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Jewell
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Richard A. G.
Architect

Project: VILLAGE PLAZA
THEATER
RENOVATION

179



SPECIAL USE PERMIT
No. 119
Issued by the City of Portland
Department of Planning and
Development Services
On 08/14/2013
Expires on 08/14/2015

**EXISTING
CONDITIONS
SITE ANALYSIS**

ATTACHMENT 23

PROJECT PHASING
PHASE 1: EXISTING OFFICE BUILDING
PHASE 2: EXISTING THEATER BUILDING
PHASE 3: EXISTING GARAGE BUILDING
PHASE 4: EXISTING LANDSCAPE
PHASE 5: EXISTING PARKING
PHASE 6: EXISTING TRAIL
PHASE 7: EXISTING TRAIL
PHASE 8: EXISTING TRAIL

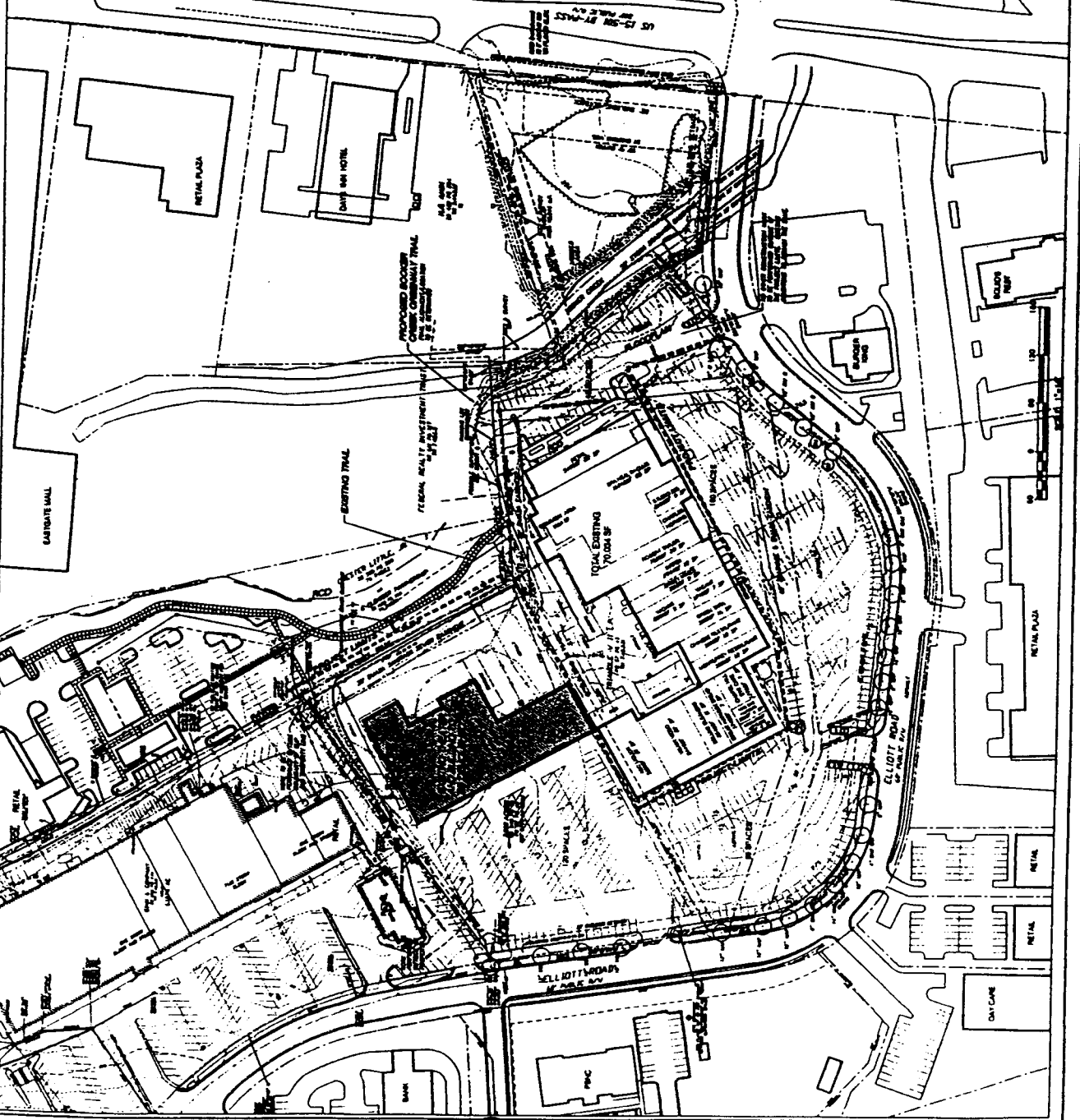
PROPOSED TOTAL SF:
TOTAL SF: 100,000
TOTAL SF: 100,000
TOTAL SF: 100,000

PROPOSED PARKING REQUIREMENTS:
TOTAL SPACES: 100
TOTAL SPACES: 100
TOTAL SPACES: 100

PROPOSED TRAIL REQUIREMENTS:
TOTAL LENGTH: 1000
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PROPOSED TRAIL REQUIREMENTS:
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PROPOSED TRAIL REQUIREMENTS:
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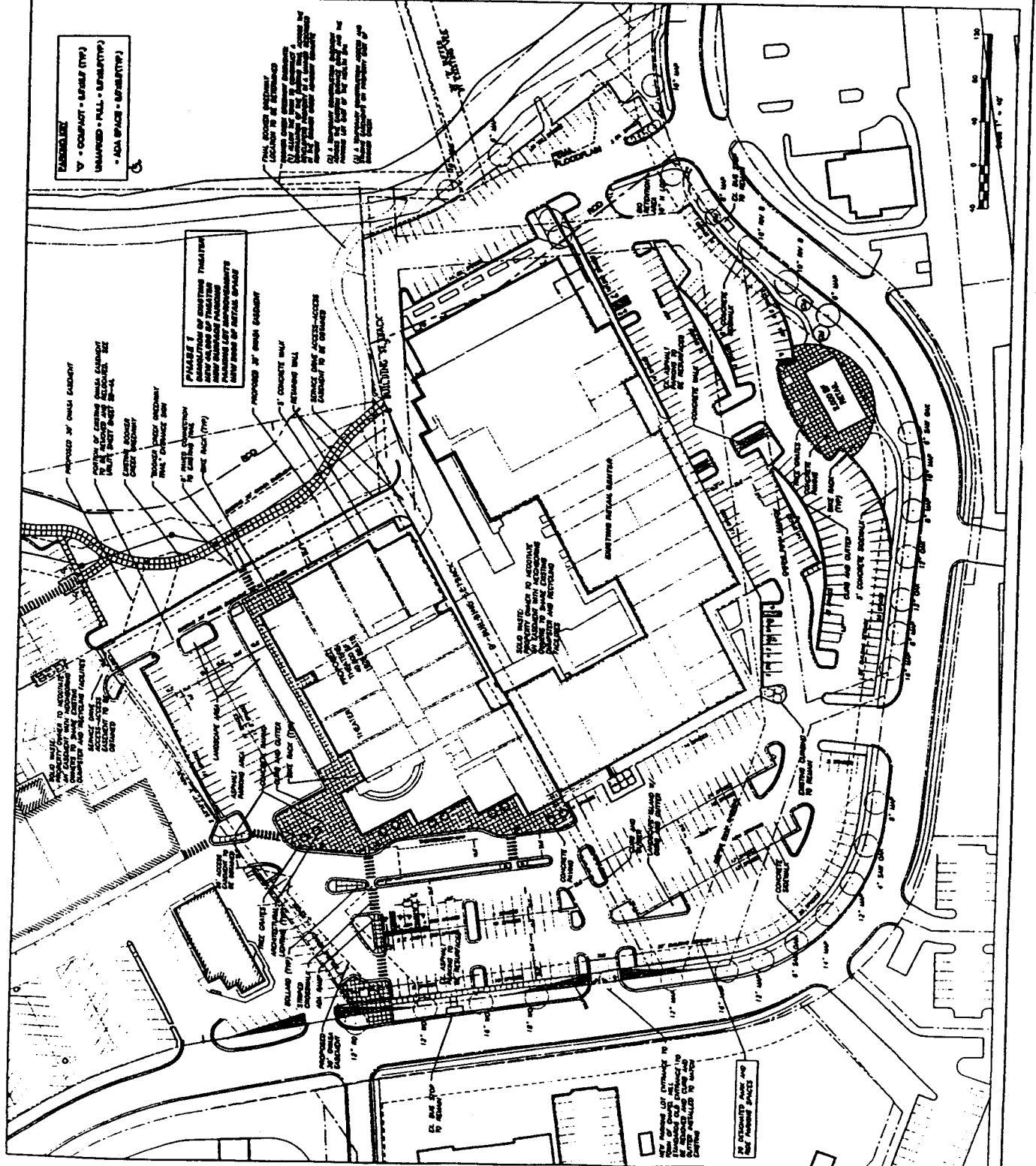
LIST OF SHEETS
SHEET NO. 1: SITE ANALYSIS
SHEET NO. 2: EXISTING CONDITIONS
SHEET NO. 3: PROPOSED TRAIL
SHEET NO. 4: PROPOSED PARKING
SHEET NO. 5: PROPOSED TRAIL

PROPOSED TRAIL REQUIREMENTS:
TOTAL LENGTH: 1000
TOTAL LENGTH: 1000
TOTAL LENGTH: 1000

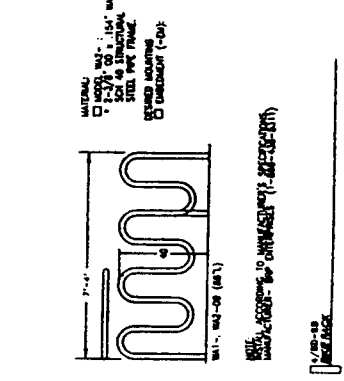
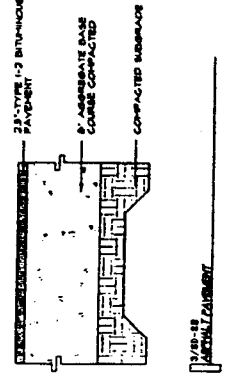
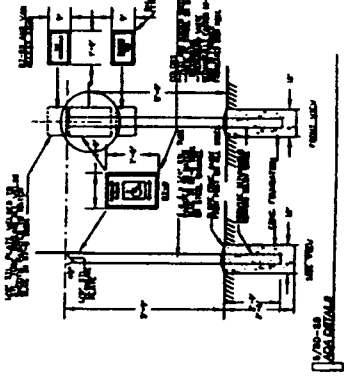
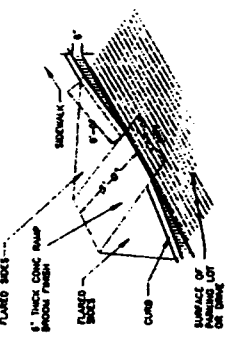
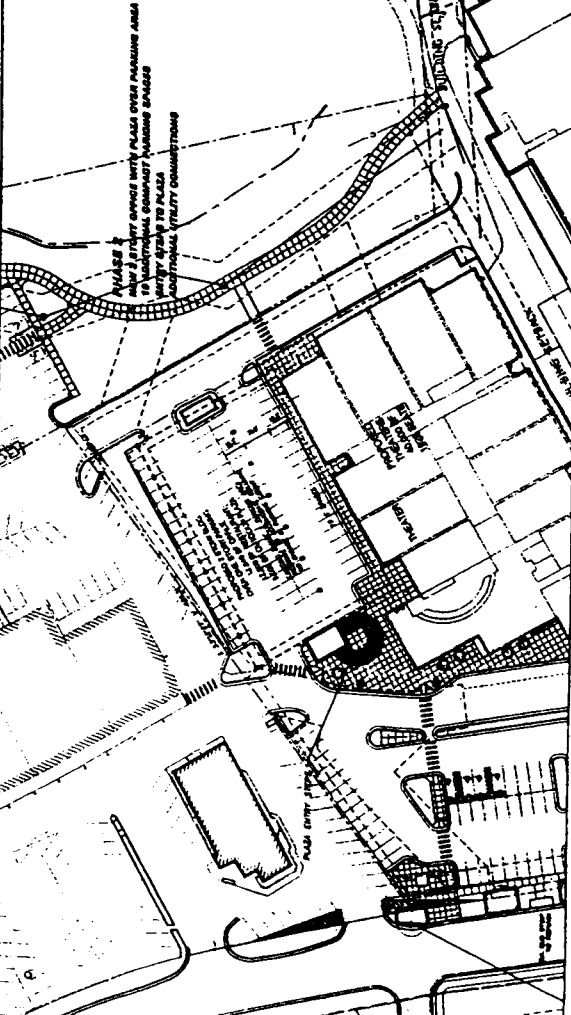
1. ALL ANGLES ARE AS SHOWN UNLESS OTHERWISE NOTED.
 2. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 3. DIMENSIONS TO CENTER LINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL CORRECT ANGLES AND 1" = 1' AT ALL TIMES UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL CORRECT ANGLES AND 1" = 1' AT ALL TIMES UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS SHALL CORRECT ANGLES AND 1" = 1' AT ALL TIMES UNLESS OTHERWISE NOTED.

