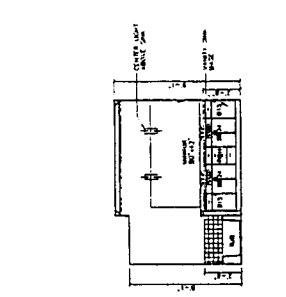
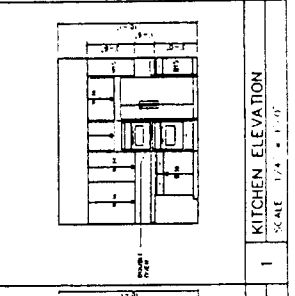
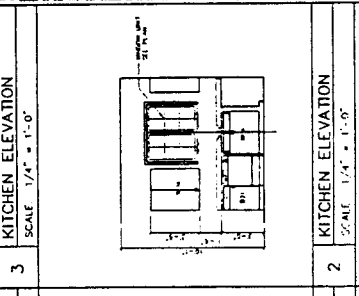
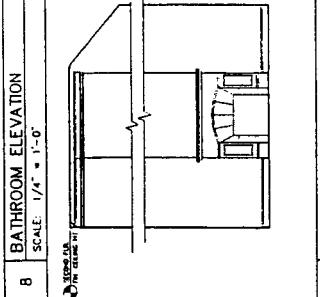
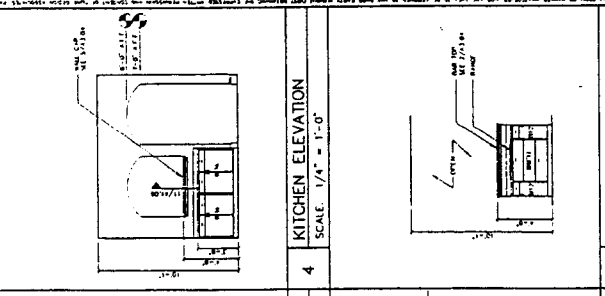
- EXISTING CONDITIONS - SEE SCHEDULE**
- WALLS - 4" CMU
 - DOORS - 1 3/4" MIN. THICK
 - WINDOWS - 1 3/4" MIN. THICK
 - FLOORS - 4" CONCRETE ON 8" GRAVEL
 - CEILING - 8" CONCRETE
 - ROOF - 4" CONCRETE ON 8" GRAVEL
 - MECHANICAL - SEE SCHEDULE
 - ELECTRICAL - SEE SCHEDULE
 - PLUMBING - SEE SCHEDULE
 - HVAC - SEE SCHEDULE
 - FINISHES - SEE SCHEDULE



2 UNIT 'C2' SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 UNIT 'C2' ATTIC PLAN
SCALE: 1/4" = 1'-0"



13 UNIT 'C2' - CROSS SECTION
SCALE: 1/8" = 1'-0"

12 UNIT 'C2' - STAIR SECTION
SCALE: 1/8" = 1'-0"

NOTES:

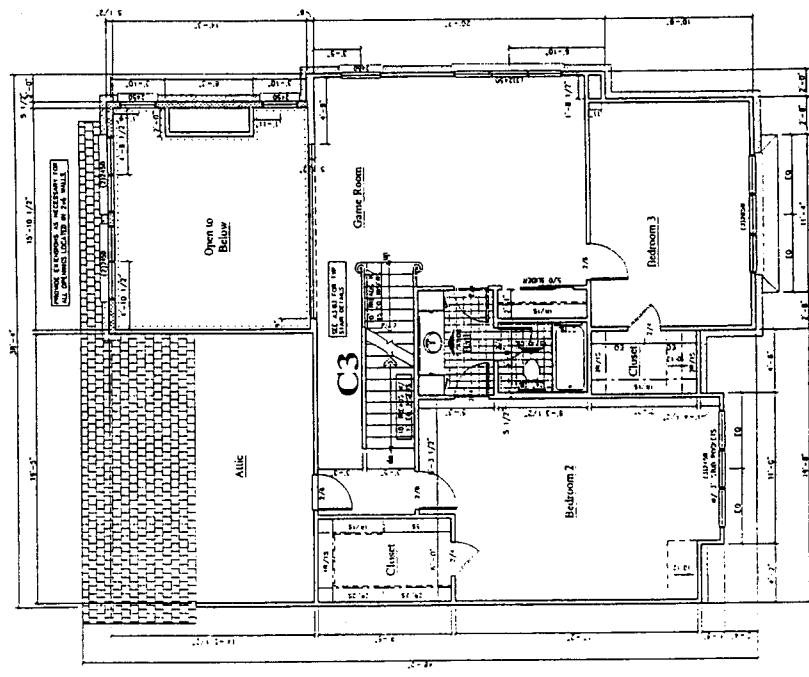
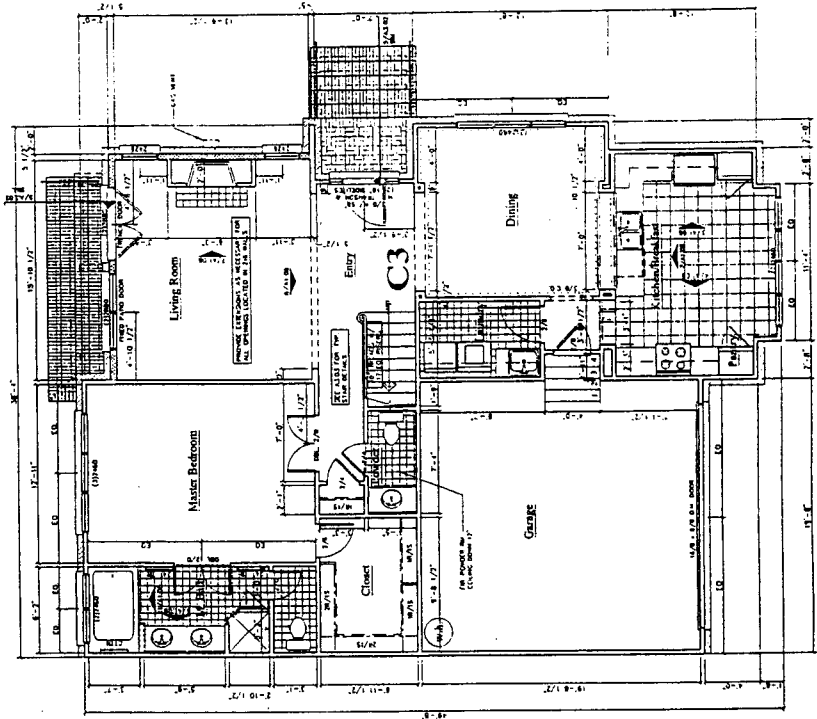
- All openings shown on this plan are to be finished with metal mesh screening unless otherwise noted.
- Finish materials to be used shall be as indicated on this plan. All materials shall be approved by the Architect.
- Floor finishes to be used shall be as indicated on this plan. All materials shall be approved by the Architect.
- Doors shall be as indicated on this plan. All materials shall be approved by the Architect.
- Windows shall be as indicated on this plan. All materials shall be approved by the Architect.
- All dimensions are to the centerline unless otherwise noted.
- See Schedule for material specifications.
- See Schedule for finish specifications.
- See Schedule for door and window specifications.
- See Schedule for cabinet and countertop specifications.
- See Schedule for lighting specifications.
- See Schedule for plumbing specifications.
- See Schedule for electrical specifications.
- See Schedule for mechanical specifications.
- See Schedule for miscellaneous specifications.

LEGEND:

--- FINISH LINE ---
--- EXISTING FINISH LINE ---
--- EXISTING WALL ---
--- EXISTING DOOR ---
--- EXISTING WINDOW ---
--- EXISTING CLOSET ---
--- EXISTING STAIR ---
--- EXISTING ELEVATOR ---
--- EXISTING BALCONY ---
--- EXISTING TERRACE ---
--- EXISTING DRIVEWAY ---
--- EXISTING GARAGE ---
--- EXISTING PORCH ---
--- EXISTING PATIO ---
--- EXISTING DECK ---
--- EXISTING FENCE ---
--- EXISTING FURNITURE ---
--- EXISTING APPLIANCES ---
--- EXISTING LIGHTING ---
--- EXISTING MECHANICAL ---
--- EXISTING ELECTRICAL ---
--- EXISTING MISC. ---

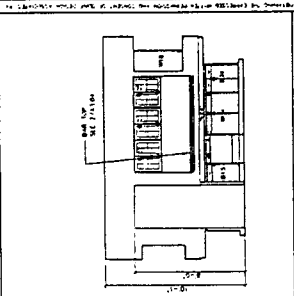
GENERAL BUILDING SCHEDULE

NAME: J.R. EMC
DATE: 09/10/07
SCALE: 1/4" = 1'-0"

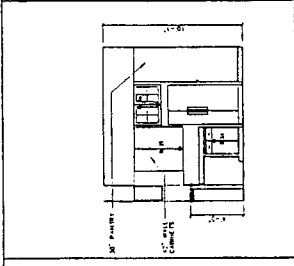


1 UNIT 'C3' FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

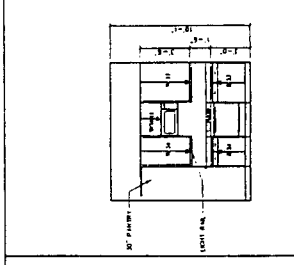
1 UNIT 'C3' SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



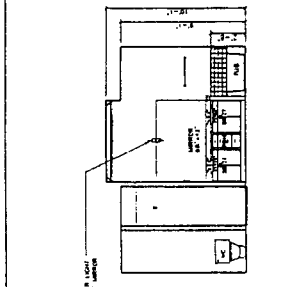
2 KITCHEN ELEVATION
SCALE: 1/4" = 1'-0"



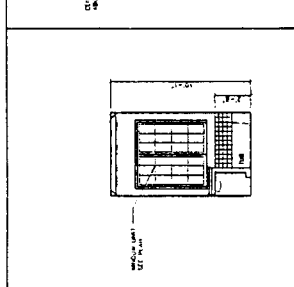
3 KITCHEN ELEVATION
SCALE: 1/4" = 1'-0"



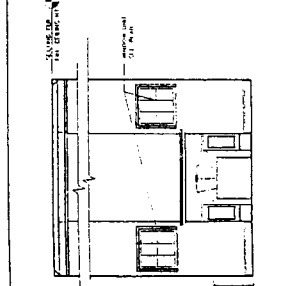
4 KITCHEN ELEVATION
SCALE: 1/4" = 1'-0"



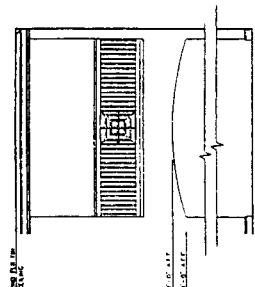
5 BATHROOM ELEVATION
SCALE: 1/4" = 1'-0"



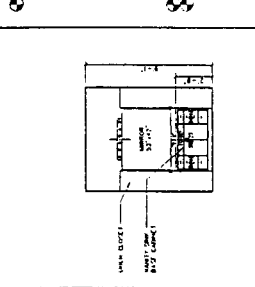
6 BATHROOM ELEVATION
SCALE: 1/4" = 1'-0"



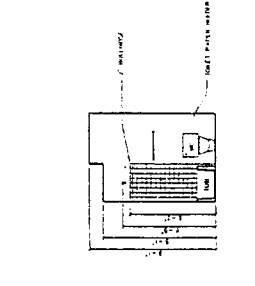
7 FIREPLACE ELEVATION
SCALE: 1/4" = 1'-0"



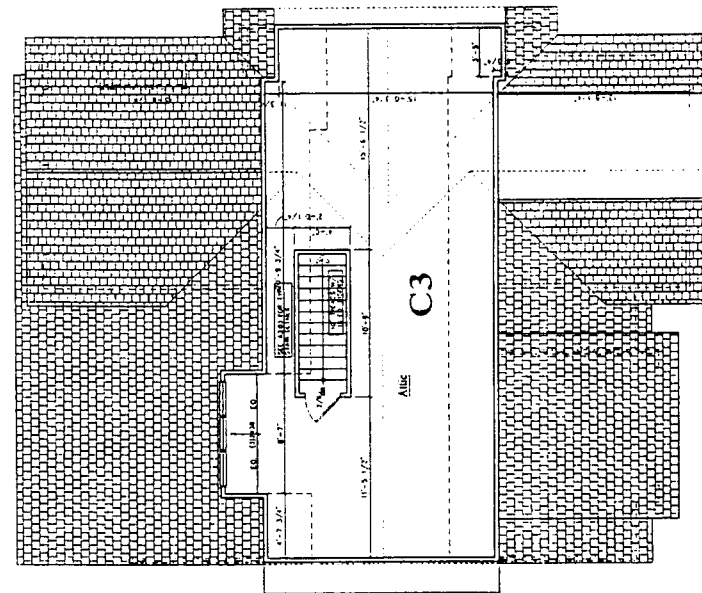
8 LIVING ROOM ELEVATION
SCALE: 1/4" = 1'-0"