LEGEND
 ▽ - COMPACT - STAIRS (TYP)
 ▽ - UNIMPROVED - FULL - ELEVATOR (TYP)
 ▽ - ADA SPACE - ELEVATOR (TYP)

**TABLE 1
 SUMMARY OF CONDITIONS TRANSFERRED TO PHASE II**
 ...



AS SHOWN AND NOTED ON THIS PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.



1. ALL NEW UTILITIES WILL BE UNDERGROUND AND IN ACCORDANCE WITH THE LATEST CODES, STANDARDS AND SPECIFICATIONS FOR THE TYPE OF CHANGE. ALL
2. ALL EXISTING UTILITIES AND FACILITIES SUCH AS SEWER, GAS, ELECTRIC, AND WATER WILL BE MAINTAINED AND PROTECTED TO REMAIN UNDERGROUND AND LOCATED AS SHOWN UNLESS OTHERWISE NOTED. ANY CHANGES TO THE EXISTING UTILITIES WILL BE NOTED ON THE PLAN.
3. ALL NECESSARY PERMITS WILL BE OBTAINED FROM THE APPROPRIATE AGENCIES AS REQUIRED BY THE CITY OF LINCOLN.
4. SET ARCHITECTURAL STANDARDS FOR EXTERIOR BUILDING LIGHTING.
5. GROUPS THAT WOULD BE SUBJECT TO CHANGE OF USE SHALL BE IDENTIFIED BY OWNER AND APPROVED BY THE CITY OF LINCOLN.
6. ALL UTILITIES SHALL BE IN ACCORDANCE WITH THE LATEST CODES, STANDARDS AND SPECIFICATIONS FOR THE TYPE OF CHANGE.
7. ALL UTILITIES RELAYING GAS, WATER, ELECTRIC, SEWER, SHALL BE FIELD LOCATED AND THE LOCATION SHALL BE IDENTIFIED ON THE UTILITY PLAN. THE LOCATION SHALL BE IDENTIFIED ON THE UTILITY PLAN.

PROPOSED STORM DRAINAGE AND UTILITIES ARE SHOWN IN CONFORMANCE WITH THE LATEST CODES, STANDARDS AND SPECIFICATIONS FOR THE TYPE OF CHANGE. ALL

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**Change Water And Sewer Authority
 Utility Needs for Village Plaza Theater**

The Village Plaza Theater is a historic building located at 1000 N. 1st Street, Lincoln, Nebraska. The building is currently vacant and is being renovated for use as a theater. The renovation project includes the installation of new water and sewer lines, as well as the relocation of existing water and sewer lines. The following information is provided to assist in the design and construction of the utility system for the building.