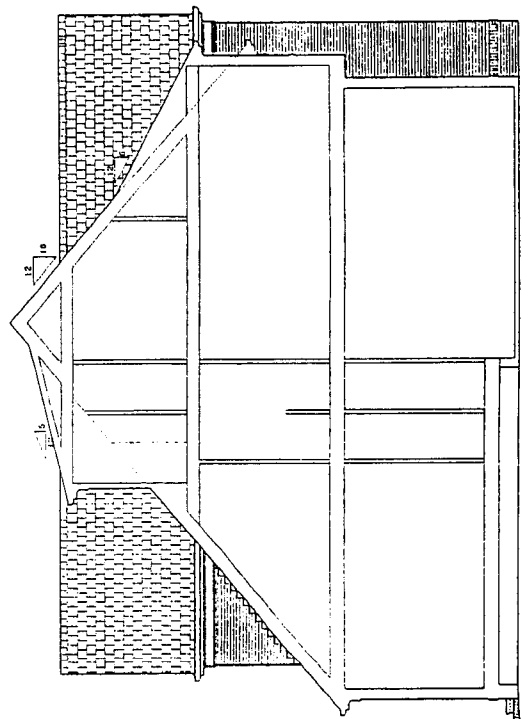
9 BATHROOM ELEVATION
SCALE: 1/4" = 1'-0"



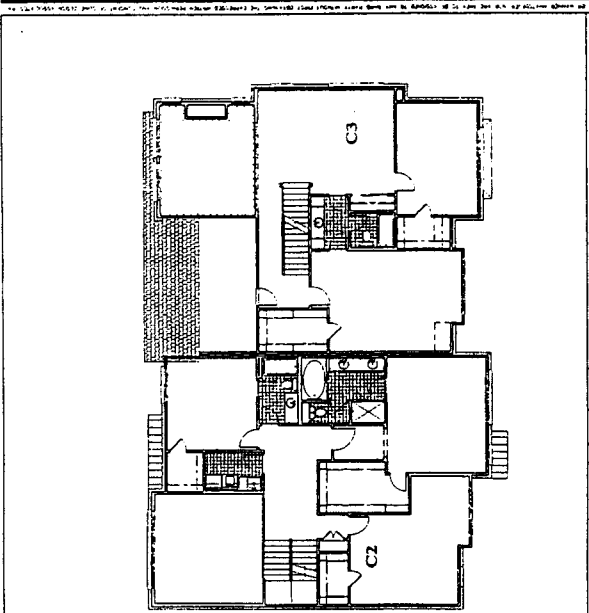
10 BATHROOM ELEVATION
SCALE: 1/4" = 1'-0"



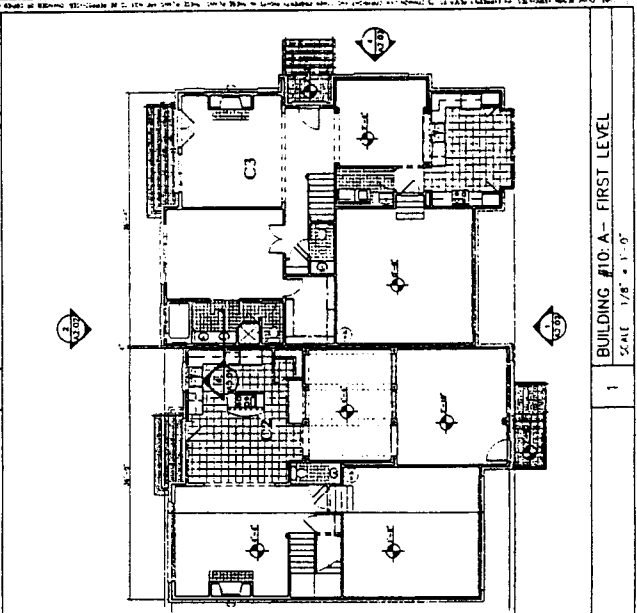
1 UNIT 'C3' - CROSS SECTION
SCALE: 1/8" = 1'-0"



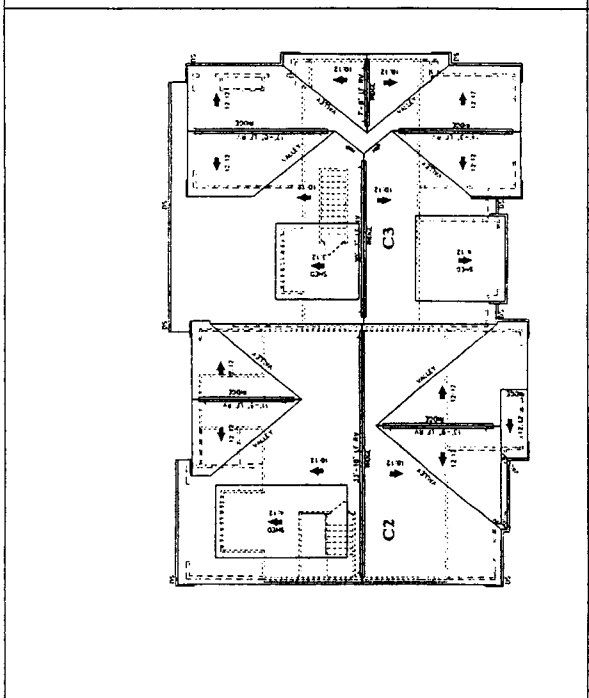
11 UNIT 'C3' - CROSS SECTION
SCALE: 1/8" = 1'-0"



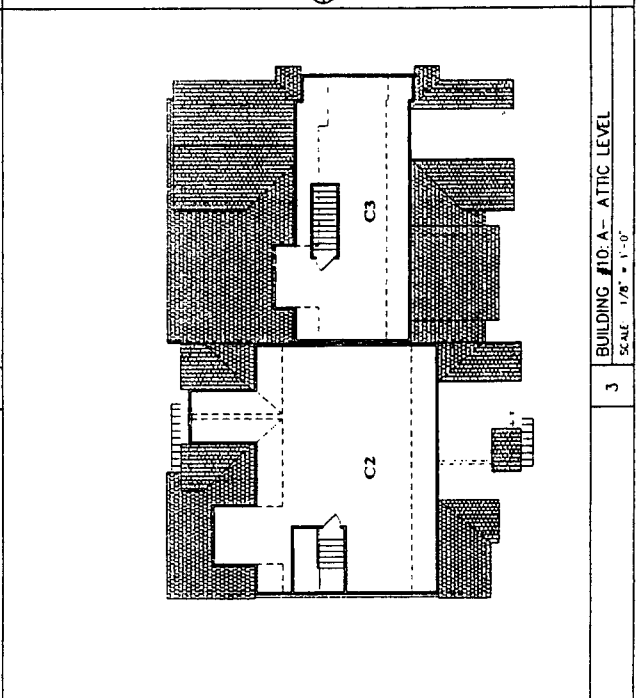
2 BUILDING #10-A - SECOND LEVEL
SCALE: 1/8" = 1'-0"



1 BUILDING #10-A - FIRST LEVEL
SCALE: 1/8" = 1'-0"



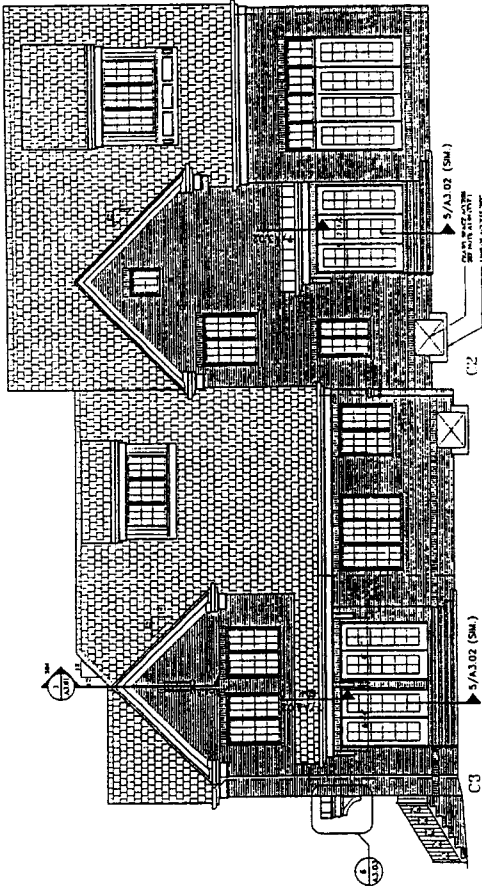
3 BUILDING #10-A - ROOF PLAN
SCALE: 1/8" = 1'-0"



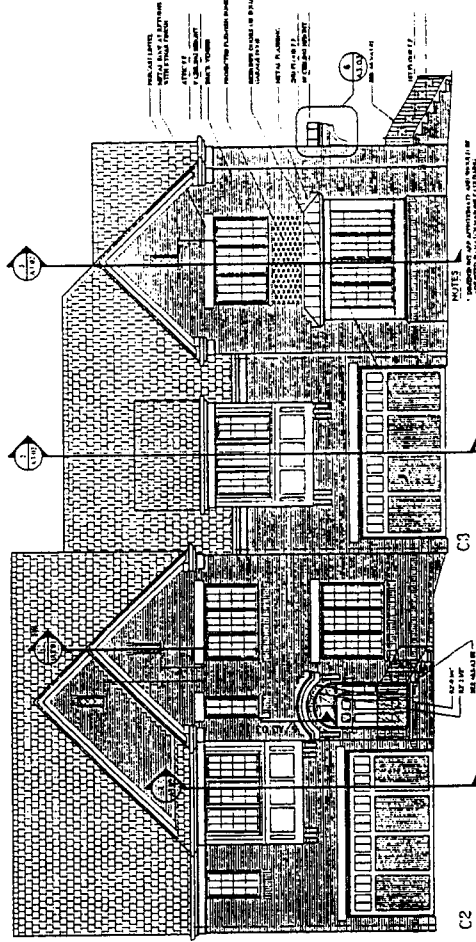
3 BUILDING #10-A - ATTIC LEVEL
SCALE: 1/8" = 1'-0"

NOTES:
1. SEE ARCHITECT'S SPECIFICATIONS FOR FINISHES AND CONDITIONS.
2. THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

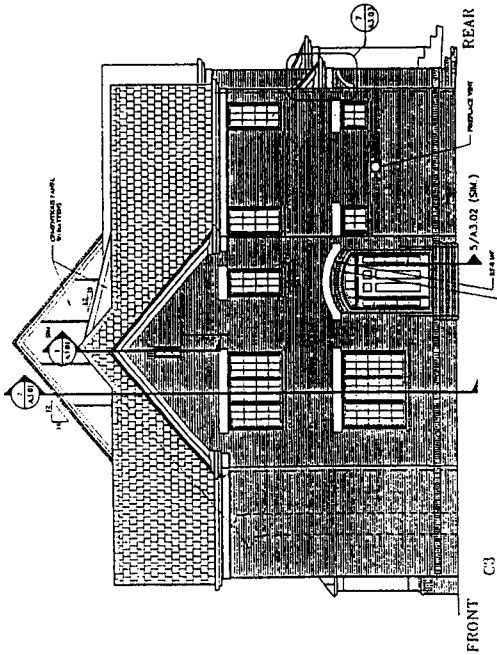
CONSTRUCTION NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



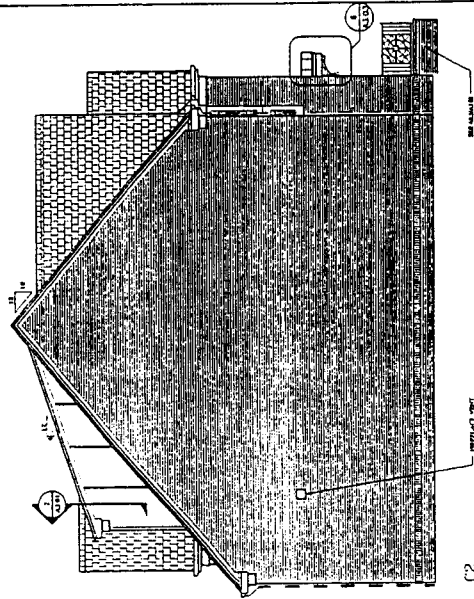
2 BUILDING #10A - REAR ELEVATION
SCALE: 3/16" = 1'-0"