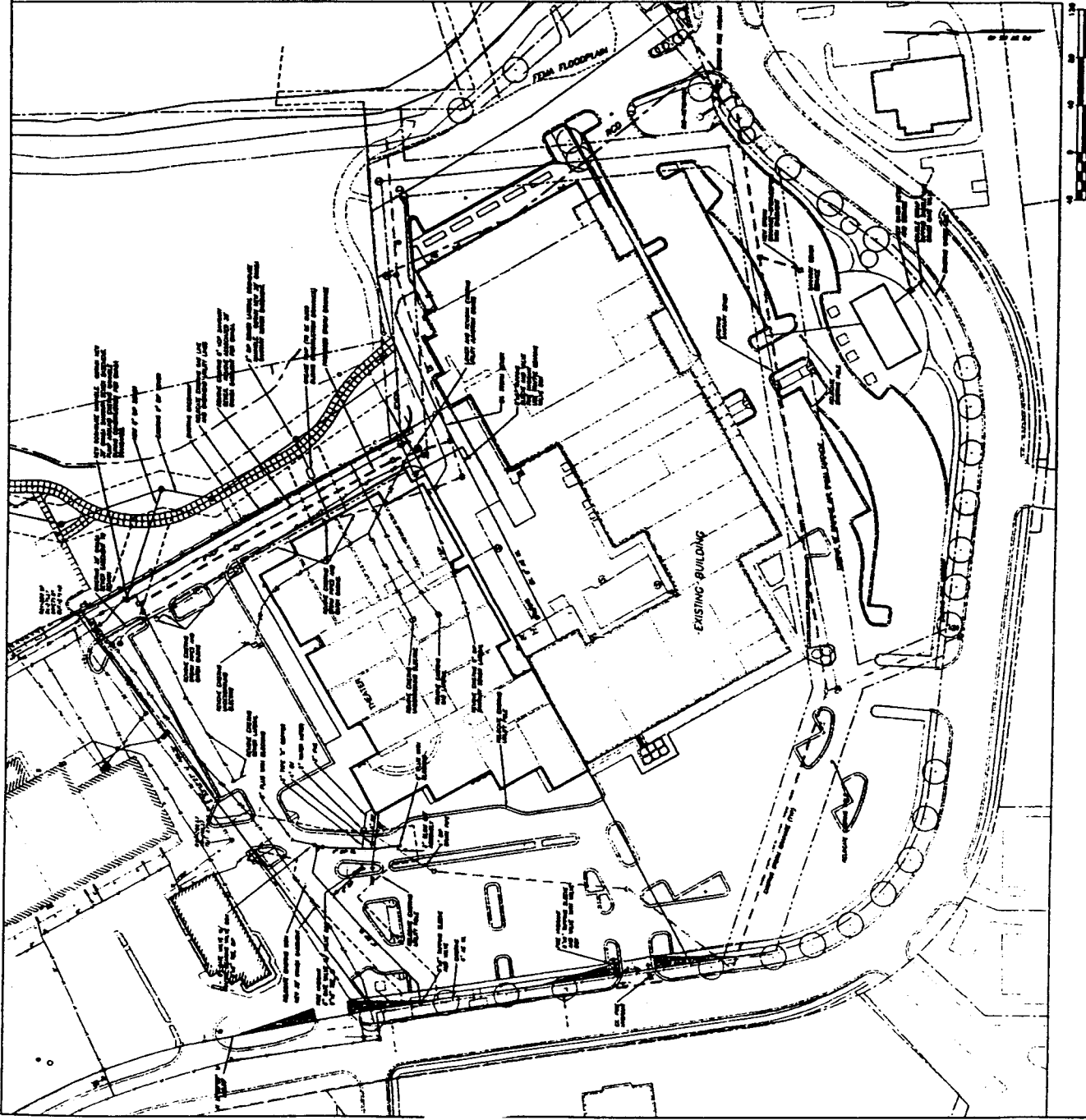
1. Existing Water and Sewer Lines: The existing water and sewer lines are shown on the attached site plan. The water lines are located on the east side of the building, and the sewer lines are located on the south side of the building. The existing water lines are 12 inches in diameter, and the existing sewer lines are 12 inches in diameter.

2. Proposed Water and Sewer Lines: The proposed water and sewer lines are shown on the attached site plan. The proposed water lines are 12 inches in diameter, and the proposed sewer lines are 12 inches in diameter. The proposed water lines will be installed along the east side of the building, and the proposed sewer lines will be installed along the south side of the building.

3. Utility Relocation: The existing water and sewer lines will be relocated to the east side of the building. The relocation of the water lines will be completed in two phases. In the first phase, the water lines will be relocated from the east side of the building to the west side of the building. In the second phase, the water lines will be relocated from the west side of the building to the east side of the building. The relocation of the sewer lines will be completed in one phase. The sewer lines will be relocated from the south side of the building to the north side of the building.

4. Storm Drainage: The existing storm drainage system is shown on the attached site plan. The existing storm drainage system consists of a 12-inch diameter storm sewer line located on the east side of the building. The proposed storm drainage system is shown on the attached site plan. The proposed storm drainage system consists of a 12-inch diameter storm sewer line located on the east side of the building.

5. Notes: The utility system for the building shall be designed and constructed in accordance with the latest codes, standards and specifications for the type of change. All utility lines shall be installed in accordance with the latest codes, standards and specifications for the type of change. All utility lines shall be installed in accordance with the latest codes, standards and specifications for the type of change.



Scale 1" = 10'-0"

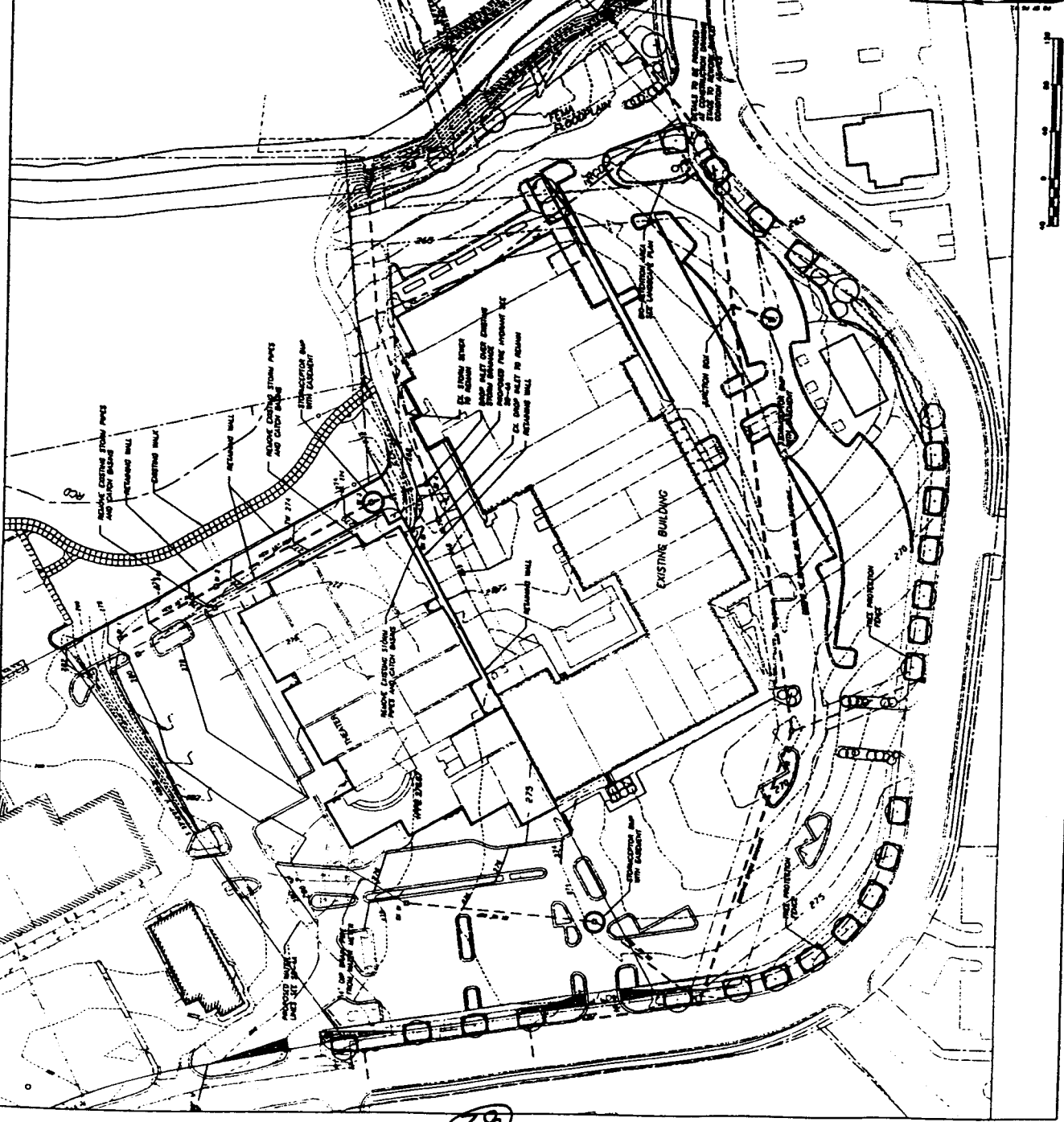
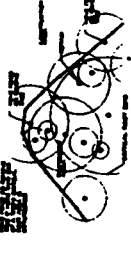
Sheet 80-4A

1. VERIFY CONSTRUCTION SEQUENCE FOR DESIGN CONTROL.
2. ALL EXISTING BUILDINGS AND ALL BUILDINGS SHALL BE AS SHOWN EXCEPT WHERE SHOWN OTHERWISE. CUT BLOCKS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
3. ALL EXISTING AND PROPOSED SURFACE FINISHES SHALL BE AS SHOWN EXCEPT WHERE SHOWN OTHERWISE. FINISHES SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
4. CURB SHOW ELEVATIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
5. ALL ELEVATIONS SHALL BE CONSTRUCTED WITH 1/8" CHANGES.
6. ALL NEW BUILDINGS SHALL BE AS SHOWN EXCEPT WHERE SHOWN OTHERWISE. FINISHES AND INTERIORS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
7. ALL EXISTING BUILDINGS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
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PROPOSED STORAGE AND UTILITIES ARE SCHEMATIC AND NOT TO BE CONSIDERED AS PART OF THE CONSTRUCTION PROCESS. COORDINATE EXISTING UTILITY ALLOCATION AND RELOCATION WITH THE APPLICABLE UTILITY OWNER.

ROOF LEADERS FOR PHASE 1 AND 2 WILL DRAW DIRECTLY TO THE DUMP PILEY LOCATED ADJACENT TO THE BUILDING.

PROPOSED STORAGE AND UTILITIES ARE SCHEMATIC AND NOT TO BE CONSIDERED AS PART OF THE CONSTRUCTION PROCESS. COORDINATE EXISTING UTILITY ALLOCATION AND RELOCATION WITH THE APPLICABLE UTILITY OWNER.





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Fax: (202) 331-1001

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Washington, D.C. 20008
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Fax: (202) 331-1001

**VILLAGE PLAZA
THEATER
RENOVATION**

(84)

CHANGES
NO. 1
DATE: 10/1/88
BY: RAG
FOR: RAG



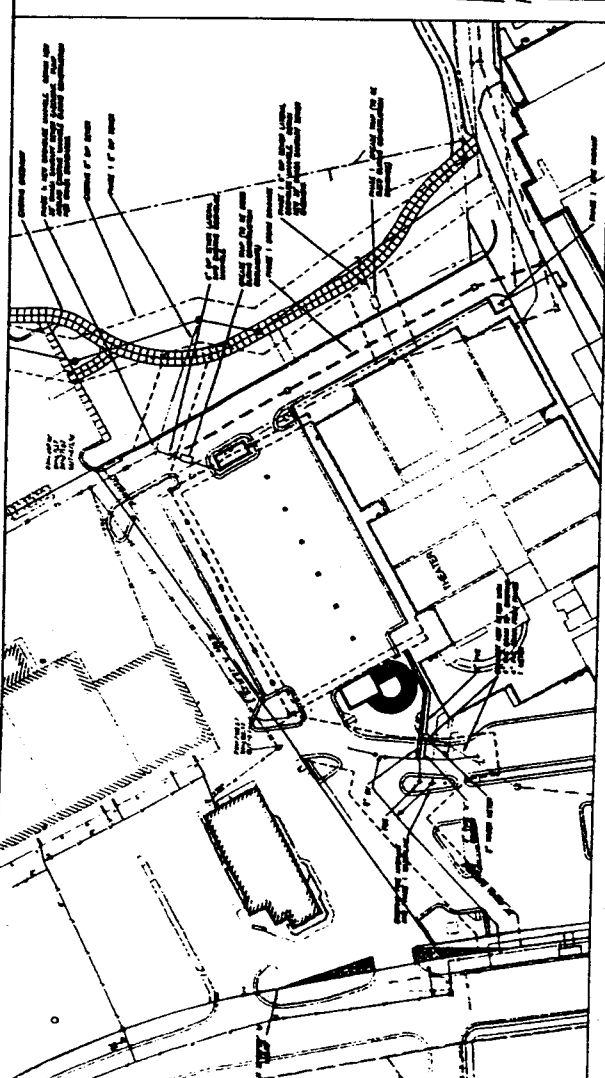
Richard A. Gu
REGISTERED PROFESSIONAL ENGINEER
NO. 1000
D.C. 1000