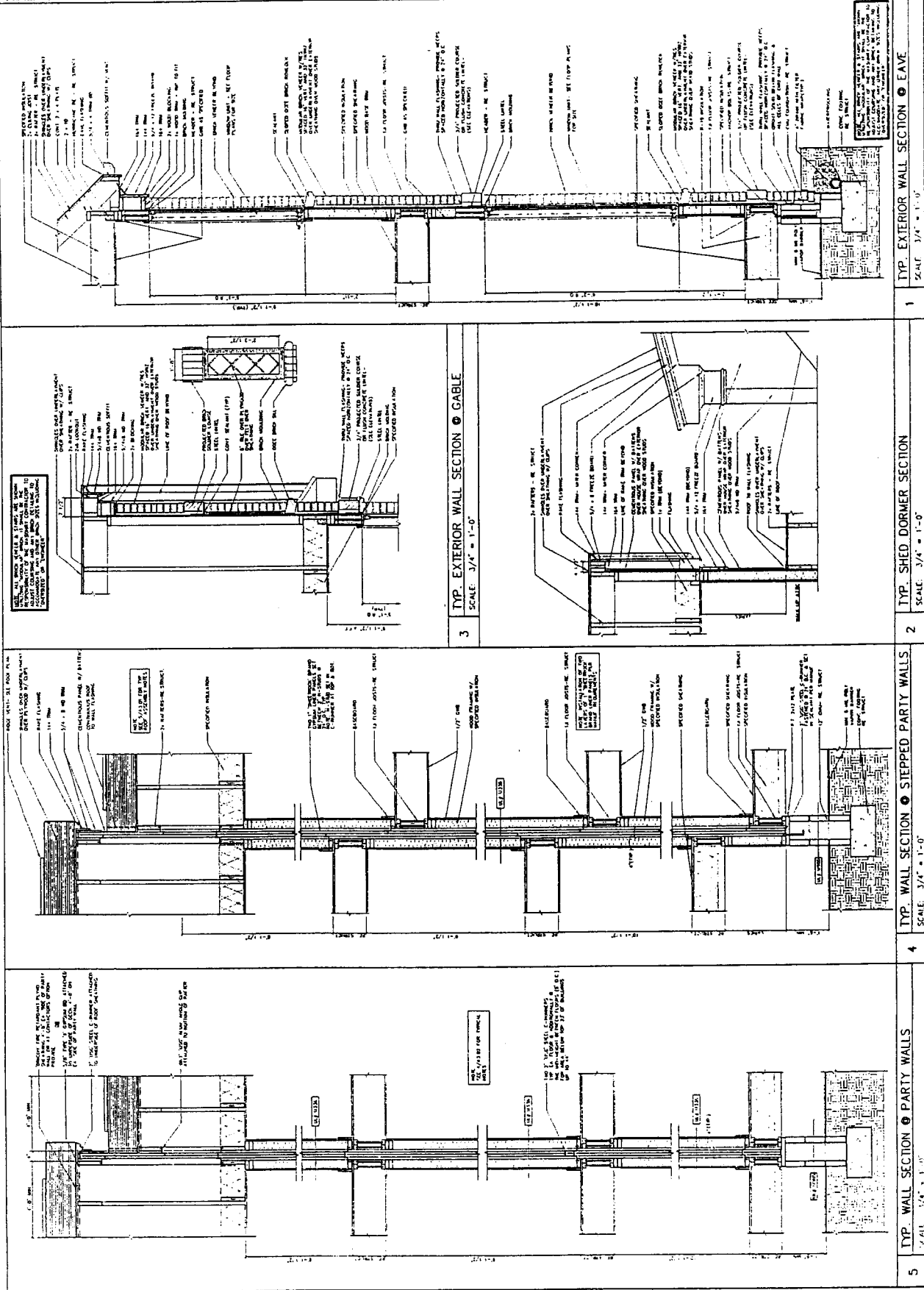
1 BUILDING #10A - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



4 BUILDING #10A - RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

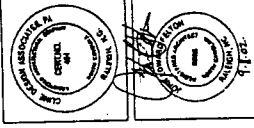


3 BUILDING #10A - LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"





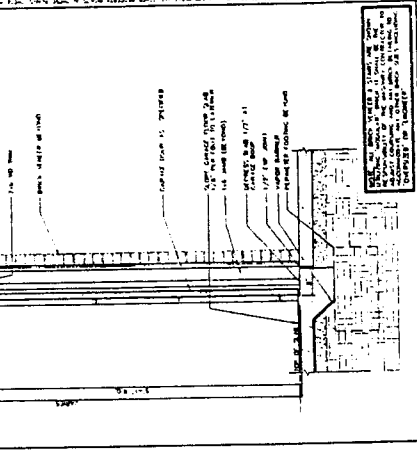
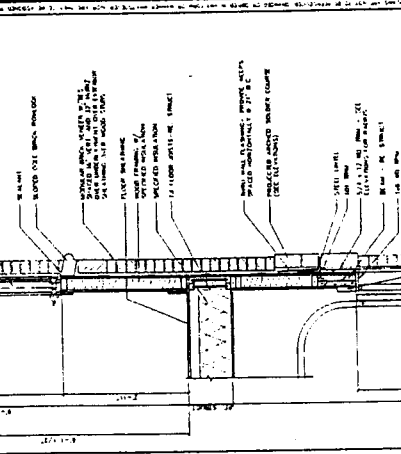
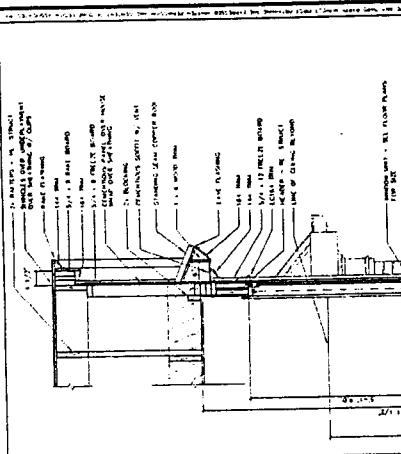
125 N. Harrington St.
Raleigh, NC 27603
919/434-1200 FAX
CDA@capehatteras.com



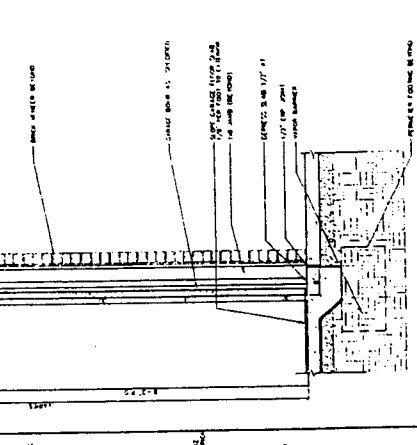
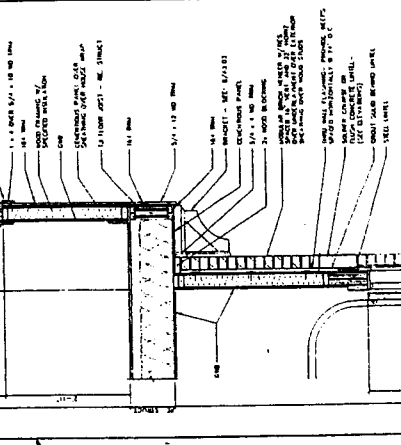
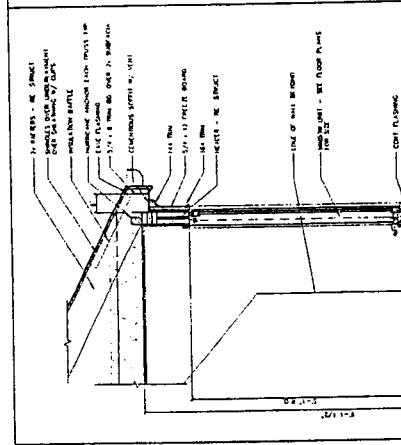
74