**SPECIAL USE
PERMIT**

NO. 1000
DATE: 10/1/88
BY: RAG
FOR: RAG

PHASE 2
UTILITY PLAN

Sheet No. 80-48





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Project
VILLAGE PLAZA
THEATRE
RENOVATION

85

Change
REVISIONS
NO. DATE
1 10/10/10



**SPECIAL USE
PERMIT**

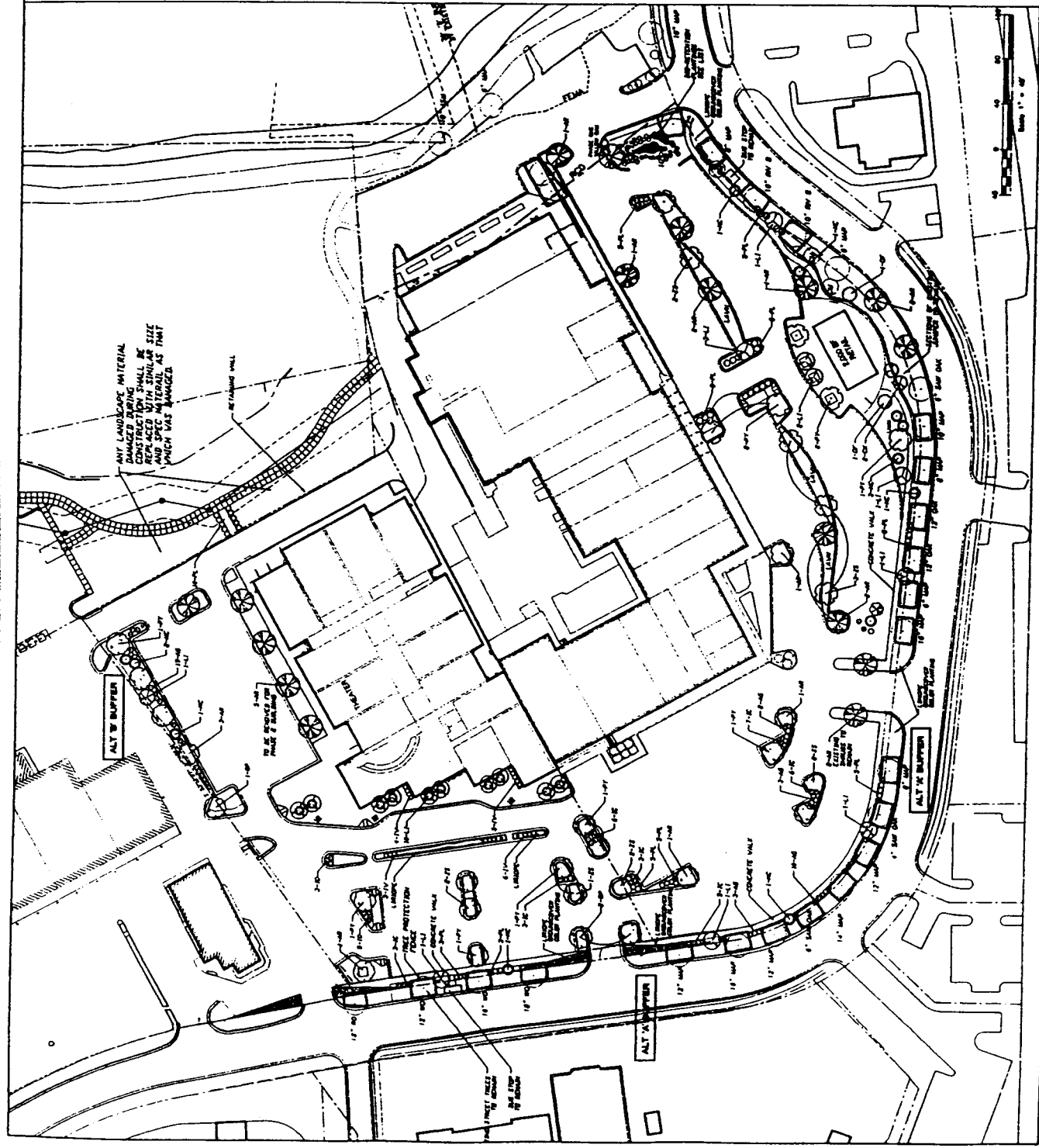
1. This permit is issued for the use of the plan for the purpose of the project described herein.

**PHASE I
LANDSCAPE
PLAN**

1. ALL PLANTINGS SHALL BE INSTALLED BY THE END OF THE CONSTRUCTION PERIOD.
2. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN.
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1/10/10
LANDSCAPE ARCHITECT