Franklin Grove
Chapel Hill, North Carolina
Kovens Construction Company

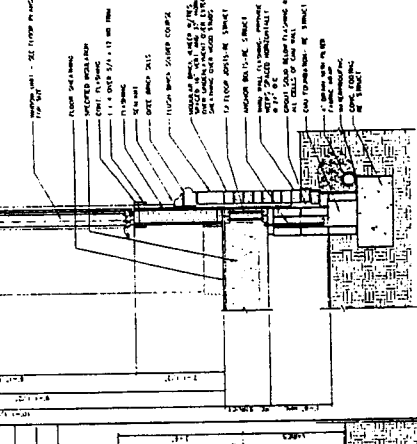
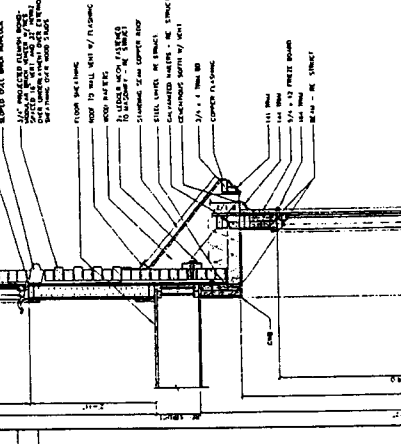
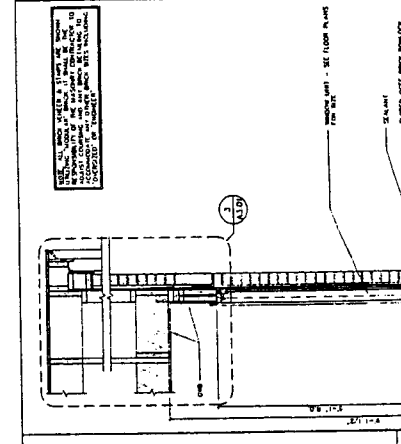
Project: 000657
Date: 03/10/02
Revisions:
Drawn By: JAR/BVC
Checked By:
Control: JEC/CHS
& RL/RLS
Sheet: **A3.02**



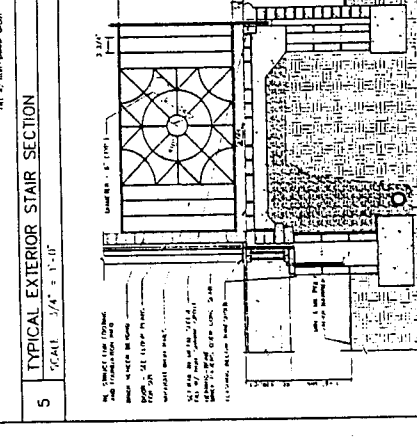
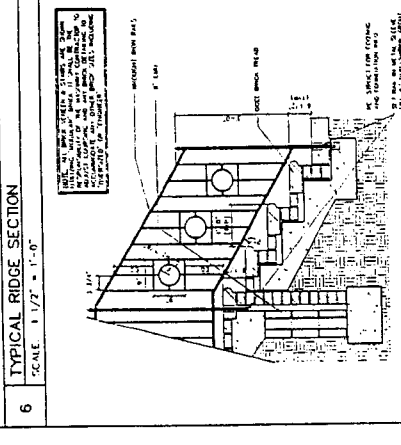
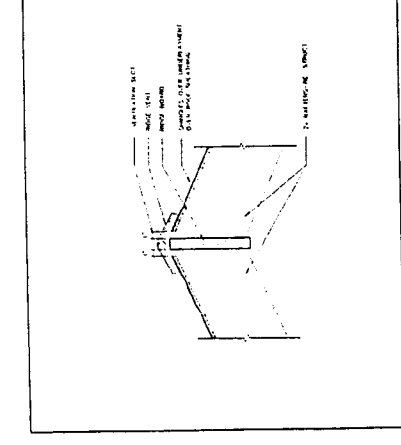
1 EXTERIOR WALL SECTION - GARAGE
SCALE: 3/4" = 1'-0"



2 EXTERIOR WALL SECTION - GARAGE
SCALE: 3/4" = 1'-0"



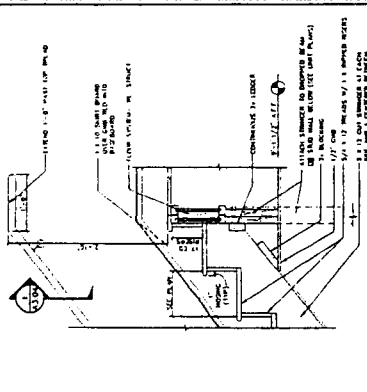
3 SECTION THROUGH BAY WINDOW
SCALE: 3/4" = 1'-0"



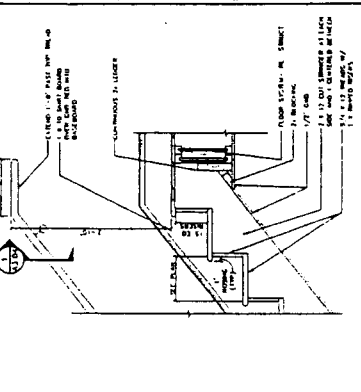
4 TYPICAL ENTRY STOOP SECTION
SCALE: 3/4" = 1'-0"

5 TYPICAL EXTERIOR STAIR SECTION
SCALE: 3/4" = 1'-0"

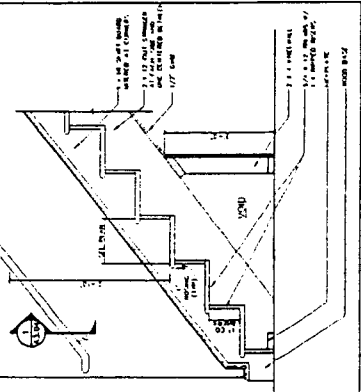
6 TYPICAL RIDGE SECTION
SCALE: 1 1/2" = 1'-0"