SEE SHEET SD-5B FOR DETAILS



86

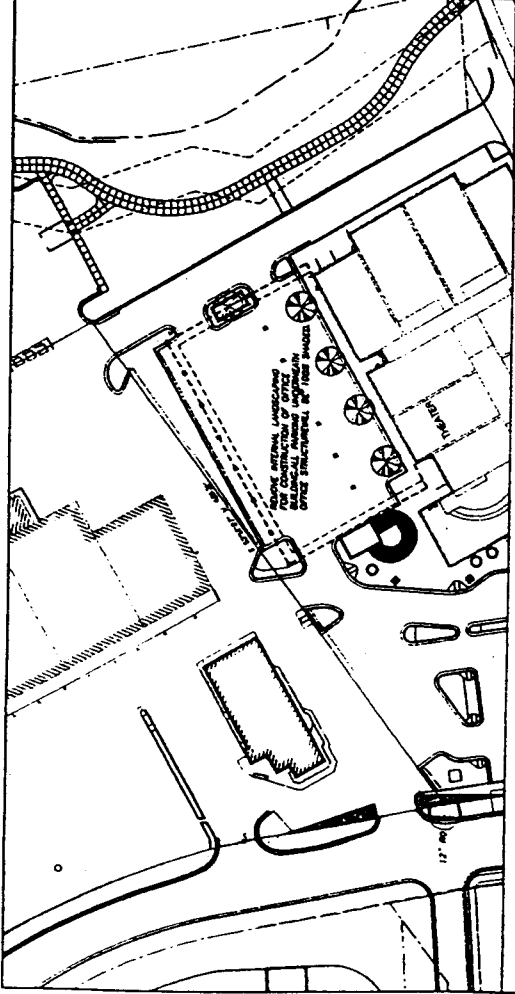
CONTRACTOR
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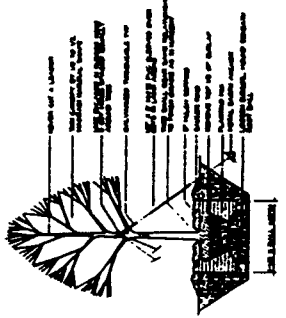
SPECIAL USE PERMIT

PHASE 2 LANDSCAPE PLAN/DETAIL:

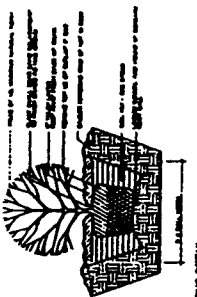
Sheet No. 80-08



1/10-08
CONCRETE LANDSCAPE PLAN



1/10-08
TREE PLANTING DETAIL



1/10-08
TREE PLANTING DETAIL

PLANT AND MATERIALS LIST

NO.	DESCRIPTION	QUANTITY	UNIT	NOTES
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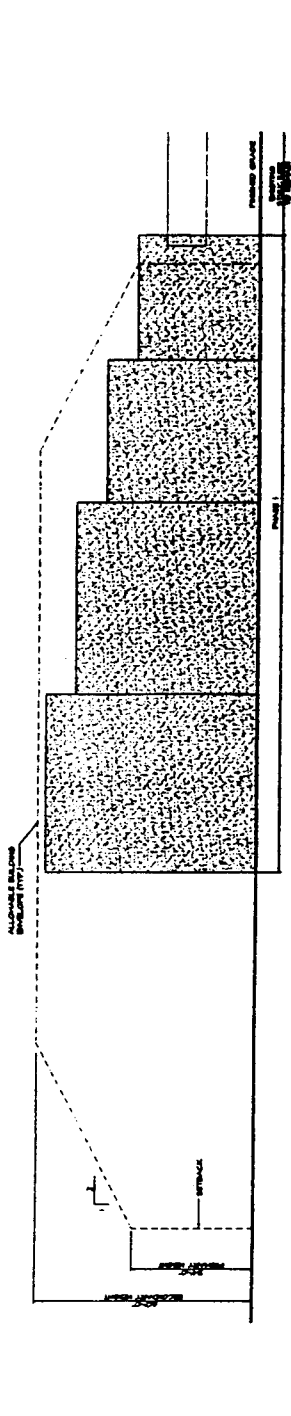
1/10-08
PLANT SCHEDULE

1/10-08
PLANT SCHEDULE

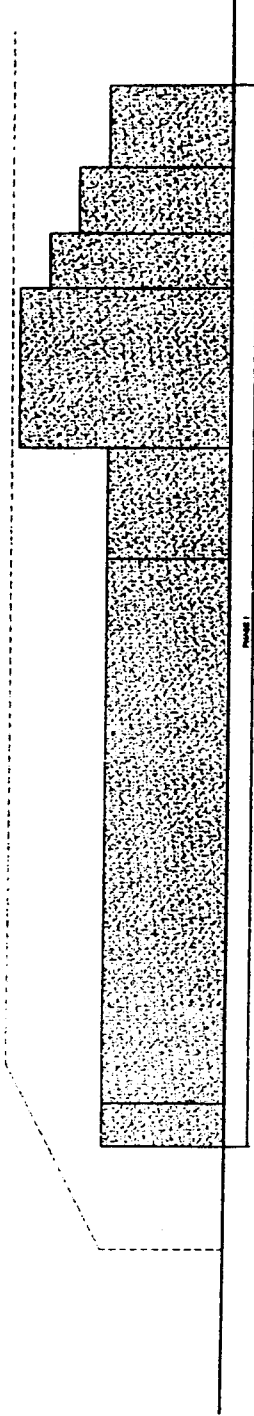


10000 Broadway Blvd.
Denver, CO 80202
Tel: 303.733.1111 Fax: 303.733.1112

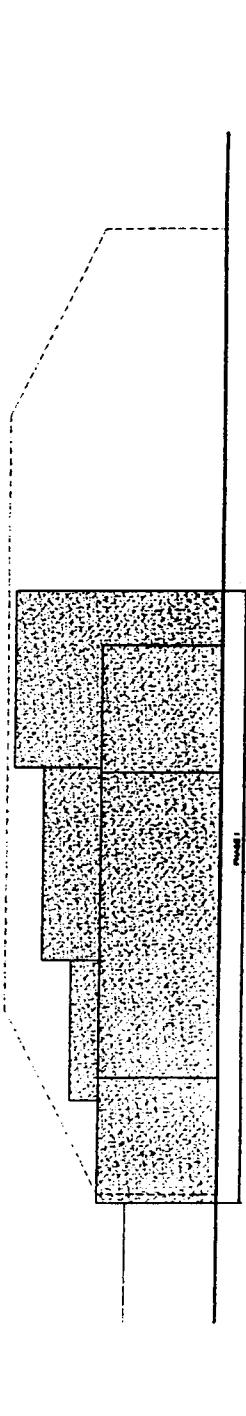
87



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

Theatre
Phase I
Village Plaza, Chapel H.