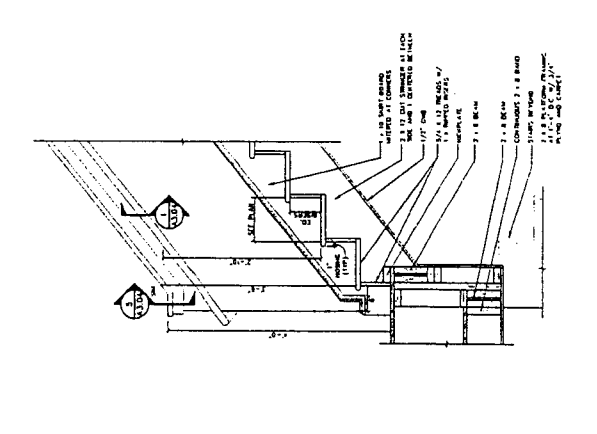
3 TYP. 1ST TO 2ND FLOOR STAIR SECTION
SCALE: 1" = 1'-0"



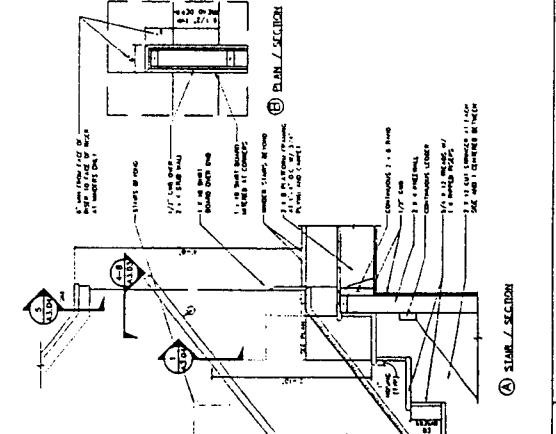
2 TYP. 2ND TO 3RD FLOOR STAIR SECTION
SCALE: 1" = 1'-0"



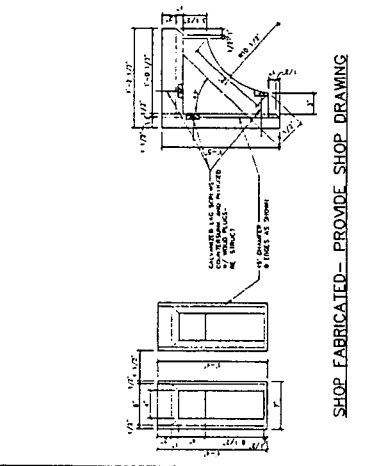
1 TYPICAL STAIR SECTIONS
SCALE: 1" = 1'-0"



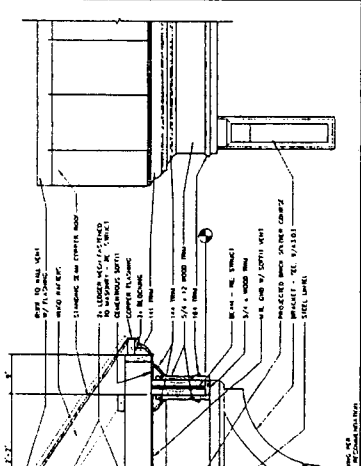
5 TYPICAL STAIR SECTIONS @ LANDING
SCALE: 1" = 1'-0"



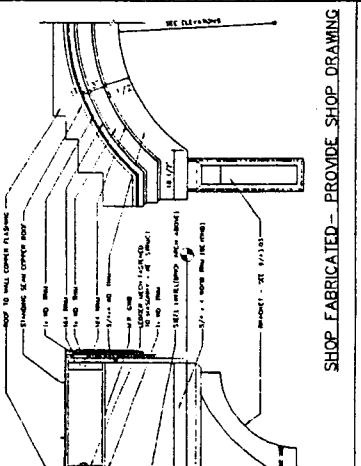
4 TYPICAL STAIR SECTIONS @ LANDING
SCALE: 1" = 1'-0"



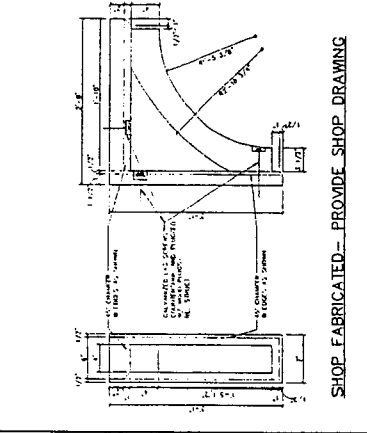
8 BRACKET DETAIL
SCALE: 1 1/2" = 1'-0"



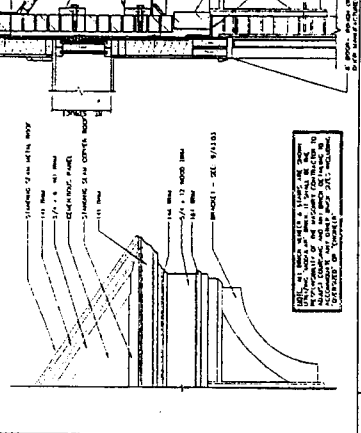
7 TYPICAL COURTYARD CANOPY SECTION
SCALE: 1" = 1'-0"



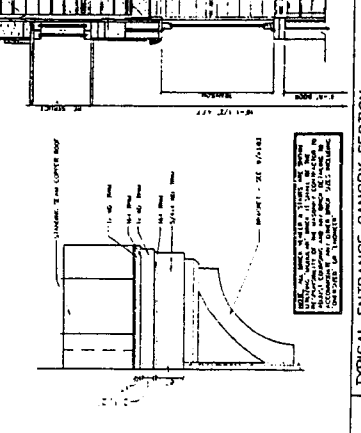
6 TYPICAL ENTRANCE CANOPY SECTION
SCALE: 1" = 1'-0"



9 BRACKET DETAIL
SCALE: 1 1/2" = 1'-0"



7 TYPICAL COURTYARD CANOPY SECTION
SCALE: 1" = 1'-0"



6 TYPICAL ENTRANCE CANOPY SECTION
SCALE: 1" = 1'-0"

SHOP FABRICATED - PROVIDE SHOP DRAWING

SHOP FABRICATED - PROVIDE SHOP DRAWING

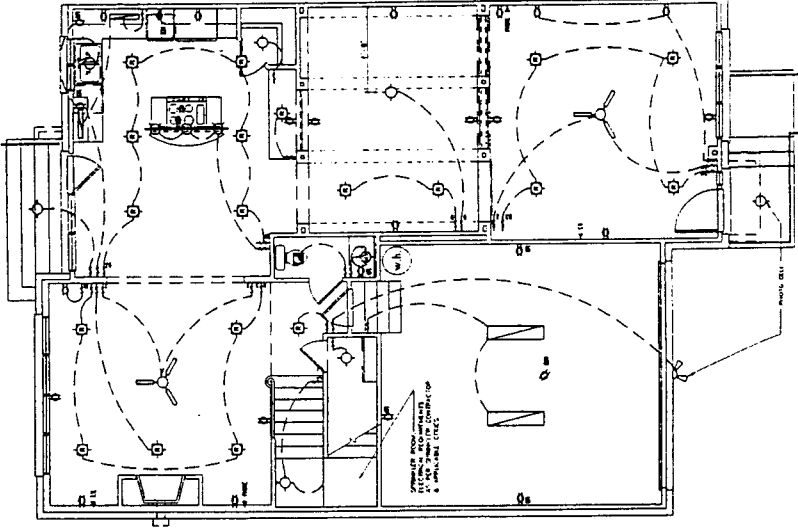
SHOP FABRICATED - PROVIDE SHOP DRAWING

SHOP FABRICATED - PROVIDE SHOP DRAWING

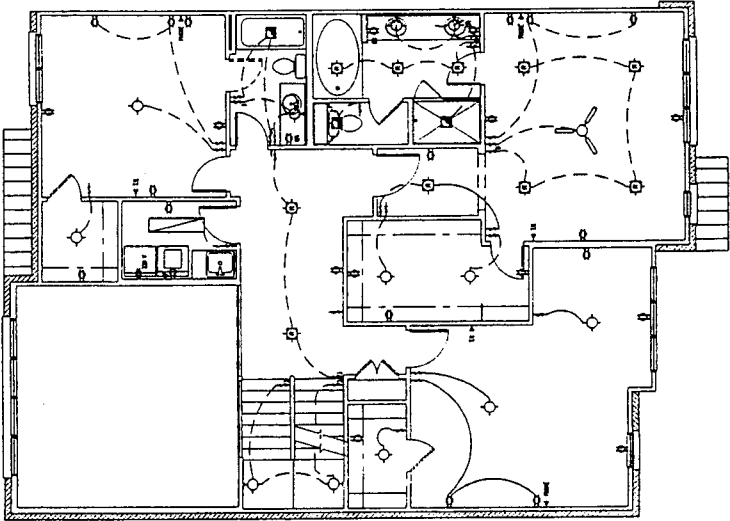
<p>9 TYP. WALL SECTION THRU SPRINKLER RM. SCALE 3/4" = 1'-0"</p>	<p>7 FLASHING TYPES SCALE 3" = 1'-0"</p> <p>"A" - STEP FLASHING "B" - WALL TO ROOF FLASHING "C" - COLUMN CAP FLASHING "D" - EAVE FLASHING "E" - RAKE FLASHING "F" - HEAD FLASHING</p>	<p>8 PLAN DETAIL AT TOWNHOUSE SEPARATION SCALE 1/12" = 1'-0"</p>	<p>6 WINDOW FLASHING DIAGRAM SCALE 1/12" = 1'-0"</p>	<p>3 TEMPERED GLASS & DIAGRAM SCALE 1/12" = 1'-0"</p>	<p>2 SECTION THROUGH BAR TOP SCALE 1/12" = 1'-0"</p>	<p>1 WALL MOUNTED HANDRAIL SCALE 1/12" = 1'-0"</p>	<p>4 SECTION THROUGH BAR TOP SCALE 1/12" = 1'-0"</p>	<p>5 HALF WALL CAP SCALE 1/12" = 1'-0"</p>
----------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------	----------------------------------------------------------	---------------------------------------------------------------	----------------------------------------------------------	--------------------------------------------------------	----------------------------------------------------------	------------------------------------------------

LEGEND OF ELECTRICAL SYMBOLS

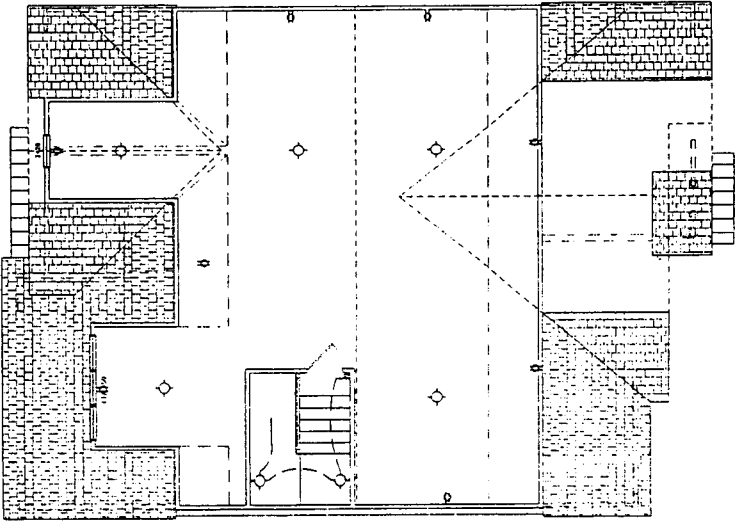
	SINGLE PHASE		PANEL
	SINGLE PHASE WITH GROUND		PANEL WITH GROUND
	THREE PHASE		PANEL WITH THREE PHASE
	THREE PHASE WITH GROUND		PANEL WITH THREE PHASE WITH GROUND
	SINGLE PHASE WITH GROUND AND NEUTRAL		PANEL WITH SINGLE PHASE WITH GROUND AND NEUTRAL
	THREE PHASE WITH GROUND AND NEUTRAL		PANEL WITH THREE PHASE WITH GROUND AND NEUTRAL
	SINGLE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM		PANEL WITH SINGLE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM
	THREE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM		PANEL WITH THREE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM
	SINGLE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM		PANEL WITH SINGLE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM
	THREE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM		PANEL WITH THREE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM
	SINGLE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM		PANEL WITH SINGLE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM
	THREE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM		PANEL WITH THREE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM
	SINGLE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM		PANEL WITH SINGLE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM
	THREE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM		PANEL WITH THREE PHASE WITH GROUND AND NEUTRAL AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM AND GROUNDING ELECTRODE SYSTEM



1 UNIT 'C2' FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



2 UNIT 'C2' SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



3 UNIT 'C2' ATTIC PLAN
SCALE 1/4" = 1'-0"