APN: 01029

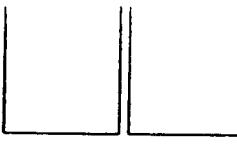
Elevation
Outline

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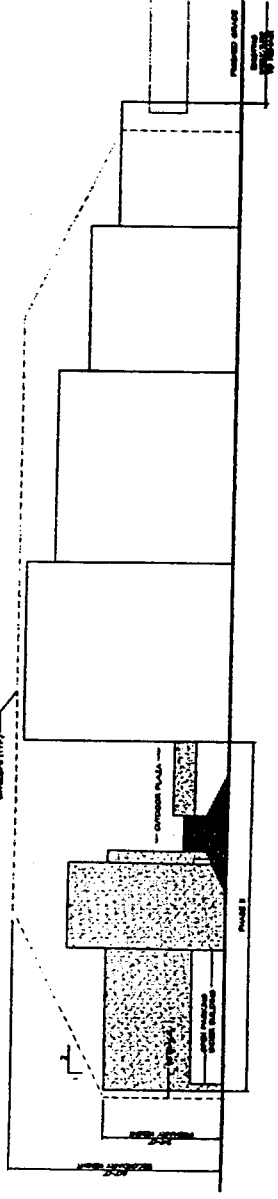
7-48-11 & 11B

STANLEY J. GIBSON, P.E.
Professional Engineer, No. 10000

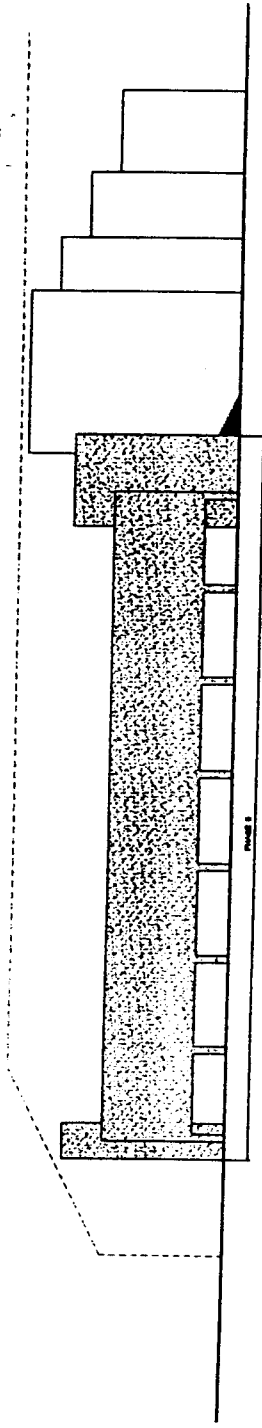
July 17, 2002



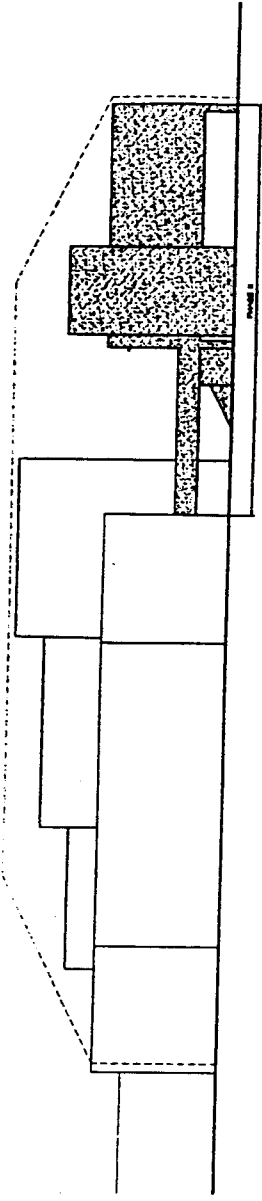
88



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

GURLITZ
Architectural Group, P



3300 Chalmers Avenue Dr.
Denver, CO 80202
Tel: 303.733.1100
Fax: 303.733.1101

89

Theatres
Phase I - Outdoor
Village Plaza, Chapel Hill

APN - 01029

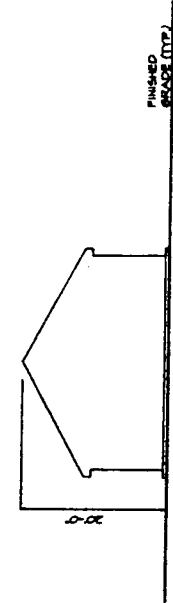
Elevation
Outline

Scale: 1/8" = 1'-0"

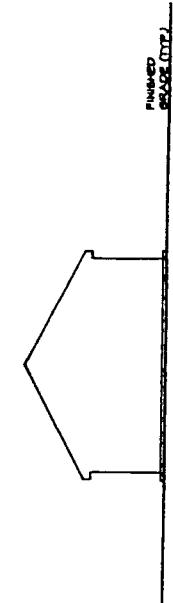
7.48.8.11 & 11B

PLANNING DEPARTMENT
CITY OF CHAPEL HILL

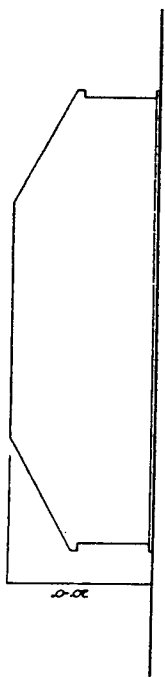
July 17, 2002



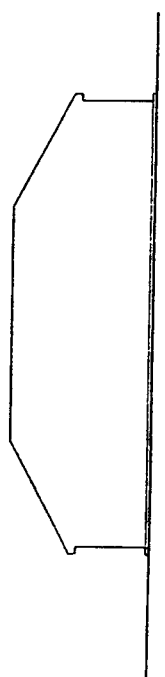
WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

